

Office of the Clerk/Treasurer

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax 691-1798

~REVISED~

**COMMON COUNCIL
MEETING NOTICE AND AGENDA**

Monday, May 2, 2022

6:30 PM

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road ~ Pewaukee, Wisconsin

-
1. Call to Order and Pledge of Allegiance
 2. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your District Alderperson prior to the meeting.
 3. Consent Agenda
 - 3.1. Approve the Common Council Meeting Minutes Dated April 14, 2022
 - 3.2. Approve the Accounts Payable Listing Dated May 2, 2022
 4. **PUBLIC HEARING** regarding the Duplainville Road Reconstruction and Trail Construction Project [Wagner]
 - 4.1 Discussion and Possible Action to Accept the Preliminary Engineers Report and Proposed Special Assessment.
 - 4.2 Discussion and Possible Action Awarding the Duplainville Road Reconstruction and Trail Construction Contract to the Lowest Qualified Bidder.
 5. Discussion and Action Regarding **Ordinance 22-08** Related to Text Amendments to Section 17.0416 of the Rm-3 Multi-Family Zoning District of the City of Pewaukee Zoning Ordinance [Fuchs]
 6. **PUBLIC HEARING**, Discussion and Possible Action Regarding the Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Over the Top Roofing for Property Located at W223 N3481 Duplainville Road (PWC 0912-984) from Medium Density Residential (6,500 square feet – 1/2 acre per dwelling unit) to Retail/Service Commercial [Fuchs]
 7. Discussion and Possible Action Regarding **Ordinance 22-10** Rezoning the Property Located at W223 N3481 Duplainville Road (PWC 0912-984) from Rs-1 Single-Family Residential to B-3 General Business as Requested by Over the Top Roofing [Fuchs]
 8. **PUBLIC HEARING**, Discussion and Possible Action Regarding a Conditional Use Permit for Over the Top Roofing for Property Located at W223 N3481 Duplainville Road (PWC 0912-984) [Fuchs]
 9. **PUBLIC HEARING**, Discussion and Possible Action Regarding a Comprehensive Master Plan

Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Property Located at W225 N3131 Duplainville Road (PWC 0911-993-006 & PWC 0911-989) from Manufacturing/Fabrication/Warehousing and Floodplains, Lowland & Upland Conservancy and Other Natural Areas to Government/Institutional for the Purpose of Constructing an Access Drive, Salt Shed and Fuel Tanks for the New City of Pewaukee DPW Garage [Fuchs]

10. Discussion and Possible Action Regarding **Ordinance 22-12** to Rezone Property Located at W225 N3131 Duplainville Road (PWC 0911-993-006 & PWC 0911-989) from M-2 Limited Industrial to I-2 Rural Institutional for the Purpose of Constructing an Access Drive, Salt Shed and Fuel Tanks for the New City of Pewaukee DPW Garage [Fuchs]
11. Discussion and Possible Action for Railroad Quiet Zone Study for the Crossings Located at Weyer Road, Green Road, and Watertown Road [Wagner]
12. Discussion and Possible Action Regarding **Ordinance 22-13** Amending Chapter 5 - Traffic, to Remove Lindsay Road from Redford Boulevard (CHT F) to Duplainville Road from and to Add Hughes Trail to Section 5.05(3)(b) (*First Reading*) [Wagner]
13. Discussion and Possible Action Regarding the 2022 and 2023 Truck Purchase
14. Discussion and Possible Action for No Mow May [Mayor Bierce]
15. Public Comment - Please limit your comments to two (2) minutes, if further time for discussion is needed please contact your district Alderperson prior to the meeting.
16. Adjournment

Kelly Tarczewski
Clerk/Treasurer

April 28, 2022

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the Clerk/Treasurer, Kelly Tarczewski, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 3.1.**

DATE: May 2, 2022

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

Approve the Common Council Meeting Minutes Dated April 14, 2022

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

CC Minutes 4.14.2022

In Attendance:

Aldermen C. Brown, I. Clark, B. Dziwulski, R. Grosch, P. Vetterkind, J. Wamser and Alderman Elect R. Reinbold. Mayor S. Bierce was absent.

Also in Attendance:

Attorney S. Riffle, Administrator S. Klein, DPW Director M. Wagner, Chief Engineer of Streets and Development M. Gabbey, City Assessor R. Tuff, Library Director N. Champe and Clerk/Treasurer K. Tarczewski.

1. Call to Order and Pledge of Allegiance

In the absence of Mayor Bierce, Council President C. Brown called the meeting to order at 6:33 p.m. and asked everyone to stand for the Pledge of Allegiance.

2. Public Comment - None.

3. Consent Agenda

3.1 Approval of Common Council Meeting Minutes Dated March 21, 2022

3.2 Approval of Common Council Meeting Minutes Dated April 4, 2022

3.3 Approval of the Accounts Payable Listing Dated April 18, 2022

A motion was made and seconded (I. Clark, J. Wamser) to approve the items on the consent agenda. Motion Passed: 5-For, 0-Against.

4. Discussion and Possible Action Regarding the Removal of the Heavy Weight Restriction on Lindsay Road from Redford Boulevard (CTH F) to Duplainville Road

Ms. Wagner stated Lindsay Road is currently restricted at six tons and with the upcoming Duplainville Road reconstruction project, Redford intersection project and future development of the land, she felt it made sense for restrictions to be lifted. Ms. Wagner said the restriction would be lifted from Redford Boulevard to Duplainville Road. She noted west of Redford Boulevard would still have restrictions since it is a residential neighborhood.

Mr. Dziwulski asked if the restriction was due to residential or weight. Ms. Wagner stated it was due to being residential. She said Lindsay Road used to be a County highway and is built to a little higher standard. Ms. Wagner noted when it is reconstructed it will be fully designed to meet truck standards into the future and the cross section is designed to withstand the loading of trucks.

Mr. Grosch asked if the section of road is in the five-or ten-year plan. Ms. Wagner stated it is on the five-year plan. She noted a temporary overlay was done a few years ago to get the City through until water and sewer went into the area. She said there is some development east of Swan View Farms looking to develop so sewer will be there. Mr. Grosch asked how wide the right-of-way would be and about a possible path. Ms. Wagner stated it would be 60 foot and when the road is reconstructed the path would be proposed at that time. She asked Common Council for formal direction to make the change in the ordinance.

A motion was made and seconded (B. Dziwulski, R. Grosch) to direct the DPW Director to prepare an ordinance removing the heavy weight restrictions on Lindsay Road from Redford Boulevard to Duplainville Road. Motion Passed: 5-For, 0-Against.

5. Discussion and Possible Action to Award the Foxwood Court/Kathryn Court Drainage Improvement
Project to the Lowest Qualified Bidder, Buteyn Peterson Construction Company, Inc., in the Amount of \$287,335.31

Ms. Wagner stated the long-standing Foxwood/Kathryn Court drainage issue has been bid. She noted it would improve the drainage on the west and north side of Kathryn Court, north of Foxwood Court out to Springdale Road.

She said three bids were received and the lowest bid was from Buteyn Peterson for \$287,335.31. She said the City reviewed and did research on Buteyn's bid and everything is in accordance with everything. She said the Engineers are familiar with them and felt comfortable recommending the award to Buteyn Peterson in the amount of \$287,335.31. Ms. Wagner stated the City has a budget for the project of \$500,000 that was included in the 2022 budget. She noted there are sufficient funds for the project. Ms. Wagner noted the contract is awarded for the \$287,335.31 and after contingencies and engineering it would go up to \$373,000.

Discussion took place regarding the discrepancies in pipe cost with other bidders.

Ms. Brown asked when the project was scheduled to start. Ms. Wagner stated she does not have a scheduled start date. She noted it would be completed this year and has a deadline of August. Ms. Wagner said it takes roughly three weeks to get through contracts and insurance documents and typically they start a month after that.

A motion was made and seconded (B. Dziwulski, R. Grosch) to award the Foxwood Court/Kathryn Court drainage improvement project to Buteyn Peterson Construction Company in the amount of \$287,335.31 plus contingencies and engineer fees. Motion Passed: 5-For, 0-Against.

6. Discussion and Possible Action for Railroad Quiet Zone Study for the Crossings Located at Weyer Road, Green Road, and Watertown Road

Ms. Wagner stated the City is reviewing the quiet zones and wanted to present it to Common Council to see if they were interested in pursuing it. She noted there are residents who call on a regular basis asking about quiet zones and what can be done to address the horns.

Ms. Wagner turned it over to Mr. Gabbey.

Mr. Gabbey stated the first location was on Weyer Road near the Duplainville Road intersection. He said there is a recommendation to move forward and would need to set up some meetings and submit the design to the FHWA. He noted the recommended design is for a raised median and quad gates. He said due to not enough space near the intersection it would not be an immediately approved design and noted it will take significant time to get approvals.

Mr. Dziwulski asked if this would be like what they did at Lakefront Park and on Forest Grove. Ms. Wagner stated it would be similar and this is one alternative. She also felt it would be the most cost effective.

Mr. Grosch asked if there has been any discussion with the Town of Lisbon. Ms. Wagner stated there have not been any formal discussions, although they have had some informal discussions with their DPW liaison, and he shared that they do support the quiet zone crossings. She said without knowing the costs of the improvements, it is hard to get them on board.

Ms. Brown said the City has done so many studies and they don't go anywhere due to the expense. She felt it didn't make sense to make only one crossing a quiet zone. Discussion took place regarding the cost of the studies and the different corridors.

Mr. Dziwulski asked if the City goes through all of this to make a quiet zone and the engineer wants to blow the horn he still can. Ms. Wagner stated yes.

Mr. Clark asked if the quiet zone options require the trains to operate at a higher or lower speed, or if speed is not a factor. Attorney Riffle noted speed is not a factor.

Mr. Wamser stated he is in favor of a quiet zone but feels the City should talk to the County about the future plans of Springdale Road and Watertown Road and the possibility of becoming a four-lane road. Ms. Wagner stated she could reach out to the County. She noted she has not heard anything about them expanding them to a four-lane road. She said it's not likely that the County would participate in any sort of quiet zone. If there were any sort of improvements, the County would give the City the permits to complete, but the County would not cover any of the cost.

Further discussion took place regarding future plans on Springdale Road.

Ms. Brown asked if there are quiet zones on County Road VV in the Village of Sussex. Ms. Wagner stated she was unsure but is aware they do have some quiet zones. Ms. Brown felt quiet zones have never been a priority and feels spending potentially a 1/2 million or more to take on studies and putting them in is an astronomical amount of money. Attorney Riffle stated you can special assess the cost.

Mr. Grosch asked about private crossings and who would be responsible for them. Ms. Wagner said it would be part of the analysis and if the railroad requires improvement to those crossings the City may need to fund it if the property owners do not see a benefit to it. Mr. Gabbey stated it is based on risk analysis and what the risk is of not having a train horn. Mr. Gabbey stated the crossing at Weyer Road would get the City through the application process which could take up to six plus months. He said Green Road would provide an analysis to understand what crossings need to be included and what the risk is at each crossing.

Mr. Clark asked if this was about people being discomforted by the sound or if it was really an installation to protect people. Ms. Wagner stated it's about sound but as a byproduct you get an improved safety crossing.

A motion was made and seconded (I. Clark, J. Wamser) to table this item. Motion Passed 3-For, 2-Against (R. Grosch, B. Dziwulski).

The Clerk was directed to put this item back on an agenda when all the members could be present.

7. Discussion and Possible Action to Determine Appropriate Steps Related to Future Agreements with the Village Pertaining to the Joint Fire/Rescue Services (Terminating 12/31/2022) and the Joint Library Agreement (Terminating 12/31/2024)

Mr. Klein stated they are looking for two volunteers from City Council and the Village Board to start negotiations. He noted Mayor Bierce would prefer to be on Joint/Fire Rescue Service and will still need one more Council member. He said the Joint Library will need two Common Council members.

Mr. Clark noted the Village has already selected their representatives.

Mr. Dziwulski, Mr. Wamser and Mr. Vetterkind stated they were all interested in the Joint Fire/Rescue Service Committee. Ms. Brown and Mr. Clark said they would be interested in the Joint Library Board.

8. Attorney Riffle to Swear In the Following Elected Officials:
Rich Reinbold - Alderman District 1
Colleen Brown - Alderman District 2
Brian Dziwulski - Alderman District 3

Attorney Riffle asked the newly elected officials to stand, and he swore in the Aldermen from each of the districts.

9. Public Comment

Larry Marincic (N30W2121 Green Road) stated the railroad would like to have a continuous whistle band. He said Elm Grove has a whistle band and Brookfield does not. He feels if the City would enact one it might create a problem with Brookfield. He thinks the City should consider where Brookfield is on the whistle band before the City does anything.

10. Closed Session – You are hereby notified that the Common Council and staff of the City of Pewaukee will convene into closed session after all regular scheduled business has been concluded and upon motion duly made and seconded and acted upon by roll-call vote as required under §19.85(1)(a), Stats. The purpose of the closed session is for the following:

- 19.85(1)(g): Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved, specifically related to the excessive assessment claim of Richard Carr (W268 N2433 Meadowbrook Road – PWC 0931-972)

You are further notified that at the conclusion of the Closed Session, the Common Council may convene into open session pursuant to 19.85(2), Stats., for possible additional discussion and action concerning any matters discussed in closed session and for adjournment.

A motion was made and seconded (J. Wamser, B. Dziwulski) to go into closed session at 7:19 p.m. Motion Passed: 5-For, 0-Against via roll call vote.

A motion was made and seconded (B. Dziwulski, I. Clark) to go back into open session at 7:30 p.m. Motion Passed: 5-For, 0-Against

11. Adjournment

A motion was made and seconded (B. Dziwulski, P. Vetterkind) to adjourn the meeting at 7:30 p.m. Motion Passed: 5-For, 0-Against.

Respectfully Submitted,

Kelly Tarczewski
Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 3.2.**

DATE: May 2, 2022

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

Approve the Accounts Payable Listing Dated May 2, 2022

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

A/P 5/2/2022

Check Date	Check	Vendor Name	Description	Amount
Bank 100 GENERAL FUND CHECKING				
04/21/2022	134648	ADVANCE NAME PLATE & BADGE	BLD NAME PLATE	13.93
			ENG NAME PLATE	13.93
			CT NAME PLATE	12.93
				40.79
04/21/2022	134649	AIRGAS USA	FD OXYGEN	315.89
			FD OXYGEN	118.83
				434.72
04/21/2022	134650	ALLAN BUILDERS LLC	BD Bond Refund	500.00
04/21/2022	134651	AMI HURD	CT MILEAGE REIMBURSEMENT	28.67
04/21/2022	134652	BEDROCK SEWER & WATER	ENG 2020-SOPA-023 PERMIT REFUND	1,000.00
04/21/2022	134653	BS&A SOFTWARE	IT BS&A ANNUAL RENEWAL	12,785.00
04/21/2022	134654	CONWAY SHIELD	FD HOOD 2 PIECE	348.00
04/21/2022	134655	DIGITAL OFFICE SOLUTIONS	BLD XEROX USAGE	42.40
04/21/2022	134656	DIVERSIFIED BENEFIT SERVICES, INC.	COBRA SERVICES	800.00
04/21/2022	134657	FERGUSON WATERWORKS	SW HYDRANT REPAIR	218.00
			SW FOLD LCK UTIL KN	18.00
				236.00
04/21/2022	134658	FIRE SERVICE INC	FD REPLACE CHECK VALVE	271.03
			FD REPAIRS	251.51
			FD REPAIRS	293.59
				816.13
04/21/2022	134659	GENERAL CODE	CH CODE REVIEW SITE ANNUAL MAINT	995.00
04/21/2022	134660	HASTINGS	FD TAILPIPE ADAPTER	194.90
04/21/2022	134661	HAWKINS, INC.	SW CHEMICALS	3,897.06
04/21/2022	134662	HEARTLAND BUSINESS SYSTEMS	IT SERVER MONITORING	92.00
04/21/2022	134663	HUMPHREY SERVICE PARTS, INC	BLD OIL FILTER	9.58
04/21/2022	134664	HYDROCORP	SW CROSS CONNECTION INSP	1,171.00
04/21/2022	134665	IMEG CORP	ENG BUSSE ROAD BRIDGE REPLACEMENT	3,059.30
			ENG BUSSE ROAD BRIDGE	7,122.36
			ENG BUSSE ROAD BRIDGE	4,616.50
			ENG BUSSE RD BRIDGE	296.25
			ENG BRIDGE INSPECTIONS	1,200.00
				16,294.41
04/21/2022	134666	IS OUTFITTERS	IT FIREWALL & VPN ASSISTANCE	600.00
04/21/2022	134667	JENNIFER SCHOLTKA	P&R ZUMBA GOLD SESSION 3	360.00
04/21/2022	134668	KORNDORFER HOMES	BD Bond Refund	500.00
04/21/2022	134669	KWIK TRIP INC.	FD FUEL	6,606.98
04/21/2022	134670	LANGE ENTERPRISES, INC	BLD ADDRESS TILES	364.07
04/21/2022	134671	LIFE-ASSIST INC	FD SAFETY RESTOCK	30.87
			FD SAFETY RESTOCK	86.46
			FD SAFETY RESTOCK	162.19
			FD SAFETY RESTOCK	244.27
			FD SAFETY RESTOCK	84.02
				607.81

Check Date	Check	Vendor Name	Description	Amount
04/21/2022	134672	MARTHA FURST	P&R CHAIR YOGA SUB	120.00
04/21/2022	134673	MATRIX TRUST COMPANY	CT LOAN REPAYMENT PD 4/8/22	50.00
			CT LOAN REPAYMENT PD 4/22/22	50.00
				100.00
04/21/2022	134674	MENARDS	SW PVC, ADAPTERS, HOLE STRAP FOR WELL 1	30.29
			SW HOSE AND NOZZLES FOR WELL 1	36.90
			SW EAR PLUGS	4.99
				72.18
04/21/2022	134675	OFFICE COPYING EQUIPMENT, LTD	CT SHARP MX7580N CONTRACT	200.63
04/21/2022	134676	OFFICE DEPOT	BLD OFFICE SUPPLIES	10.64
			BLD OFFICE SUPPLIES	15.29
			CT OFFICE SUPPLIES	64.49
			CH TISSUE AND PAPER TOWEL	630.36
			CT OFFICE SUPPLIES	10.14
			CT OFFICE SUPPLIES	7.46
			CT OFFICE SUPPLIES	36.62
			SW PENS	15.40
				790.40
04/21/2022	134677	PITNEY BOWES GLOBAL	CT EQUIP RENTAL	180.00
04/21/2022	134678	POWER HAWK TECHNOLOGIES	FD DECALS	136.50
04/21/2022	134679	STRAND ASSOCIATES, INC	SW WATER SYSTEM MASTER PLAN	19,820.00
04/21/2022	134680	TRUCK & AUTO ELEGANCE	SW TRUCK 5 WEATHERGUARD LADDER RACK	715.00
04/21/2022	134681	VICTORY HOMES	BLD 210745 OCCUPANCY BOND REFUND	500.00
04/21/2022	134682	VILLAGE OF PEWAUKEE	SW QTR 1 SEWER SERVICE CHG	19,611.80
04/21/2022	134683	WAUKESHA CO TREASURER	PLC MUNICIPAL PATROL	253,459.29
			FD RADIO PROGRAMMING	66.71
				253,526.00
04/21/2022	134684	WE ENERGIES	LED STREET LIGHT CONVERSION FOR CITY	15,955.00
04/21/2022	134685	WI DEPT OF JUSTICE-TIME	PLC TIME ACCESS	180.00
			PLC TIME ACCESS	180.00
				360.00
04/21/2022	134686	WISCONSIN LEGAL BLANK	CT VOTER ID PADS	74.85
04/21/2022	134687	WPRA	HR JOB POSTING	75.00
04/21/2022	134688	NATIONWIDE RETIREMENT SOLUTIONS	RETIREMENT PD 4-22-22	2,109.09
04/28/2022	134689	ADP SCREENING & SELECTION SERVICES	HR EXAMS	28.00
04/28/2022	134690	AECOM TECHNICAL SERVICES, INC	ENG STORMWATER MGMT SITE REVIEW	7,486.89
04/28/2022	134691	ARAMARK	HWY UNIFORMS	88.98
			HWY UNIFORMS	88.40
				177.38
04/28/2022	134692	ARO LOCK & DOOR	CH LOCK ON STORAGE ROOM DOOR	136.00
04/28/2022	134693	BBC LIGHTING	HWY LIGHTING	269.80
			HWY LIGHTING	83.90
				353.70

Check Date	Check	Vendor Name	Description	Amount
04/28/2022	134694	BUMPER TO BUMPER HARTLAND	HWY FILTERS	120.36
			HWY MAINTAINER	45.99
				166.35
04/28/2022	134695	CITY OF BROOKFIELD	SW LOAN PMT/INTEREST	13,911.58
			SW LOAN PMT/INTEREST	9,543.61
				23,455.19
04/28/2022	134696	CUMMINS SALES & SERVICE	SW GEN MAINT.	1,125.54
04/28/2022	134697	DAN PLAUTZ CLEANING SERVICE	CH CLEANING SERVICE	2,873.00
04/28/2022	134698	DANIEL VALDEZ	CRT TAX INTERCEPT OVERPAYMENT	25.00
04/28/2022	134699	DENALI HOMES LLC	BLD 210660 OCCUPANCY BOND REFUND	500.00
04/28/2022	134700	DIVERSIFIED BENEFIT SERVICES, INC.	APRIL 2022 FLEX	220.26
			APRIL 2022 HRA	349.24
				569.50
04/28/2022	134701	ELEVITY	IT M365, EMAIL, MONITORING, ENG HOURS	4,257.00
04/28/2022	134702	ELLIOTT ACE HARDWARE	HWY DUCT TAPE	9.99
04/28/2022	134703	FAMBRO MANAGEMENT	P&R CHESS SCHOLARS	465.00
04/28/2022	134704	FIRE SERVICE INC	FD CABLE LANYARD	73.12
			FD ASSY CABLE STR COLUMN	101.97
			FD FUEL CAP	52.78
				227.87
04/28/2022	134705	HALEN HOMES	BD Bond Refund	500.00
04/28/2022	134706	HUMPHREY SERVICE PARTS, INC	HWY EQUIP REPAIR	47.14
			P&R FILTER	18.84
				65.98
04/28/2022	134707	JOE WILDE CO	CH BUILDING REPAIRS	139.00
04/28/2022	134708	JORDAN KOELLER	CRT REFUND ON CITATION	48.80
04/28/2022	134709	JORDYN KOWALKE	P&R BOOT REIMBURSEMENT	59.45
04/28/2022	134710	KATIE VITALBO	P&R PROGRAM REIMBURSEMENT	106.68
04/28/2022	134711	KMB ELECTRIC	CH NEW LIGHTS IN UTILITY OFFICE	567.00
04/28/2022	134712	LAFARGE AGGREGATES ILLINOIS, INC.	HWY STONE	162.00
04/28/2022	134713	LANGE ENTERPRISES, INC	CT ELECTION SIGNS	375.22
04/28/2022	134714	LANNON STONE PRODUCTS	HWY STONE	543.30
04/28/2022	134715	LEE RECREATION	P&R SWING PARTS	350.00
04/28/2022	134716	LIFE-ASSIST INC	FD SAFETY RESTOCK	18.96
			FD SAFETY RESTOCK	4.80
			FD SAFETY RESTOCK	396.48
				420.24
04/28/2022	134717	LITHO-CRAFT	ENG DPW NEWSLETTER	2,680.60
04/28/2022	134718	M&E TREE SERVICE LLC	HWY TREE REMOVALS	6,450.00
04/28/2022	134719	MACQUEEN EQUIPMENT	HWY EQUIP REPAIR	98.89
			HWY EQUIP REPAIR & MAINT	1,116.97
				1,215.86
04/28/2022	134720	MARK HOPPE	FD TOLL FEE REIMBURSEMENT	28.95
04/28/2022	134721	MARY FIRNROHR	P&R TAI CHI SESSION 3	299.20

Check Date	Check	Vendor Name	Description	Amount
04/28/2022	134722	MENARDS	HWY EQUIP REPAIR	12.50
			HWY MAILBOX POSTS	97.31
			SW SEAT COVER, COMB RATCH	38.96
			P&R TOILET RELIEF VALVE, WIRE LOCK	18.35
			P&R HANDICAPPED SIGN, VINYL, BRAILLE RES	23.96
			P&R WOOD	20.78
			P&R MOTION SENSOR, KNOB	43.44
			CH WIRE	39.88
				295.18
04/28/2022	134723	MICHAEL BAENEN	ENG RETURN STREET OPENING 2020-SOPA-037	1,000.00
04/28/2022	134724	OFFICE COPYING EQUIPMENT, LTD	CRT SHARP MX3571 CONTRACT	7.61
04/28/2022	134725	OFFICE DEPOT	BLD PAPER	44.06
04/28/2022	134726	PORT-A-JOHN	P&R SEASONAL RESTROOM	96.00
			P&R SEASONAL RESTROOM	96.00
			P&R SEASONAL RESTROOM	96.00
			P&R SEASONAL RESTROOM	96.00
				384.00
04/28/2022	134727	PREMIUM WATERS, INC	CRT WATER	47.24
			HWY WATER	16.50
			P&R WATER	48.49
				112.23
04/28/2022	134728	QUALITY POWER SOLUTIONS	IT ANNUAL BATTERY BACKUP MAINT IN IT ROO	2,125.00
04/28/2022	134729	REACH	IT PLAYER LICENSE RENEWAL	700.00
04/28/2022	134730	SAEDE GRIFFIN	CRT RESTITUTION	159.00
04/28/2022	134731	SCHOOL DISTRICT OF MENOMONEE FALLS	P&R DANCING WITH HORSES	765.00
04/28/2022	134732	SHAWNS DEER PICK UP	HWY DEER PICKUP	770.07
04/28/2022	134733	SIGNARAMA	P&R BASEBALL FIELD 1 NAME SIGN	285.00
04/28/2022	134734	SINGLE SOURCE	ENG DUPLAINVILLE RD	3,060.00
			ENG DUPLAINVILLE RD	8,680.00
				11,740.00
04/28/2022	134735	STATE OF WI COURT FINES & ASSMTS	CRT STATES SHARE OF COURT COSTS & ASSESS	9,734.03
04/28/2022	134736	STRAND ASSOCIATES, INC	SW WATER SYSTEM MASTER PLAN	27,650.00
			ENG DUPLAINVILLE RD RECONSTRUCTION	9,595.46
			ENG LINDSAY RD TRAIL DESIGN	27,671.53
				64,916.99
04/28/2022	134737	TIA GRANDINETTI	CT MILEAGE REIMBURSEMENT	21.06
04/28/2022	134738	TOTAL TOOL	HWY CHAIN	46.62
			HWY EQUIP REPAIR	427.91
			HWY EQUIP REPAIR	106.96
			HWY	187.31
			SW WRECH, PADDLE SWITCH	638.70
				1,407.50
04/28/2022	134739	TRC LOCKBOX	ENG QUAD LOT EXEMPTIONS REQUESTS	2,023.84
04/28/2022	134740	TRIPLE CROWN PRODUCTS	HWY CLOTHING	90.00
			HWY UNIFORMS	270.00
				360.00

Check Date	Check	Vendor Name	Description	Amount
04/28/2022	134741	US BANK EQUIPMENT FINANCE	ENG PLOTTER LEASE	446.26
04/28/2022	134742	VERIZON	FD MDC AIR CARDS	201.79
			FD AIR CARDS	70.48
			SW TELEPHONE, SCADA	382.17
				<u>654.44</u>
04/28/2022	134743	VILLAGE OF PEWAUKEE	CT LIBRARY MAY 2022	70,049.25
04/28/2022	134744	VIV RIECHERT	P&R PROGRAM REFUND	25.00
04/28/2022	134745	WASTE MANAGEMENT	HWY RECYCLABLES	3,208.24
04/28/2022	134746	WAUKESHA CO TREASURER	CRT COUNTY JAIL ASSESSMENTS & DRIVER IMP	2,946.39
			PLC POLICE OVERTIME	11,869.92
				<u>14,816.31</u>
04/28/2022	134747	WAUKESHA LIME & STONE CO.	HWY STONE	572.58
04/28/2022	134748	WAWM RECREATION DEPT	P&R BE ACTIVE PARTICIPATION FEE	12.70
04/28/2022	134749	WI RURAL WATER ASSOCIATION	HR SAFETY	58.79
04/28/2022	134750	WOLF CONSTRUCTION COMPANY	HWY COLD MIX	218.40
				<u>218.40</u>

100 TOTALS:

Total of 103 Disbursements:

605,852.20

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 4.**

DATE: May 2, 2022

DEPARTMENT: Public Works

PROVIDED BY: Magdelene Wagner

SUBJECT:

PUBLIC HEARING regarding the Duplainville Road Reconstruction and Trail Construction Project [Wagner]

BACKGROUND:

The City authorized the road rehabilitation project for Duplainville Road Reconstruction, Duplainville Road Trail Extension, and Lindsay Road Trail Extension as part of the 2022 budget.

Duplainville Road Reconstruction extends from Canadian Pacific Tracks (just south of Green Road) to Weyer Road (City Limits), approximately 2.3 miles. The Duplainville Road Trail Extension is an 8 foot wide off-road trail which extends from Green Road to Lindsay Road. The Lindsay Road Trail is an 8 foot wide off-road trail which extends from Duplainville Road to the Pewaukee Sports Complex.

Duplainville Road is in poor condition and requires reconstruction. The project was bid to remove the existing asphalt pavement and stone base, complete any subgrade repairs, complete drainage improvements, install new water services to unserved parcels, repair damaged curbs, place new curb, place new asphaltic concrete pavement north of Capital Drive, and place new concrete pavement south of Capital Drive. In addition, we will be completing minor repairs to inlets, valve boxes, and manholes within the project area.

An 8 foot off-road trail will be installed along the Duplainville Road from Green Road to Lindsay Road. We have an alternate bid to install an 8 foot off-road trail from Duplainville Road to the Pewaukee Sports Complex.

We received 5 bids for this project. Upon review of the bids, the low bid contractor depends on if the alternate (Lindsay Road Trail) is awarded. If the alternate is not awarded, Buteyn-Peterson Contraction Company Inc. is the low bid. If the alternate is awarded, Musson Brothers Inc. is the low bid. Since Staff was unable to determine who the low bid will be, the assessments were calculated using both Contractors. Notices were sent based on the worst case assessments and therefore is a blend of the two bids.

The City secured a Local Road Improvement Program (LRIP) grant in the amount of \$1,518,000.00 which will be applied to road construction costs. In addition, the road project costs assessed to the property owners will be reduced by 50% as Duplainville Road is designated as a local arterial. The road will be assessed as an asphalt section and a concrete section.

The road and curb assessments for agricultural, single family, duplex, and condominium residential properties capped at the 2022 paving cap of \$3,005.00. For properties that are wetlands or floodplain, the 2022 paving cap is \$951.00. All non-residential properties will receive the full assessment.

Water Services assessments will be levied in full for properties that do not currently have a water service extended to the property line for future service.

FINANCIAL IMPACT:

The 2022 Budget has the following included:

City Road: \$6,700,000 (2022 borrowing)
Storm Water Utility: \$1,000,000
Bike & Pedestrian: \$450,000 for Duplainville Trail
Bike & Pedestrian: \$325,000 for Lindsay Trail

The project costs for Buteyn-Peterson are:
City Road: \$4,888,694.59
Storm Water Utility: \$1,561,982.44
Bike & Pedestrian: \$519,003.73 for Duplainville Trail

The project is under budget for the borrowing for the road project. An additional \$561,982.44 will need to be borrowed for the storm water utility. The trail fund will also need to borrow an additional \$69,003.73.

The project costs for Musson Brothers are:
City Road: \$4,877,240.07
Storm Water Utility: \$1,612,146.95
Bike & Pedestrian: \$957,987.32 for Duplainville Trail & Lindsay Trail

The project is under budget for the borrowing for the road project. An additional \$612,146.95 will need to be borrowed for the storm water utility. The trail fund will also need to borrow an additional \$182,987.32.

RECOMMENDED MOTION:

Common Council award the Duplainville Road Reconstruction & Trail Construction Contract to the lowest qualified bidder, Buteyn-Peterson Construction Company Inc., in the amount of \$5,443,915.88 and accept the preliminary engineers report, and special assessments.

OR

Common Council award the Duplainville Road Reconstruction & Trail Construction and Lindsay Road Trail Contract to the lowest qualified bidder, Musson Brothers, Inc., in the amount of \$5,789,935.11 and accept the preliminary engineers report, and special assessments.

ATTACHMENTS:

Description
Bid Summary
Preliminary Engineers Report - Musson
Preliminary Engineers Report - Buteyn
Preliminary Assessment - worst case

Bids Received: 10 A.M.
April 7, 2022

STRAND ASSOCIATES, INC.®
126 North Jefferson Street
Suite 350
Milwaukee, Wisconsin 53202

DUPLAINVILLE ROAD RECONSTRUCTION AND LINDSAY ROAD PATH
CONTRACT 1-2021
CITY OF PEWAUKEE, WISCONSIN

BID TABULATION SUMMARY

Bidder and Address	Bid Bond or Guarantee	Addenda Acknowledged	Computed Total Bid	Bid Alternative No. 1
Buteyn-Peterson Construction Co., Inc. N7337 Dairyland Drive Sheboygan, WI 53083	5%	Yes	\$5,443,915.88	\$374,956.40
LaLonde Contractors, Inc. 1609 Lincoln Avenue Waukesha, WI 53186	5%	Yes	\$5,456,620.04 *\$5,461,920.04	\$407,443.83
Musson Bros, Inc. 1522 Pearl Street Waukesha, WI 53186	5%	Yes	\$5,467,048.43	\$322,886.68
Super Western, Inc. N59 W14601 Bobolink Avenue Menomonee Falls, WI 53051	5%	Yes	\$5,479,554.81	\$339,752.84
Zignego Company, Inc. W226 N2940 Duplainville Road Waukesha, WI 53186	5%	Yes	\$6,195,904.30 *\$6,207,252.64	\$399,519.56

*CONTRACTOR'S COMPUTED TOTAL

Reviewed by: 

Bids Received: 10 A.M., April 7, 2022

STRAND ASSOCIATES, INC.®
126 North Jefferson Street, Suite 350
Milwaukee, WI 53203

DUPLAINVILLE ROAD RECONSTRUCTION AND LINDSAY ROAD PATH

CONTRACT 1-2021

CITY OF PEWAUKEE, WISCONSIN

BID TABULATION BREAKDOWN

				Buteyn-Peterson Construction Co., Inc. N7337 Dairyland Drive Sheboygan, WI 53083		LaLonde Contractors, Inc. 1609 Lincoln Avenue Waukesha, WI 53186		Musson Bros, Inc. 1522 Pearl Street Waukesha, WI 53186		Super Western, Inc. N59 W14601 Bobolink Avenue Menomonee Falls, WI 53051		Zignego Company, Inc. W226 N2940 Duplainville Road Waukesha, WI 53186	
No.	Description	Quantity	Unit	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
Duplainville Road Roadway													
1.	Common Excavation	39,514	CY	\$ 12.34	\$ 487,602.76	\$ 10.72	\$ 423,590.08	\$ 11.34	\$ 448,088.76	\$ 8.90	\$ 351,674.60	\$ 10.72	\$ 423,590.08
2.	Concrete Driveway Removal	60	SY	\$ 12.00	\$ 720.00	\$ 10.00	\$ 600.00	\$ 10.00	\$ 600.00	\$ 11.81	\$ 708.60	\$ 10.00	\$ 600.00
3.	Saw Cut, Asphalt	2,162	LF	\$ 1.75	\$ 3,783.50	\$ 1.70	\$ 3,675.40	\$ 3.00	\$ 6,486.00	\$ 1.55	\$ 3,351.10	\$ 1.70	\$ 3,675.40
4.	Saw Cut, Concrete	48	LF	\$ 5.00	\$ 240.00	\$ 2.10	\$ 100.80	\$ 3.00	\$ 144.00	\$ 2.25	\$ 108.00	\$ 2.10	\$ 100.80
5.	Concrete Curb and Gutter Removal	820	LF	\$ 7.00	\$ 5,740.00	\$ 3.15	\$ 2,583.00	\$ 3.15	\$ 2,583.00	\$ 3.28	\$ 2,689.60	\$ 3.15	\$ 2,583.00
6.	EBS	4,852	CY	\$ 16.00	\$ 77,632.00	\$ 15.13	\$ 73,410.76	\$ 15.13	\$ 73,410.76	\$ 12.27	\$ 59,534.04	\$ 15.13	\$ 73,410.76
7.	EBS Backfill	10,675	T	\$ 18.36	\$ 195,993.00	\$ 19.05	\$ 203,358.75	\$ 19.05	\$ 203,358.75	\$ 17.67	\$ 188,627.25	\$ 19.05	\$ 203,358.75
8.	EBS Geogrid	14,557	SY	\$ 2.70	\$ 39,303.90	\$ 2.52	\$ 36,683.64	\$ 2.52	\$ 36,683.64	\$ 2.54	\$ 36,974.78	\$ 2.52	\$ 36,683.64
9.	3/4-IN Dense-Grade Base	21,228	T	\$ 17.46	\$ 370,640.88	\$ 15.08	\$ 320,118.24	\$ 15.69	\$ 333,067.32	\$ 15.00	\$ 318,420.00	\$ 19.00	\$ 403,332.00
10.	1 1/4-IN Dense-Grade Base	30,042	T	\$ 13.84	\$ 415,781.28	\$ 13.75	\$ 413,077.50	\$ 13.56	\$ 407,369.52	\$ 13.21	\$ 396,854.82	\$ 19.00	\$ 570,798.00
11.	1 1/4-IN Dense-Grade Base (Bike Path)	3,566	T	\$ 15.50	\$ 55,273.00	\$ 13.75	\$ 49,032.50	\$ 17.63	\$ 62,868.58	\$ 14.42	\$ 51,421.72	\$ 19.00	\$ 67,754.00
12.	30-IN Concrete Curb and Gutter	6,710	LF	\$ 16.45	\$ 110,379.50	\$ 18.31	\$ 122,860.10	\$ 17.00	\$ 114,070.00	\$ 16.45	\$ 110,379.50	\$ 29.00	\$ 194,590.00
13.	30-IN Concrete Curb and Gutter HES	1,225	LF	\$ 19.75	\$ 24,193.75	\$ 35.30	\$ 43,242.50	\$ 19.00	\$ 23,275.00	\$ 19.75	\$ 24,193.75	\$ 35.00	\$ 42,875.00
14.	Concrete Flume	2	EA	\$ 400.00	\$ 800.00	\$ 1,061.83	\$ 2,123.66	\$ 1,500.00	\$ 3,000.00	\$ 400.00	\$ 800.00	\$ 2,000.00	\$ 4,000.00
15.	Curb Cut	4	EA	\$ 300.00	\$ 1,200.00	\$ 800.00	\$ 3,200.00	\$ 400.00	\$ 1,600.00	\$ 300.00	\$ 1,200.00	\$ 1,000.00	\$ 4,000.00
16.	6-IN Concrete Driveway HES	177	SY	\$ 57.00	\$ 10,089.00	\$ 73.57	\$ 13,021.89	\$ 81.00	\$ 14,337.00	\$ 57.00	\$ 10,089.00	\$ 100.00	\$ 17,700.00
17.	Dome Detectable Warning, Radial, Natural Patina	48	SF	\$ 45.00	\$ 2,160.00	\$ 51.56	\$ 2,474.88	\$ 60.00	\$ 2,880.00	\$ 45.00	\$ 2,160.00	\$ 100.00	\$ 4,800.00
18.	Dome Detectable Warning, Rectangular, Natural Patina	96	SF	\$ 38.00	\$ 3,648.00	\$ 35.38	\$ 3,396.48	\$ 50.00	\$ 4,800.00	\$ 38.00	\$ 3,648.00	\$ 200.00	\$ 19,200.00
19.	Concrete Sidewalk 5-IN	1,635	SF	\$ 6.00	\$ 9,810.00	\$ 5.65	\$ 9,237.75	\$ 6.50	\$ 10,627.50	\$ 6.00	\$ 9,810.00	\$ 10.00	\$ 16,350.00
20.	Adjusting Sanitary MH	20	EA	\$ 800.00	\$ 16,000.00	\$ 760.40	\$ 15,208.00	\$ 760.40	\$ 15,208.00	\$ 677.00	\$ 13,540.00	\$ 760.00	\$ 15,200.00
													\$15,208.00

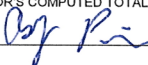
21.	Reconstruct Sanitary MH	3	EA	\$ 2,400.00	\$ 7,200.00	\$ 2,117.09	\$ 6,351.27	\$ 2,117.09	\$ 6,351.27	\$ 1,734.00	\$ 5,202.00	\$ 2,117.09	\$ 6,351.27
22.	Adjusting Valve Box	43	EA	\$ 200.00	\$ 8,600.00	\$ 100.00	\$ 4,300.00	\$ 76.88	\$ 3,305.84	\$ 410.00	\$ 17,630.00	\$ 410.00	\$ 17,630.00
23.	Replace Valve Box	17	EA	\$ 1,250.00	\$ 21,250.00	\$ 470.00	\$ 7,990.00	\$ 470.10	\$ 7,991.70	\$ 584.00	\$ 9,928.00	\$ 584.00	\$ 9,928.00
24.	Relocate Hydrant	20	EA	\$ 3,500.00	\$ 70,000.00	\$ 3,121.04	\$ 62,420.80	\$ 3,121.04	\$ 62,420.80	\$ 3,589.00	\$ 71,780.00	\$ 3,121.04	\$ 62,420.80
25.	HMA Pavement 4 LT 58-28 S	3,785	T	\$ 65.50	\$ 247,917.50	\$ 65.50	\$ 247,917.50	\$ 65.50	\$ 247,917.50	\$ 65.50	\$ 247,917.50	\$ 65.50	\$ 247,917.50
26.	HMA Pavement 3 LT 58-28 S	7,571	T	\$ 60.36	\$ 456,985.56	\$ 60.36	\$ 456,985.56	\$ 60.36	\$ 456,985.56	\$ 60.36	\$ 456,985.56	\$ 60.36	\$ 456,985.56
27.	HMA Driveway	746	T	\$ 95.35	\$ 71,131.10	\$ 95.35	\$ 71,131.10	\$ 95.35	\$ 71,131.10	\$ 95.35	\$ 71,131.10	\$ 95.35	\$ 71,131.10
28.	Asphaltic Surface (Bike Path)	1,419	T	\$ 95.35	\$ 135,301.65	\$ 95.35	\$ 135,301.65	\$ 95.35	\$ 135,301.65	\$ 95.35	\$ 135,301.65	\$ 95.35	\$ 135,301.65
29.	Asphaltic Patching	291	SY	\$ 35.00	\$ 10,185.00	\$ 35.00	\$ 10,185.00	\$ 35.00	\$ 10,185.00	\$ 35.00	\$ 10,185.00	\$ 35.00	\$ 10,185.00
30.	Concrete Pavement, 8-IN	14,726	SY	\$ 43.80	\$ 644,998.80	\$ 45.36	\$ 667,971.36	\$ 44.00	\$ 647,944.00	\$ 43.80	\$ 644,998.80	\$ 60.00	\$ 883,560.00
31.	Clearing and Grubbing	1,525	SY	\$ 5.50	\$ 8,387.50	\$ 5.50	\$ 8,387.50	\$ 5.55	\$ 8,463.75	\$ 5.79	\$ 8,829.75	\$ 3.35	\$ 5,108.75
32.	Tree Removal	1,024	IN DIA	\$ 26.50	\$ 27,136.00	\$ 26.50	\$ 27,136.00	\$ 26.76	\$ 27,402.24	\$ 27.89	\$ 28,559.36	\$ 33.29	\$ 34,088.96
33.	Rock Excavation	439	CY	\$ 120.00	\$ 52,680.00	\$ 11.27	\$ 4,947.53	\$ 11.27	\$ 4,947.53	\$ 122.00	\$ 53,558.00	\$ 11.27	\$ 4,947.53
34.	Relocate Tree	4	EA	\$ 600.00	\$ 2,400.00	\$ 600.00	\$ 2,400.00	\$ 185.00	\$ 740.00	\$ 500.00	\$ 2,000.00	\$ 600.00	\$ 2,400.00
35.	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	36,739	SY	\$ 5.10	\$ 187,368.90	\$ 4.85	\$ 178,184.15	\$ 6.30	\$ 231,455.70	\$ 7.50	\$ 275,542.50	\$ 4.85	\$ 178,184.15
Duplainville Road Roadway													
36.	Removing Inlet	5	EA	\$ 300.00	\$ 1,500.00	\$ 359.97	\$ 1,799.85	\$ 359.97	\$ 1,799.85	\$ 450.00	\$ 2,250.00	\$ 359.97	\$ 1,799.85
37.	Removing MH	4	EA	\$ 500.00	\$ 2,000.00	\$ 447.11	\$ 1,788.44	\$ 447.11	\$ 1,788.44	\$ 500.00	\$ 2,000.00	\$ 447.11	\$ 1,788.44
38.	Removing Storm Sewer	116	LF	\$ 13.00	\$ 1,508.00	\$ 26.11	\$ 3,028.76	\$ 26.11	\$ 3,028.76	\$ 20.00	\$ 2,320.00	\$ 26.11	\$ 3,028.76
39.	Removing Culverts	1,420	LF	\$ 10.00	\$ 14,200.00	\$ 13.82	\$ 19,624.40	\$ 13.82	\$ 19,624.40	\$ 10.00	\$ 14,200.00	\$ 13.82	\$ 19,624.40
40.	12-IN Concrete Storm Sewer	2,740	LF	\$ 64.00	\$ 175,360.00	\$ 62.92	\$ 172,400.80	\$ 62.92	\$ 172,400.80	\$ 87.00	\$ 238,380.00	\$ 62.92	\$ 172,400.80
41.	15-IN Concrete Storm Sewer	1,937	LF	\$ 80.00	\$ 154,960.00	\$ 83.01	\$ 160,790.37	\$ 83.01	\$ 160,790.37	\$ 110.00	\$ 213,070.00	\$ 83.01	\$ 160,790.37
42.	24-IN Concrete Storm Sewer	435	LF	\$ 90.00	\$ 39,150.00	\$ 78.07	\$ 33,960.45	\$ 78.07	\$ 33,960.45	\$ 129.00	\$ 56,115.00	\$ 78.07	\$ 33,960.45
43.	30-IN Concrete Storm Sewer	1,394	LF	\$ 114.00	\$ 158,916.00	\$ 117.70	\$ 164,073.80	\$ 117.70	\$ 164,073.80	\$ 142.00	\$ 197,948.00	\$ 117.70	\$ 164,073.80
44.	14-IN by 23-IN Horizontal Elliptical Pipe	263	LF	\$ 119.00	\$ 31,297.00	\$ 109.63	\$ 28,832.69	\$ 109.63	\$ 28,832.69	\$ 126.00	\$ 33,138.00	\$ 109.63	\$ 28,832.69
45.	19-IN by 30-IN Horizontal Elliptical Pipe	52	LF	\$ 138.00	\$ 7,176.00	\$ 127.42	\$ 6,625.84	\$ 127.42	\$ 6,625.84	\$ 153.00	\$ 7,956.00	\$ 127.42	\$ 6,625.84
46.	24-IN by 38-IN Horizontal Elliptical Pipe	506	LF	\$ 150.00	\$ 75,900.00	\$ 148.45	\$ 75,115.70	\$ 148.45	\$ 75,115.70	\$ 203.00	\$ 102,718.00	\$ 148.45	\$ 75,115.70
47.	12-IN Corrugated Culvert Pipe	98	LF	\$ 58.00	\$ 5,684.00	\$ 56.60	\$ 5,546.80	\$ 56.60	\$ 5,546.80	\$ 97.00	\$ 9,506.00	\$ 56.60	\$ 5,546.80
48.	15-IN Corrugated Culvert Pipe	110	LF	\$ 62.00	\$ 6,820.00	\$ 59.85	\$ 6,583.50	\$ 59.85	\$ 6,583.50	\$ 105.00	\$ 11,550.00	\$ 59.85	\$ 6,583.50

49.	13-IN by 17-IN Horizontal Elliptical Corrugated Culvert Pipe	22	LF	\$ 68.00	\$ 1,496.00	\$ 72.55	\$ 1,596.10	\$ 72.55	\$ 1,596.10	\$ 115.00	\$ 2,530.00	\$ 72.55	\$ 1,596.10
50.	15-IN by 21-IN Corrugated Culvert Pipe	87	LF	\$ 78.00	\$ 6,786.00	\$ 81.03	\$ 7,049.61	\$ 81.03	\$ 7,049.61	\$ 121.00	\$ 10,527.00	\$ 81.03	\$ 7,049.61
51.	24-IN by 35-IN Horizontal Elliptical Corrugated Culvert Pipe	33	LF	\$ 132.00	\$ 4,356.00	\$ 114.33	\$ 3,772.89	\$ 114.33	\$ 3,772.89	\$ 171.00	\$ 5,643.00	\$ 114.33	\$ 3,772.89
52.	3-FT Storm MH W/ Frame and Grate	16	EA	\$ 2,300.00	\$ 36,800.00	\$ 2,585.42	\$ 41,366.72	\$ 2,585.42	\$ 41,366.72	\$ 1,990.00	\$ 31,840.00	\$ 2,585.42	\$ 41,366.72
53.	4-FT Storm MH W/ Frame and Grate	19	EA	\$ 2,850.00	\$ 54,150.00	\$ 2,999.24	\$ 56,985.56	\$ 2,999.24	\$ 56,985.56	\$ 2,387.00	\$ 45,353.00	\$ 2,999.24	\$ 56,985.56
54.	5-FT Storm MH W/ Frame and Grate	11	EA	\$ 3,750.00	\$ 41,250.00	\$ 4,002.25	\$ 44,024.75	\$ 4,002.25	\$ 44,024.75	\$ 3,159.00	\$ 34,749.00	\$ 4,002.25	\$ 44,024.75
55.	6-FT Storm MH W/ Frame and Grate	8	EA	\$ 4,750.00	\$ 38,000.00	\$ 5,071.10	\$ 40,568.80	\$ 5,071.10	\$ 40,568.80	\$ 5,324.00	\$ 42,592.00	\$ 5,071.10	\$ 40,568.80
56.	7-FT Storm MH W/ Frame and Grate	1	EA	\$ 7,450.00	\$ 7,450.00	\$ 7,259.24	\$ 7,259.24	\$ 7,259.24	\$ 7,259.24	\$ 7,933.00	\$ 7,933.00	\$ 7,259.24	\$ 7,259.24
57.	Inlets 2-FT by 3-FT W/ Frame and Grate	13	EA	\$ 2,150.00	\$ 27,950.00	\$ 2,428.39	\$ 31,569.07	\$ 2,428.39	\$ 31,569.07	\$ 2,008.00	\$ 26,104.00	\$ 2,428.39	\$ 31,569.07
58.	Existing Inlet Adjustment	5	EA	\$ 500.00	\$ 2,500.00	\$ 547.61	\$ 2,738.05	\$ 547.61	\$ 2,738.05	\$ 295.00	\$ 1,475.00	\$ 547.61	\$ 2,738.05
59.	12-IN RCP End Section	12	EA	\$ 1,000.00	\$ 12,000.00	\$ 564.38	\$ 6,772.56	\$ 564.38	\$ 6,772.56	\$ 1,664.00	\$ 19,968.00	\$ 564.38	\$ 6,772.56
60.	12-IN RCP End Section with Grate	7	EA	\$ 1,400.00	\$ 9,800.00	\$ 978.98	\$ 6,852.86	\$ 978.98	\$ 6,852.86	\$ 2,054.00	\$ 14,378.00	\$ 978.98	\$ 6,852.86
61.	15-IN RCP End Section	7	EA	\$ 1,050.00	\$ 7,350.00	\$ 661.90	\$ 4,633.30	\$ 661.90	\$ 4,633.30	\$ 1,703.00	\$ 11,921.00	\$ 661.90	\$ 4,633.30
62.	15-IN RCP End Section W/ Grate	3	EA	\$ 1,500.00	\$ 4,500.00	\$ 1,208.34	\$ 3,625.02	\$ 1,208.34	\$ 3,625.02	\$ 2,185.00	\$ 6,555.00	\$ 1,208.34	\$ 3,625.02
63.	24-IN by 38-IN RCP End Section	3	EA	\$ 1,500.00	\$ 4,500.00	\$ 1,578.76	\$ 4,736.28	\$ 1,578.76	\$ 4,736.28	\$ 1,974.00	\$ 5,922.00	\$ 1,578.76	\$ 4,736.28
64.	12-IN Corrugated Culvert Pipe End Section	12	EA	\$ 250.00	\$ 3,000.00	\$ 189.46	\$ 2,273.52	\$ 189.46	\$ 2,273.52	\$ 114.00	\$ 1,368.00	\$ 189.46	\$ 2,273.52
65.	15-IN Corrugated Culvert Pipe End Section	10	EA	\$ 275.00	\$ 2,750.00	\$ 220.49	\$ 2,204.90	\$ 220.49	\$ 2,204.90	\$ 144.00	\$ 1,440.00	\$ 220.49	\$ 2,204.90
66.	13-IN by 17-IN Corrugated Culvert Pipe End Section	2	EA	\$ 300.00	\$ 600.00	\$ 22.49	\$ 44.98	\$ 222.49	\$ 444.98	\$ 146.00	\$ 292.00	\$ 222.49	\$ 444.98
67.	15-IN by 21-IN Corrugated Culvert Pipe End Section	6	EA	\$ 350.00	\$ 2,100.00	\$ 270.62	\$ 1,623.72	\$ 270.62	\$ 1,623.72	\$ 174.00	\$ 1,044.00	\$ 270.62	\$ 1,623.72
68.	15-IN by 21-IN Corrugated Culvert Pipe End Section W/ Grate	1	EA	\$ 850.00	\$ 850.00	\$ 808.69	\$ 808.69	\$ 808.69	\$ 808.69	\$ 700.00	\$ 700.00	\$ 808.69	\$ 808.69
69.	24-IN by 35-IN Corrugated Culvert Pipe End Section	2	EA	\$ 600.00	\$ 1,200.00	\$ 681.44	\$ 1,362.88	\$ 681.44	\$ 1,362.88	\$ 510.00	\$ 1,020.00	\$ 681.44	\$ 1,362.88
70.	Concrete Collar	4	EA	\$ 500.00	\$ 2,000.00	\$ 717.35	\$ 2,869.40	\$ 717.35	\$ 2,869.40	\$ 551.00	\$ 2,204.00	\$ 717.35	\$ 2,869.40
Duplainville Road Water Main													
71.	12-IN Water Main W/ Granular Backfill	1,000	LF	\$ 145.00	\$ 145,000.00	\$ 154.33	\$ 154,330.00	\$ 154.33	\$ 154,330.00	\$ 206.00	\$ 206,000.00	\$ 154.33	\$ 154,330.00
72.	10-IN Water Main W/ Granular Backfill	60	LF	\$ 230.00	\$ 13,800.00	\$ 228.42	\$ 13,705.20	\$ 228.42	\$ 13,705.20	\$ 227.00	\$ 13,620.00	\$ 228.42	\$ 13,705.20
73.	6-IN Water Main W/ Granular Backfill	90	LF	\$ 150.00	\$ 13,500.00	\$ 125.17	\$ 11,265.30	\$ 125.17	\$ 11,265.30	\$ 158.00	\$ 14,220.00	\$ 125.17	\$ 11,265.30
74.	Fire Hydrant Assembly W/ Aux Valve	2	EA	\$ 7,250.00	\$ 14,500.00	\$ 12,314.50	\$ 24,629.00	\$ 12,314.50	\$ 24,629.00	\$ 7,512.00	\$ 15,024.00	\$ 12,314.50	\$ 24,629.00
75.	12-IN Gate Valve and Valve Box	3	EA	\$ 4,525.00	\$ 13,575.00	\$ 5,277.93	\$ 15,833.79	\$ 5,277.93	\$ 15,833.79	\$ 4,404.00	\$ 13,212.00	\$ 5,277.93	\$ 15,833.79

76.	10-IN Gate Valve and Valve Box	2	EA	\$ 3,750.00	\$ 7,500.00	\$ 4,337.44	\$ 8,674.88	\$ 4,337.44	\$ 8,674.88	\$ 3,651.00	\$ 7,302.00	\$ 4,337.44	\$ 8,674.88
77.	6-IN Gate Valve and Valve Box	1	EA	\$ 1,940.00	\$ 1,940.00	\$ 2,691.59	\$ 2,691.59	\$ 2,691.59	\$ 2,691.59	\$ 1,854.00	\$ 1,854.00	\$ 2,691.59	\$ 2,691.59
78.	HDPE Water Service	110	LF	\$ 135.00	\$ 14,850.00	\$ 140.50	\$ 15,455.00	\$ 140.50	\$ 15,455.00	\$ 168.00	\$ 18,480.00	\$ 140.50	\$ 15,455.00
79.	Connect to Existing Water Main	5	EA	\$ 4,000.00	\$ 20,000.00	\$ 4,015.68	\$ 20,078.40	\$ 4,015.68	\$ 20,078.40	\$ 4,549.00	\$ 22,745.00	\$ 4,015.68	\$ 20,078.40
80.	Abandon Existing Water Main	1	LS	\$ 9,500.00	\$ 9,500.00	\$ 2,355.37	\$ 2,355.37	\$ 2,355.37	\$ 2,355.37	\$ 6,654.00	\$ 6,654.00	\$ 2,355.37	\$ 2,355.37
81.	Water Main Insulation	1,008	SF	\$ 8.50	\$ 8,568.00	\$ 5.63	\$ 5,675.04	\$ 5.63	\$ 5,675.04	\$ 12.00	\$ 12,096.00	\$ 5.63	\$ 5,675.04
Miscellaneous													
82.	Traffic Control	1	LS	\$ 20,550.00	\$ 20,550.00	\$ 17,600.00	\$ 17,600.00	\$ 22,856.40	\$ 22,856.40	\$ 20,550.00	\$ 20,550.00	\$ 17,600.00	\$ 17,600.00
83.	Mobilization	1	LS	\$ 225,000.00	\$ 225,000.00	\$ 401,559.59	\$ 401,559.59	\$ 349,649.42	\$ 349,649.42	\$ 155,800.00	\$ 155,800.00	\$ 529,000.00	\$ 529,000.00
84.	Inlet Protection, Type A	24	EA	\$ 115.00	\$ 2,760.00	\$ 115.00	\$ 2,760.00	\$ 115.00	\$ 2,760.00	\$ 175.00	\$ 4,200.00	\$ 115.00	\$ 2,760.00
85.	Inlet Protection, Type B	27	EA	\$ 60.00	\$ 1,620.00	\$ 60.00	\$ 1,620.00	\$ 48.00	\$ 1,296.00	\$ 55.00	\$ 1,485.00	\$ 60.00	\$ 1,620.00
86.	Inlet Protection, Type D	29	EA	\$ 100.00	\$ 2,900.00	\$ 100.00	\$ 2,900.00	\$ 100.00	\$ 2,900.00	\$ 125.00	\$ 3,625.00	\$ 100.00	\$ 2,900.00
87.	Silt Fence	8,675	LF	\$ 1.80	\$ 15,615.00	\$ 1.80	\$ 15,615.00	\$ 1.44	\$ 12,492.00	\$ 1.65	\$ 14,313.75	\$ 1.80	\$ 15,615.00
88.	Silt Fence Drainage Relief	8	EA	\$ 300.00	\$ 2,400.00	\$ 300.00	\$ 2,400.00	\$ 200.00	\$ 1,600.00	\$ 150.00	\$ 1,200.00	\$ 300.00	\$ 2,400.00
89.	Culvert Pipe Check	40	EA	\$ 45.00	\$ 1,800.00	\$ 45.00	\$ 1,800.00	\$ 9.50	\$ 380.00	\$ 55.00	\$ 2,200.00	\$ 45.00	\$ 1,800.00
90.	Ditch Check	126	EA	\$ 110.00	\$ 13,860.00	\$ 110.00	\$ 13,860.00	\$ 63.00	\$ 7,938.00	\$ 75.00	\$ 9,450.00	\$ 110.00	\$ 13,860.00
91.	Tracking Pads	6	EA	\$ 2,000.00	\$ 12,000.00	\$ 1.00	\$ 6.00	\$ 1,505.31	\$ 9,031.86	\$ 2,346.26	\$ 14,077.56	\$ 1,500.00	\$ 9,000.00
92.	Riprap Medium	49	CY	\$ 130.00	\$ 6,370.00	\$ 11.03	\$ 540.47	\$ 111.03	\$ 5,440.47	\$ 113.36	\$ 5,554.64	\$ 111.03	\$ 5,440.47
93.	Geotextile Type HR	147	SY	\$ 8.00	\$ 1,176.00	\$ 6.36	\$ 934.92	\$ 6.36	\$ 934.92	\$ 12.70	\$ 1,866.90	\$ 6.36	\$ 934.92
94.	Remove Water Sampling Station	1	EA	\$ 1,500.00	\$ 1,500.00	\$ 2,610.27	\$ 2,610.27	\$ 2,610.27	\$ 2,610.27	\$ 1,749.00	\$ 1,749.00	\$ 2,610.27	\$ 2,610.27
95.	Exploratory Utility Opening	40	EA	\$ 700.00	\$ 28,000.00	\$ 368.86	\$ 14,754.40	\$ 368.86	\$ 14,754.40	\$ 222.06	\$ 8,882.40	\$ 368.86	\$ 14,754.40
96.	Remove, Temporary Relocate, and Permanent Relocate Mailbox	34	EA	\$ 155.00	\$ 5,270.00	\$ 155.00	\$ 5,270.00	\$ 250.00	\$ 8,500.00	\$ 150.00	\$ 5,100.00	\$ 155.00	\$ 5,270.00
97.	Remove Signs	1	LS	\$ 225.00	\$ 225.00	\$ 225.00	\$ 225.00	\$ 1,750.00	\$ 1,750.00	\$ 1,200.00	\$ 1,200.00	\$ 225.00	\$ 225.00
98.	Reset Signs Mounted on Post Wood 4-IN by 6-IN	44	EA	\$ 220.00	\$ 9,680.00	\$ 220.00	\$ 9,680.00	\$ 180.00	\$ 7,920.00	\$ 250.00	\$ 11,000.00	\$ 220.00	\$ 9,680.00
99.	Relocate Sign	5	EA	\$ 125.00	\$ 625.00	\$ 125.00	\$ 625.00	\$ 110.00	\$ 550.00	\$ 125.00	\$ 625.00	\$ 125.00	\$ 625.00
100.	Sign and Post	23	EA	\$ 370.00	\$ 8,510.00	\$ 370.00	\$ 8,510.00	\$ 345.00	\$ 7,935.00	\$ 275.00	\$ 6,325.00	\$ 370.00	\$ 8,510.00
101.	Marking Line Epoxy 4-IN	39,974	LF	\$ 0.55	\$ 21,985.70	\$ 0.55	\$ 21,985.70	\$ 0.59	\$ 23,584.66	\$ 0.55	\$ 21,985.70	\$ 0.55	\$ 21,985.70
102.	Marking Line Epoxy 6-IN Solid	76	LF	\$ 9.00	\$ 684.00	\$ 9.00	\$ 684.00	\$ 13.83	\$ 1,051.08	\$ 13.00	\$ 988.00	\$ 9.00	\$ 684.00
103.	Marking Line Epoxy 8-IN	520	LF	\$ 1.80	\$ 936.00	\$ 1.80	\$ 936.00	\$ 2.93	\$ 1,523.60	\$ 2.75	\$ 1,430.00	\$ 1.80	\$ 936.00

104.	Marking Stop Line Epoxy 18-IN	171	LF	\$ 12.00	\$ 2,052.00	\$ 12.00	\$ 2,052.00	\$ 14.90	\$ 2,547.90	\$ 14.00	\$ 2,394.00	\$ 12.00	\$ 2,052.00
105.	Marking Line Epoxy 24-IN	279	LF	\$ 13.00	\$ 3,627.00	\$ 13.00	\$ 3,627.00	\$ 17.03	\$ 4,751.37	\$ 16.00	\$ 4,464.00	\$ 13.00	\$ 3,627.00
106.	Marking Arrox Epoxy	10	EA	\$ 250.00	\$ 2,500.00	\$ 250.00	\$ 2,500.00	\$ 292.63	\$ 2,926.30	\$ 275.00	\$ 2,750.00	\$ 250.00	\$ 2,500.00
107.	Marking Railroad Crossing Epoxy	2	EA	\$ 900.00	\$ 1,800.00	\$ 900.00	\$ 1,800.00	\$ 2,128.21	\$ 4,256.42	\$ 2,000.00	\$ 4,000.00	\$ 900.00	\$ 1,800.00
108.	Culvert End Markers	30	EA	\$ 75.00	\$ 2,250.00	\$ 75.00	\$ 2,250.00	\$ 75.00	\$ 2,250.00	\$ 65.00	\$ 1,950.00	\$ 75.00	\$ 2,250.00
109.	Bioretention Basin Clean-Washed Clear Stone	66	CY	\$ 65.00	\$ 4,290.00	\$ 46.00	\$ 3,036.00	\$ 46.00	\$ 3,036.00	\$ 40.93	\$ 2,701.38	\$ 46.00	\$ 3,036.00
110.	Bioretention Basin Clean-Washed Pea Gravel	22	CY	\$ 70.00	\$ 1,540.00	\$ 80.68	\$ 1,774.96	\$ 80.68	\$ 1,774.96	\$ 48.93	\$ 1,076.46	\$ 80.68	\$ 1,774.96
111.	Bioretention Basin Engineered Soil	77	CY	\$ 60.00	\$ 4,620.00	\$ 50.00	\$ 3,850.00	\$ 70.00	\$ 5,390.00	\$ 50.50	\$ 3,888.50	\$ 50.00	\$ 3,850.00
112.	Bioretention Basin Hardwood Mulch	17	CY	\$ 88.00	\$ 1,496.00	\$ 88.00	\$ 1,496.00	\$ 38.00	\$ 646.00	\$ 53.23	\$ 904.91	\$ 53.50	\$ 909.50
113.	Bioretention Basin Sand	17	CY	\$ 60.00	\$ 1,020.00	\$ 88.27	\$ 1,500.59	\$ 88.27	\$ 1,500.59	\$ 52.19	\$ 887.23	\$ 88.27	\$ 1,500.59
114.	Bioretention Basin Underdrain Cleanout	6	EA	\$ 350.00	\$ 2,100.00	\$ 189.37	\$ 1,136.22	\$ 189.37	\$ 1,136.22	\$ 970.00	\$ 5,820.00	\$ 189.37	\$ 1,136.22
115.	Bioretention Basin Herbaceous Plugs	1,790	SF	\$ 8.90	\$ 15,931.00	\$ 8.90	\$ 15,931.00	\$ 4.15	\$ 7,428.50	\$ 3.00	\$ 5,370.00	\$ 8.90	\$ 15,931.00
116.	Bioretention Basin 6-IN Perforated Underdrain	130	LF	\$ 15.00	\$ 1,950.00	\$ 18.17	\$ 2,362.10	\$ 18.17	\$ 2,362.10	\$ 38.00	\$ 4,940.00	\$ 18.17	\$ 2,362.10
117.	Bioretention Basin Geotextile	14	SY	\$ 20.00	\$ 280.00	\$ 25.00	\$ 350.00	\$ 25.00	\$ 350.00	\$ 22.10	\$ 309.40	\$ 25.00	\$ 350.00
118.	Low Mow Seed Mix	841	SY	\$ 4.60	\$ 3,868.60	\$ 4.60	\$ 3,868.60	\$ 2.65	\$ 2,228.65	\$ 1.00	\$ 841.00	\$ 4.60	\$ 3,868.60
119.	Cash Allowance for Canadian Pacific Right of Entry Permit and Flagging	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
120.	Cash Allowance for Canadian National Right of Entry Permit and Flagging	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
ENGINEER'S COMPUTED TOTAL ITEMS NO. 1 THROUGH 120					\$ 5,443,915.88		\$ 5,456,620.04		\$ 5,467,048.43		\$ 5,479,554.81		\$ 6,195,904.30
CONTRACTOR'S COMPUTED TOTAL ITEMS NO. 1 THROUGH 120					\$ 5,443,915.88		\$ 5,461,920.04		\$ 5,467,048.43		\$ 5,479,554.81		\$ 6,207,252.64

* CONTRACTOR'S COMPUTED TOTAL

Reviewed by 

Bids Received: 10 A.M., April 7, 2022

STRAND ASSOCIATES, INC.®
126 North Jefferson Street, Suite 350
Milwaukee, WI 53203

DUPLAINVILLE ROAD RECONSTRUCTION AND LINDSAY ROAD PATH
CONTRACT 1-2021
CITY OF PEWAUKEE, WISCONSIN
BID ALTERNATIVE NO. 1

				Buteyn-Peterson Construction Co., Inc. N7337 Dairyland Drive Sheboygan, WI 53083		LaLonde Contractors, Inc. 1609 Lincoln Avenue Waukesha, WI 53186		Musson Bros, Inc. 1522 Pearl Street Waukesha, WI 53186		Super Western, Inc. N59 W14601 Bobolink Avenue Menomonee Falls, WI 53051		Zignego Company, Inc. W226 N2940 Duplainville Road Waukesha, WI 53186	
No.	Description	Quantity	Unit	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
Lindsay Road Path													
1.	Common Excavation	1,137	CY	\$ 15.00	\$ 17,055.00	\$ 14.92	\$ 16,964.04	\$ 14.92	\$ 16,964.04	\$ 19.77	\$ 22,478.49	\$ 14.92	\$ 16,964.04
2.	Culvert Headwall	1	LS	\$ 96,000.00	\$ 96,000.00	\$ 145,000.00	\$ 145,000.00	\$ 83,137.93	\$ 83,137.93	\$ 75,500.00	\$ 75,500.00	\$ 140,000.00	\$ 140,000.00
3.	Railing	88	LF	\$ 110.00	\$ 9,680.00	\$ 105.00	\$ 9,240.00	\$ 110.00	\$ 9,680.00	\$ 110.00	\$ 9,680.00	\$ 51.00	\$ 4,488.00
4.	EBS	371	CY	\$ 16.00	\$ 5,936.00	\$ 21.35	\$ 7,920.85	\$ 21.35	\$ 7,920.85	\$ 13.79	\$ 5,116.09	\$ 21.35	\$ 7,920.85
5.	EBS Backfill	817	T	\$ 19.00	\$ 15,523.00	\$ 21.56	\$ 17,614.52	\$ 21.56	\$ 17,614.52	\$ 17.67	\$ 14,436.39	\$ 21.56	\$ 17,614.52
6.	EBS Geogrid	1,114	SY	\$ 3.00	\$ 3,342.00	\$ 3.92	\$ 4,366.88	\$ 3.92	\$ 4,366.88	\$ 2.54	\$ 2,829.56	\$ 3.92	\$ 4,366.88
7.	3/4-IN Dense-Grade Base	134	T	\$ 18.00	\$ 2,412.00	\$ 15.08	\$ 2,020.72	\$ 26.09	\$ 3,496.06	\$ 78.18	\$ 10,476.12	\$ 19.00	\$ 2,546.00
8.	1 1/4-IN Dense-Grade Base	365	T	\$ 15.00	\$ 5,475.00	\$ 13.75	\$ 5,018.75	\$ 18.71	\$ 6,829.15	\$ 13.39	\$ 4,887.35	\$ 19.00	\$ 6,935.00
9.	1 1/4-IN Dense-Grade Base (Bike Path)	1,183	T	\$ 15.00	\$ 17,745.00	\$ 13.75	\$ 16,266.25	\$ 18.71	\$ 22,133.93	\$ 17.08	\$ 20,205.64	\$ 19.00	\$ 22,477.00
10.	Asphaltic Surface (Bike Path)	468	T	\$ 108.85	\$ 50,941.80	\$ 99.77	\$ 46,692.36	\$ 95.35	\$ 44,623.80	\$ 95.35	\$ 44,623.80	\$ 95.35	\$ 44,623.80
11.	Dome Detectable Warning, Radial, Natural Patina	41	SF	\$ 45.00	\$ 1,845.00	\$ 54.03	\$ 2,215.23	\$ 60.00	\$ 2,460.00	\$ 45.00	\$ 1,845.00	\$ 100.00	\$ 4,100.00
12.	Dome Detectable Warning, Rectangular, Natural Patina	32	SF	\$ 38.00	\$ 1,216.00	\$ 35.28	\$ 1,128.96	\$ 50.00	\$ 1,600.00	\$ 38.00	\$ 1,216.00	\$ 200.00	\$ 6,400.00
13.	Concrete Sidewalk 5-IN	509	SF	\$ 8.00	\$ 4,072.00	\$ 7.20	\$ 3,664.80	\$ 6.50	\$ 3,308.50	\$ 8.00	\$ 4,072.00	\$ 10.00	\$ 5,090.00
14.	Adjusting Valve Box	4	EA	\$ 250.00	\$ 1,000.00	\$ 76.88	\$ 307.52	\$ 76.88	\$ 307.52	\$ 410.00	\$ 1,640.00	\$ 76.88	\$ 307.52
15.	Relocate Hydrant	3	EA	\$ 3,650.00	\$ 10,950.00	\$ 3,385.55	\$ 10,156.65	\$ 3,385.55	\$ 10,156.65	\$ 3,589.00	\$ 10,767.00	\$ 3,385.55	\$ 10,156.65
16.	Clearing and Grubbing	1,710	SY	\$ 5.50	\$ 9,405.00	\$ 5.50	\$ 9,405.00	\$ 5.55	\$ 9,490.50	\$ 5.79	\$ 9,900.90	\$ 3.35	\$ 5,728.50
17.	Tree Removal	50	IN DIA	\$ 26.50	\$ 1,325.00	\$ 26.50	\$ 1,325.00	\$ 26.76	\$ 1,338.00	\$ 27.89	\$ 1,394.50	\$ 33.29	\$ 1,664.50
18.	Relocate Tree	7	EA	\$ 1,250.00	\$ 8,750.00	\$ 1,250.00	\$ 8,750.00	\$ 185.00	\$ 1,295.00	\$ 500.00	\$ 3,500.00	\$ 1,250.00	\$ 8,750.00
19.	Rip Rap Medium	33	CY	\$ 140.00	\$ 4,620.00	\$ 111.03	\$ 3,663.99	\$ 111.03	\$ 3,663.99	\$ 113.35	\$ 3,740.55	\$ 111.03	\$ 3,663.99
20.	Geotextile Type HR	99	SY	\$ 8.00	\$ 792.00	\$ 6.36	\$ 629.64	\$ 6.36	\$ 629.64	\$ 12.70	\$ 1,257.30	\$ 6.36	\$ 629.64
21.	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	5,489	SY	\$ 5.50	\$ 30,189.50	\$ 4.97	\$ 27,280.33	\$ 7.91	\$ 43,417.99	\$ 7.50	\$ 41,167.50	\$ 4.97	\$ 27,280.33

				Buteyn-Peterson Construction Co., Inc. N7337 Dairyland Drive Sheboygan, WI 53083		LaLonde Contractors, Inc. 1609 Lincoln Avenue Waukesha, WI 53186		Musson Bros, Inc. 1522 Pearl Street Waukesha, WI 53186		Super Western, Inc. N59 W14601 Bobolink Avenue Menomonee Falls, WI 53051		Zignego Company, Inc. W226 N2940 Duplainville Road Waukesha, WI 53186	
No.	Description	Quantity	Unit	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price	Unit Price	Total Price
Lindsay Road Path													
Lindsay Road Path Storm Sewer													
22.	Removing Culverts	17	LF	\$ 15.00	\$ 255.00	\$ 10.00	\$ 170.00	\$ 10.00	\$ 170.00	\$ 20.00	\$ 340.00	\$ 10.00	\$ 170.00
23.	12-IN Corrugated Culvert Pipe	36	LF	\$ 60.00	\$ 2,160.00	\$ 29.07	\$ 1,046.52	\$ 29.07	\$ 1,046.52	\$ 98.00	\$ 3,528.00	\$ 29.07	\$ 1,046.52
24.	30-IN Concrete Storm Sewer	84	LF	\$ 120.00	\$ 10,080.00	\$ 119.19	\$ 10,011.96	\$ 119.19	\$ 10,011.96	\$ 154.00	\$ 12,936.00	\$ 119.19	\$ 10,011.96
25.	12-IN Corrugated Culvert Pipe End Section	2	EA	\$ 265.00	\$ 530.00	\$ 189.46	\$ 378.92	\$ 189.46	\$ 378.92	\$ 114.00	\$ 228.00	\$ 189.46	\$ 378.92
26.	30-IN RCP End Section	2	EA	\$ 1,550.00	\$ 3,100.00	\$ 1,434.26	\$ 2,868.52	\$ 1,434.26	\$ 2,868.52	\$ 4,113.00	\$ 8,226.00	\$ 1,434.26	\$ 2,868.52
27.	Concrete Collar	2	EA	\$ 500.00	\$ 1,000.00	\$ 889.66	\$ 1,779.32	\$ 889.66	\$ 1,779.32	\$ 551.00	\$ 1,102.00	\$ 889.66	\$ 1,779.32
28.	Culvert End Markers	4	EA	\$ 75.00	\$ 300.00	\$ 75.00	\$ 300.00	\$ 75.00	\$ 300.00	\$ 65.00	\$ 260.00	\$ 75.00	\$ 300.00
Miscellaneous													
29.	Marking Line Epoxy 6-IN Solid	76	LF	\$ 9.00	\$ 684.00	\$ 9.00	\$ 684.00	\$ 13.83	\$ 1,051.08	\$ 13.00	\$ 988.00	\$ 9.00	\$ 684.00
30.	Sign and Post	2	EA	\$ 235.00	\$ 470.00	\$ 235.00	\$ 470.00	\$ 345.00	\$ 690.00	\$ 275.00	\$ 550.00	\$ 235.00	\$ 470.00
31.	Traffic Control	1	LS	\$ 2,500.00	\$ 2,500.00	\$ 4,500.00	\$ 4,500.00	\$ 1,918.60	\$ 1,918.60	\$ 1,725.00	\$ 1,725.00	\$ 4,500.00	\$ 4,500.00
32.	Cofferdam	1	EA	\$ 50,000.00	\$ 50,000.00	\$ 40,000.00	\$ 40,000.00	\$ 4,725.47	\$ 4,725.47	\$ 15,000.00	\$ 15,000.00	\$ 30,000.00	\$ 30,000.00
33.	Silt Fence	1,361	LF	\$ 2.10	\$ 2,858.10	\$ 2.10	\$ 2,858.10	\$ 1.44	\$ 1,959.84	\$ 1.65	\$ 2,245.65	\$ 2.10	\$ 2,858.10
34.	Silt Fence Drainage Relief	1	EA	\$ 300.00	\$ 300.00	\$ 300.00	\$ 300.00	\$ 200.00	\$ 200.00	\$ 150.00	\$ 150.00	\$ 300.00	\$ 300.00
35.	Culvert Pipe Check	3	EA	\$ 45.00	\$ 135.00	\$ 45.00	\$ 135.00	\$ 9.50	\$ 28.50	\$ 55.00	\$ 165.00	\$ 45.00	\$ 135.00
36.	Ditch Check	21	EA	\$ 110.00	\$ 2,310.00	\$ 110.00	\$ 2,310.00	\$ 63.00	\$ 1,323.00	\$ 75.00	\$ 1,575.00	\$ 110.00	\$ 2,310.00
ENGINEER'S COMPUTED TOTAL ITEMS NO. 1 THROUGH 36					\$ 374,956.40		\$ 407,443.83		\$ 322,886.68		\$ 339,752.84		\$ 399,519.56
CONTRACTOR'S COMPUTED TOTAL ITEMS NO. 1 THROUGH 36					\$ 374,956.40		\$ 407,443.83		\$ 322,886.68		\$ 339,752.84		\$ 399,519.56

Reviewed by 

Preliminary Report of the Engineer
On the Proposed Duplainville Road
Pavement Reconstruction, Curb, and Water Service Assessments
In the City of Pewaukee

In accordance with the resolution passed by the City Council of the City of Pewaukee, we herewith submit our report on assessments for the reconstruction of Duplainville Road, the installation of a bicycle and pedestrian trail along Duplainville Road and Lindsay Road, sanitary improvements along Duplainville Road, drainage improvements along Duplainville Road, Green Road, and Lindsay Road, and water main improvements along Duplainville Road to be made in the City of Pewaukee. All data shown here is based on bid prices.

The report consists of the following Schedules:

Schedule "A": Summary of options for assessments and related costs.

Schedule "B": Legal descriptions, dated April 2022, and maps, dated April 2022 of all parcels within the assessment district.

Schedule "C": Estimated assessment for each parcel affected.

The properties against which the assessments are proposed are benefited and the improvements constitute and exercise of Police Powers.

Magdelene J. Wagner, P.E.
Director of Public Works/City Engineer
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072
May 2, 2022

Prepared by:
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Civil Engineer
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Schedule “A” – Duplainville Road

The City of Pewaukee is considering the pavement reconstruction of Duplainville Road. The improvements consist of road reconstruction, trail installation, curb installation and repair, drainage installation and repair, sanitary manhole repair, water main relay and valve repair, and related facilities.

This project will be funded in part by the Local Roads Improvement Program (LRIP). Federal funds received from this program total \$1,518,000.00. This federal funding will be allocated to the road construction costs.

The cost of road improvements and relevant costs due to improving the road will be allocated between the proposed asphalt and concrete segments of the road. The cost of the road improvements for each segment will first be reduced by an appropriate portion of the LRIP funds, then the remainder will be divided in half due to Duplainville Road being an arterial roadway. Half of the remainder for each segment will be non-assessable costs incurred by the City of Pewaukee. The other half of each segment will be apportioned to all property owners abutting the respective segment with direct or indirect access, excluding those who were assessed for the 2012 Green Road improvements. The City of Pewaukee caps the road assessments to agricultural, single family, duplex residential, and residential condominium properties, excluding deferred assessments in the event of future lot subdivisions. Wetland and floodplain properties have an additional reduced assessment cap. All other properties shall pay the full road assessment.

Fifty percent of new curb installations will be apportioned for a separate curb assessment for all property owners abutting portions of the street where proposed curb will be installed. These curb assessments will also be reduced by half due to Duplainville Road being an arterial roadway. The City of Pewaukee caps these separate curb assessments to agricultural, single family, duplex residential, and residential condominium properties, excluding deferred assessments in the event of future lot subdivisions. Wetland and floodplain properties have an additional reduced assessment cap. All other properties shall pay the full curb assessment.

The cost of installing the bicycle and pedestrian trail adjacent to Duplainville Road and Lindsay Road, along with relevant costs due to installing the trail, will be allocated to the City Trail Fund.

Drainage improvements and fifty percent of the new curb installations will be paid by the Storm Water Management Utility.

Sanitary sewer repairs will be paid by the Sewer Utility.

Water main repairs unrelated to the road reconstruction or the trail installation will be paid by the Water Utility. Costs of extending water services to property owners who are not currently connected to the water main will be assessed to those property owners receiving said services.

UNIT RATE COMPUTATIONS

Asphalt Road Reconstruction Acreage Rate – Duplainville Road

Estimated Road Reconstruction Costs (See attached breakdown)	\$ 2,261,401.81
Engineering, Administration, & Contingencies	\$ 678,420.54
Total Estimated Road Reconstruction Costs	\$ 2,939,822.35
LRIP Grant Funding (Deduct)	\$ (923,399.40)
Subtotal for Assessable Costs	\$ 2,016,422.95
50% reduction due to Local Arterial (Deduct)	\$ (1,008,211.47)
Total Estimated Road Reconstruction Assessable Costs	\$ 1,008,211.48

$$\frac{\$ 1,008,211.48}{170.28 \text{ acres}} = \$5,920.93/\text{acre}$$

Use \$5,920.93 as the Asphalt Road Reconstruction Acreage Rate¹.

Concrete Road Reconstruction Acreage Rate – Duplainville Road

Estimated Road Reconstruction Costs (See attached breakdown)	\$ 1,456,106.76
Engineering, Administration, & Contingencies	\$ 436,832.03
Total Estimated Road Reconstruction Costs	\$ 1,892,938.79
LRIP Grant Funding (Deduct)	\$ (594,600.60)
Subtotal for Assessable Costs	\$ 1,298,338.19
50% reduction due to Local Arterial (Deduct)	\$ (649,169.10)
Total Estimated Road Reconstruction Assessable Costs	\$ 649,169.09

$$\frac{\$ 649,169.09}{42.91 \text{ acres}} = \$15,127.56/\text{acre}$$

Use \$15,127.56 as the Concrete Road Reconstruction Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Curb Extension Acreage Rate – Duplainville Road

Estimated Curb Reconstruction Costs (See attached breakdown)	\$ 34,214.56
Engineering, Administration, & Contingencies	\$ 10,264.37
Total Estimated Curb Reconstruction Costs	\$ 44,478.93
50% reduction due to Local Arterial (Deduct)	\$ (22,239.46)
Total Estimated Curb Reconstruction Assessable Costs	\$ 22,239.47

$$\frac{\$ 22,239.47}{15.46 \text{ acres}} = \$1,438.19/\text{acre}$$

Use \$1,438.19 as the Curb Extension Acreage Rate¹.

City of Pewaukee Water – Duplainville Road

1-1/4" Water Service Unit Rate – Duplainville Road

Estimated 1-1/4" Water Service Costs (See attached breakdown)	\$ 8,036.60
Engineering, Administration, & Contingencies	\$ 2,410.98
Total Estimated 1-1/4" Water Service Assessable Cost	\$ 10,447.58

$$\frac{\$ 10,447.58}{2 \text{ units}} = \$5,223.79/\text{unit}$$

Use \$5,223.79 as the 1-1/4" Water Service Unit Rate.

6" Water Service Unit Rate – Duplainville Road

Estimated 6" Water Service Costs (See attached breakdown)	\$27,913.78
Engineering, Administration, & Contingencies	\$ 8,374.13
Total Estimated 6" Water Service Assessable Cost	\$36,287.91

$$\frac{\$ 36,287.91}{2 \text{ units}} = \$18,143.96/\text{unit}$$

Use \$18,143.96 as the 6" Water Service Unit Rate².

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

² After the project bid opening, staff added 90 feet of 6-inch diameter watermain (Bid Item 73) and one 6" valve (Bid Item 77) to connect a future water service to the new highway garage for the City of Pewaukee's Department of Public Works.

12" Water Service Unit Rate – Duplainville Road

Estimated 12" Water Service Costs (See attached breakdown)	\$ 12,994.43
Engineering, Administration, & Contingencies	\$ 3,898.33
Total Estimated 12" Water Service Assessable Cost	\$ 16,892.76

$$\frac{\$ 16,892.76}{1 \text{ unit}} = \$16,892.76/\text{unit}$$

Use \$16,892.76 as the 12" Water Service Unit Rate³.

City of Pewaukee Water Utility – Duplainville Road

Estimated Water Utility Project Costs (See attached breakdown)	\$17,632.87
Engineering, Administration, & Contingencies	\$ 5,289.86
Total Estimated Water Utility Project Costs	\$22,922.73

City Trail Fund – Duplainville Road and Lindsay Road

Estimated Trail Installation Costs (See attached breakdown)	\$ 736,913.32
Engineering, Administration, & Contingencies	\$ 221,074.00
Total Estimated Trail Installation Costs	\$ 957,987.32

Storm Water Management – Duplainville Road

Estimated Drainage Improvement Costs (See attached breakdown)	\$ 1,240,113.04
Engineering, Administration, & Contingencies	\$ 372,033.91
Total Estimated Drainage Improvement Costs	\$ 1,612,146.95

Sanitary Sewer Utility – Duplainville Road

Estimated Sanitary Sewer Costs (See attached breakdown)	\$ 21,559.27
Engineering, Administration, & Contingencies	\$ 6,467.78
Total Estimated Sanitary Sewer Costs	\$ 28,027.05

³ After the project bid opening, staff added 50 feet of 12-inch diameter watermain (Bid Item 71) and one 12" valve (Bid Item 75) to prepare for possible future development in the southern half of Section 12 of Town 07 North Range 19 East.

COST SUMMARY

Cost Summary

Total Project Costs	\$ 7,561,952.36
Total Road Assessable Costs -Asphalt (Deduct)	\$ (165,466.86)
Total Road Assessable Costs -Concrete (Deduct)	\$ (503,697.47)
Total Curb Assessable Costs (Deduct)	\$ (22,239.44)
Total Water Service Assessable Costs (Deduct)	\$ (63,628.26)
Total Water Utility Costs (Deduct)	\$ (22,922.73)
Total Sewer Utility Costs (Deduct)	\$ (28,027.05)
Total Storm Water Utility Costs (Deduct)	\$(1,612,146.95)
Total Duplainville & Lindsay Roadside Trail Extension Costs (Deduct)	\$ (957,987.32)
Net Non-assessable and City Costs	\$ 4,185,836.28

Computation of Costs
Total Reconstruction Project Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	39,514	CY	\$ 11.34	\$ 448,088.76
2	Concrete Driveway Removal	60	SY	\$ 10.00	\$ 600.00
3	Saw Cut, Asphalt	2,162	LF	\$ 3.00	\$ 6,486.00
4	Saw Cut, Concrete	48	LF	\$ 3.00	\$ 144.00
5	Concrete Curb and Gutter Removal	820	LF	\$ 3.15	\$ 2,583.00
6	EBS	4,852	CY	\$ 15.13	\$ 73,410.76
7	EBS Backfill	10,675	T	\$ 19.05	\$ 203,358.75
8	EBS Geogrid	14,557	SY	\$ 2.52	\$ 36,683.64
9	3/4-IN Dense-Grade Base	21,228	T	\$ 15.69	\$ 333,067.32
10	1 1/4-IN Dense-Grade Base	30,042	T	\$ 13.56	\$ 407,369.52
11	1 1/4-IN Dense-Grade Base (Bike Path)	3,566	T	\$ 17.63	\$ 62,868.58
12	30-IN Concrete Curb and Gutter	6,710	LF	\$ 17.00	\$ 114,070.00
13	30-IN Concrete Curb and Gutter HES	1,225	LF	\$ 19.00	\$ 23,275.00
14	Concrete Flume	2	EA	\$ 1,500.00	\$ 3,000.00
15	Curb Cut	4	EA	\$ 400.00	\$ 1,600.00
16	6-IN Concrete Driveway HES	177	SY	\$ 81.00	\$ 14,337.00
17	Dome Detectable Warning, Radial, Natural Patina	48	SF	\$ 60.00	\$ 2,880.00
18	Dome Detectable Warning, Rectangular, Natural Patina	96	SF	\$ 50.00	\$ 4,800.00
19	Concrete Sidewalk 5-IN	1,635	SF	\$ 6.50	\$ 10,627.50
20	Adjusting Sanitary MH	20	EA	\$ 760.40	\$ 15,208.00
21	Reconstruct Sanitary MH	3	EA	\$ 2,117.09	\$ 6,351.27
22	Adjusting Valve Box	43	EA	\$ 76.88	\$ 3,305.84
23	Replace Valve Box	17	EA	\$ 470.10	\$ 7,991.70
24	Relocate Hydrant	20	EA	\$ 3,121.04	\$ 62,420.80
25	HMA Pavement 4 LT 58-28 S	3,785	T	\$ 65.50	\$ 247,917.50
26	HMA Pavement 3 LT 58-28 S	7,571	T	\$ 60.36	\$ 456,985.56
27	HMA Driveway	746	T	\$ 95.35	\$ 71,131.10
28	Asphaltic Surface (Bike Path)	1,419	T	\$ 95.35	\$ 135,301.65
29	Asphaltic Patching	291	SY	\$ 35.00	\$ 10,185.00
30	Concrete Pavement, 8-IN	14,726	SY	\$ 44.00	\$ 647,944.00
31	Clearing and Grubbing	1,525	SY	\$ 5.55	\$ 8,463.75
32	Tree Removal	1,024	DIA	\$ 26.76	\$ 27,402.24
33	Rock Excavation	439	CY	\$ 11.27	\$ 4,947.53
34	Relocate Tree	4	EA	\$ 185.00	\$ 740.00

Total Reconstruction Project Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	36,739	SY	\$ 6.30	\$ 231,455.70
35	Removing Inlet	5	EA	\$ 359.97	\$ 1,799.85
36	Removing MH	4	EA	\$ 447.11	\$ 1,788.44
37	Removing Storm Sewer	116	LF	\$ 26.11	\$ 3,028.76
38	Removing Culverts	1,420	LF	\$ 13.82	\$ 19,624.40
39	12-IN Concrete Storm Sewer	2,740	LF	\$ 62.92	\$ 172,400.80
40	15-IN Concrete Storm Sewer	1,937	LF	\$ 83.01	\$ 160,790.37
41	24-IN Concrete Storm Sewer	435	LF	\$ 78.07	\$ 33,960.45
42	30-IN Concrete Storm Sewer	1,394	LF	\$ 117.70	\$ 164,073.80
43	14-IN by 23-IN Horizontal Elliptical Pipe	263	LF	\$ 109.63	\$ 28,832.69
44	19-IN by 30-IN Horizontal Elliptical Pipe	52	LF	\$ 127.42	\$ 6,625.84
45	24-IN by 38-IN Horizontal Elliptical Pipe	506	LF	\$ 148.45	\$ 75,115.70
46	12-IN Corrugated Culvert Pipe	98	LF	\$ 56.60	\$ 5,546.80
47	15-IN Corrugated Culvert Pipe	110	LF	\$ 59.85	\$ 6,583.50
48	13-IN by 17-IN Horizontal Elliptical Corrugated Culvert Pipe	22	LF	\$ 72.55	\$ 1,596.10
49	15-IN by 21-IN Corrugated Culvert Pipe	87	LF	\$ 81.03	\$ 7,049.61
50	24-IN by 35-IN Horizontal Elliptical Corrugated Culvert Pipe	33	LF	\$ 114.33	\$ 3,772.89
51	3-FT Storm MH W/ Frame and Grate	16	EA	\$ 2,585.42	\$ 41,366.72
52	4-FT Storm MH W/ Frame and Grate	19	EA	\$ 2,999.24	\$ 56,985.56
53	5-FT Storm MH W/ Frame and Grate	11	EA	\$ 4,002.25	\$ 44,024.75
54	6-FT Storm MH W/ Frame and Grate	8	EA	\$ 5,071.10	\$ 40,568.80
55	7-FT Storm MH W/ Frame and Grate	1	EA	\$ 7,259.24	\$ 7,259.24
56	Inlets 2-FT by 3-FT W/ Frame and Grate	13	EA	\$ 2,428.39	\$ 31,569.07
57	Existing Inlet Adjustment	5	EA	\$ 547.61	\$ 2,738.05
58	12-IN RCP End Section	12	EA	\$ 564.38	\$ 6,772.56
59	12-IN RCP End Section with Grate	7	EA	\$ 978.98	\$ 6,852.86
60	15-IN RCP End Section	7	EA	\$ 661.90	\$ 4,633.30
61	15-IN RCP End Section W/ Grate	3	EA	\$ 1,208.34	\$ 3,625.02
62	24-IN by 38-IN RCP End Section	3	EA	\$ 1,578.76	\$ 4,736.28
63	12-IN Corrugated Culvert Pipe End Section	12	EA	\$ 189.46	\$ 2,273.52
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Total Reconstruction Project Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
65	15-IN Corrugated Culvert Pipe End Section	10	EA	\$ 220.49	\$ 2,204.90
66	13-IN by 17-IN Corrugated Culvert Pipe End Section	2	EA	\$ 222.49	\$ 444.98
67	15-IN by 21-IN Corrugated Culvert Pipe End Section	6	EA	\$ 270.62	\$ 1,623.72
68	15-IN by 21-IN Corrugated Culvert Pipe End Section W/ Grate	1	EA	\$ 808.69	\$ 808.69
69	24-IN by 35-IN Corrugated Culvert Pipe End Section	2	EA	\$ 681.44	\$ 1,362.88
70	Concrete Collar	4	EA	\$ 717.35	\$ 2,869.40
71	12-IN Water Main W/ Granular Backfill	1,050	LF	\$ 154.33	\$ 162,046.50
72	10-IN Water Main W/ Granular Backfill	60	LF	\$ 228.42	\$ 13,705.20
73	6-IN Water Main W/ Granular Backfill	180	LF	\$ 125.17	\$ 22,530.60
74	Fire Hydrant Assembly W/ Aux Valve	2	EA	\$ 12,314.50	\$ 24,629.00
75	12-IN Gate Valve and Valve Box	4	EA	\$ 5,277.93	\$ 21,111.72
76	10-IN Gate Valve and Valve Box	2	EA	\$ 4,337.44	\$ 8,674.88
77	6-IN Gate Valve and Valve Box	2	EA	\$ 2,691.59	\$ 5,383.18
78	HDPE Water Service	110	LF	\$ 140.50	\$ 15,455.00
79	Connect to Existing Water Main	5	EA	\$ 4,015.68	\$ 20,078.40
80	Abandon Existing Water Main	1	LS	\$ 2,355.37	\$ 2,355.37
81	Water Main Insulation	1,008	SF	\$ 5.63	\$ 5,675.04
82	Traffic Control	1	LS	\$ 22,856.40	\$ 22,856.40
83	Mobilization	1	LS	\$349,649.42	\$ 349,649.42
84	Inlet Protection, Type A	24	EA	\$ 115.00	\$ 2,760.00
85	Inlet Protection, Type B	27	EA	\$ 48.00	\$ 1,296.00
86	Inlet Protection, Type D	29	EA	\$ 100.00	\$ 2,900.00
87	Silt Fence	8,675	LF	\$ 1.44	\$ 12,492.00
88	Silt Fence Drainage Relief	8	EA	\$ 200.00	\$ 1,600.00
89	Culvert Pipe Check	40	EA	\$ 9.50	\$ 380.00
90	Ditch Check	126	EA	\$ 63.00	\$ 7,938.00
91	Tracking Pads	6	EA	\$ 1,505.31	\$ 9,031.86
92	Riprap Medium	49	CY	\$ 111.03	\$ 5,440.47
93	Geotextile Type HR	147	SY	\$ 6.36	\$ 934.92
94	Remove Water Sampling Station	1	EA	\$ 2,610.27	\$ 2,610.27
95	Exploratory Utility Opening	40	EA	\$ 368.86	\$ 14,754.40
96	Remove, Temporary Relocate, and Permanent Relocate Mailbox	34	EA	\$ 250.00	\$ 8,500.00

Total Reconstruction Project Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
97	Remove Signs	1	LS	\$ 1,750.00	\$ 1,750.00
	Reset Signs Mounted on Post Wood 4-				
98	IN by 6-IN	44	EA	\$ 180.00	\$ 7,920.00
99	Relocate Sign	5	EA	\$ 110.00	\$ 550.00
100	Sign and Post	23	EA	\$ 345.00	\$ 7,935.00
101	Marking Line Epoxy 4-IN	39,974	LF	\$ 0.59	\$ 23,584.66
102	Marking Line Epoxy 6-IN Solid	76	LF	\$ 13.83	\$ 1,051.08
103	Marking Line Epoxy 8-IN	520	LF	\$ 2.93	\$ 1,523.60
104	Marking Stop Line Epoxy 18-IN	171	LF	\$ 14.90	\$ 2,547.90
105	Marking Line Epoxy 24-IN	279	LF	\$ 17.03	\$ 4,751.37
106	Marking Arrow Epoxy	10	EA	\$ 292.63	\$ 2,926.30
107	Marking Railroad Crossing Epoxy	2	EA	\$ 2,128.21	\$ 4,256.42
108	Culvert End Markers	30	EA	\$ 75.00	\$ 2,250.00
	Bioretention Basin Clean-Washed				
109	Clear Stone	66	CY	\$ 46.00	\$ 3,036.00
	Bioretention Basin Clean-Washed Pea				
110	Gravel	22	CY	\$ 80.68	\$ 1,774.96
111	Bioretention Basin Engineered Soil	77	CY	\$ 70.00	\$ 5,390.00
112	Bioretention Basin Hardwood Mulch	17	CY	\$ 38.00	\$ 646.00
113	Bioretention Basin Sand	17	CY	\$ 88.27	\$ 1,500.59
	Bioretention Basin Underdrain				
114	Cleanout	6	EA	\$ 189.37	\$ 1,136.22
115	Bioretention Basin Herbaceous Plugs	1,790	SF	\$ 4.15	\$ 7,428.50
	Bioretention Basin 6-IN Perforated				
116	Underdrain	130	LF	\$ 18.17	\$ 2,362.10
117	Bioretention Basin Geotextile	14	SY	\$ 25.00	\$ 350.00
118	Low Mow Seed Mix	841	SY	\$ 2.65	\$ 2,228.65
	Cash Allowance for Canadian Pacific				
119	Right of Entry Permit and Flagging	1	LS	\$ 10,000.00	\$ 10,000.00
	Cash Allowance for Canadian National				
120	Right of Entry Permit and Flagging	1	LS	\$ 10,000.00	\$ 10,000.00
121	Common Excavation	1137	CY	\$ 14.92	\$ 16,964.04
122	Culvert Headwall	1	LS	\$ 83,137.93	\$ 83,137.93
123	Railing	88	LF	\$ 110.00	\$ 9,680.00
124	EBS	371	CY	\$ 21.35	\$ 7,920.85
125	EBS Backfill	817	T	\$ 21.56	\$ 17,614.52
126	EBS Geogrid	1114	SY	\$ 3.92	\$ 4,366.88
127	3/4-IN Dense Grade Base	134	T	\$ 26.09	\$ 3,496.06
128	1 1/4-IN Dense Grade Base	365	T	\$ 18.71	\$ 6,829.15

Total Reconstruction Project Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
129	1 1/4-IN Dense Grade Base (Bike Path)	1183	T	\$ 18.71	\$ 22,133.93
130	Asphaltic Surface (Bike Path)	468	T	\$ 95.35	\$ 44,623.80
131	Done Detectable Warning, Radial, Natural Patina	41	SF	\$ 60.00	\$ 2,460.00
132	Done Detectable Warning, Rectangular, Natural Patina	32	SF	\$ 50.00	\$ 1,600.00
133	Concrete Sidewalk 5-IN	509	SF	\$ 6.50	\$ 3,308.50
134	Adjusting Valve Box	4	EA	\$ 76.88	\$ 307.52
135	Relocate Hydrant	3	EA	\$ 3,385.55	\$ 10,156.65
136	Clearing and Grubbing	1710	SY	\$ 5.55	\$ 9,490.50
137	Tree Removal	50	DIA	\$ 26.76	\$ 1,338.00
138	Relocate Tree	7	EA	\$ 185.00	\$ 1,295.00
139	Rip Rap Medium	33	CY	\$ 111.03	\$ 3,663.99
140	Geotextile Type HR	99	SY	\$ 6.36	\$ 629.64
141	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	5489	SY	\$ 7.91	\$ 43,417.99
142	Removing Culverts	17	LF	\$ 10.00	\$ 170.00
143	12-IN Corrugated Culvert Pipe	36	LF	\$ 29.07	\$ 1,046.52
144	30-IN Concrete Storm Sewer	84	LF	\$ 119.19	\$ 10,011.96
145	12-IN Corrugated Culvert Pipe End Section	2	EA	\$ 189.46	\$ 378.92
146	30-IN RCP End Section	2	EA	\$ 1,434.26	\$ 2,868.52
147	Concrete Collar	2	EA	\$ 889.66	\$ 1,779.32
148	Culvert End Markers	4	EA	\$ 75.00	\$ 300.00
149	Marking Line Epoxy 6-IN Solid	76	LF	\$ 13.83	\$ 1,051.08
150	Sign and Post	2	EA	\$ 345.00	\$ 690.00
151	Traffic Control	1	LS	\$ 1,918.60	\$ 1,918.60
152	Cofferdam	1	EA	\$ 4,725.47	\$ 4,725.47
153	Silt Fence	1361	LF	\$ 1.44	\$ 1,959.84
154	Silt Fence Drainage Relief	1	EA	\$ 200.00	\$ 200.00
155	Culvert Pipe Check	3	EA	\$ 9.50	\$ 28.50
156	Ditch Check	21	EA	\$ 63.00	\$ 1,323.00
Subtotal of Contract					\$5,816,886.43
Engineering, Administration, & Contingencies					\$1,745,065.93
Total Project Costs					\$7,561,952.36

Total Project Costs⁴ = \$7,561,952.36

⁴ Bid items 121 through 156 are for the trail along Lindsay Road. All other costs are for Duplainville Road.

Total Asphalt Road Reconstruction & Assessment Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	28450.08	CY	\$ 11.34	\$ 322,623.91
2	Concrete Driveway Removal	25.2	SY	\$ 10.00	\$ 252.00
3	Saw Cut, Asphalt	497.26	LF	\$ 3.00	\$ 1,491.78
4	Saw Cut, Concrete	31.68	LF	\$ 3.00	\$ 95.04
5	Concrete Curb and Gutter Removal	254.2	LF	\$ 3.15	\$ 800.73
6	EBS	4075.68	CY	\$ 15.13	\$ 61,665.04
7	EBS Backfill	8967	T	\$ 19.05	\$ 170,821.35
8	EBS Geogrid	12227.88	SY	\$ 2.52	\$ 30,814.26
9	3/4-IN Dense-Grade Base	17619.24	T	\$ 15.69	\$ 276,445.88
10	1 1/4-IN Dense-Grade Base	25235.28	T	\$ 13.56	\$ 342,190.40
14	Concrete Flume	1	EA	\$ 1,500.00	\$ 1,500.00
15	Curb Cut	0.52	EA	\$ 400.00	\$ 208.00
16	6-IN Concrete Driveway HES	127.44	SY	\$ 81.00	\$ 10,322.64
25	HMA Pavement 4 LT 58-28 S	3785	T	\$ 65.50	\$ 247,917.50
26	HMA Pavement 3 LT 58-28 S	7571	T	\$ 60.36	\$ 456,985.56
27	HMA Driveway	268.56	T	\$ 95.35	\$ 25,607.20
31	Clearing and Grubbing	1281	SY	\$ 5.55	\$ 7,109.55
32	Tree Removal	512	IN DIA	\$ 26.76	\$ 13,701.12
34	Relocate Tree	4	EA	\$ 185.00	\$ 740.00
35	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	12491.26	SY	\$ 6.30	\$ 78,694.94
82	Traffic Control	0.41	LS	\$ 22,856.40	\$ 9,371.12
83	Mobilization	0.41	LS	\$349,649.42	\$ 143,356.26
84	Inlet Protection, Type A	10.08	EA	\$ 115.00	\$ 1,159.20
85	Inlet Protection, Type B	10.26	EA	\$ 48.00	\$ 492.48
86	Inlet Protection, Type D	7.25	EA	\$ 100.00	\$ 725.00
87	Silt Fence	6332.75	LF	\$ 1.44	\$ 9,119.16
88	Silt Fence Drainage Relief	8	EA	\$ 200.00	\$ 1,600.00
89	Culvert Pipe Check	31.6	EA	\$ 9.50	\$ 300.20
90	Ditch Check	88.2	EA	\$ 63.00	\$ 5,556.60
91	Tracking Pads	3	EA	\$ 1,505.31	\$ 4,515.93
96	Remove, Temporary Relocate, and Permanent Relocate Mailbox	19.72	EA	\$ 250.00	\$ 4,930.00
97	Remove Signs	0.68	LS	\$ 1,750.00	\$ 1,190.00
98	Reset Signs Mounted on Post				
98	Wood 4-IN by 6-IN	21.12	EA	\$ 180.00	\$ 3,801.60
99	Relocate Sign	2	EA	\$ 110.00	\$ 220.00
100	Sign and Post	5.06	EA	\$ 345.00	\$ 1,745.70
101	Marking Line Epoxy 4-IN	26382.84	LF	\$ 0.59	\$ 15,565.88

Total Asphalt Road Reconstruction & Assessment Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
103	Marking Line Epoxy 8-IN	520	LF	\$ 2.93	\$ 1,523.60
104	Marking Stop Line Epoxy 18-IN	15.39	LF	\$ 14.90	\$ 229.31
105	Marking Line Epoxy 24-IN	25.11	LF	\$ 17.03	\$ 427.62
106	Marking Arrow Epoxy	2	EA	\$ 292.63	\$ 585.26
	Cash Allowance for Canadian National Right of Entry Permit and Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$ 2,261,401.81
Engineering, Administration, & Contingencies					\$ 678,420.54
Total Project Costs					\$ 2,939,822.35
Local Road Improvement Program Grand Funding (Deduct)					\$ (923,399.40)
Subtotal for Assessable Costs					\$ 2,016,422.95
50% reduction due to Local Arterial (Deduct)					\$(1,008,211.47)
Total Estimated Road Reconstruction Assessable Costs					\$ 1,008,211.48

Total Potential Acres abutting the Asphalt Road = 170.28 acres

Computation of Acreage Cost: $\frac{\$ 1,008,211.48}{170.28 \text{ acres}} = \$5,920.93/\text{acre}$

Use \$5,920.93 as the Asphalt Road Reconstruction Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Total Concrete Road Reconstruction & Assessment Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	8297.94	CY	\$ 11.34	\$ 94,098.64
2	Concrete Driveway Removal	34.8	SY	\$ 10.00	\$ 348.00
3	Saw Cut, Asphalt	1016.14	LF	\$ 3.00	\$ 3,048.42
4	Saw Cut, Concrete	16.32	LF	\$ 3.00	\$ 48.96
	Concrete Curb and Gutter				
5	Removal	565.8	LF	\$ 3.15	\$ 1,782.27
6	EBS	776.32	CY	\$ 15.13	\$ 11,745.72
7	EBS Backfill	1708	T	\$ 19.05	\$ 32,537.40
8	EBS Geogrid	2329.12	SY	\$ 2.52	\$ 5,869.38
9	3/4-IN Dense-Grade Base	3608.76	T	\$ 15.69	\$ 56,621.44
10	1 1/4-IN Dense-Grade Base	4806.72	T	\$ 13.56	\$ 65,179.12
12	30-IN Concrete Curb and Gutter	805.2	LF	\$ 17.00	\$ 13,688.40
15	Curb Cut	1.48	EA	\$ 400.00	\$ 592.00
16	6-IN Concrete Driveway HES	49.56	SY	\$ 81.00	\$ 4,014.36
27	HMA Driveway	477.44	T	\$ 95.35	\$ 45,523.90
30	Concrete Pavement, 8-IN	14726	SY	\$ 44.00	\$ 647,944.00
31	Clearing and Grubbing	244	SY	\$ 5.55	\$ 1,354.20
			IN		
32	Tree Removal	512	DIA	\$ 26.76	\$ 13,701.12
33	Rock Excavation	294.13	CY	\$ 11.27	\$ 3,314.85
	6-IN Topsoil, Seed, Fertilizer,				
35	Erosion Mat, and Watering	5878.24	SY	\$ 6.30	\$ 37,032.91
	12-IN Water Main W/ Granular				
71	Backfill	1000	LF	\$ 154.33	\$ 154,330.00
	10-IN Water Main W/ Granular				
72	Backfill	60	LF	\$ 228.42	\$ 13,705.20
	Fire Hydrant Assembly W/ Aux				
74	Valve	2	EA	\$ 12,314.50	\$ 24,629.00
75	12-IN Gate Valve and Valve Box	3	EA	\$ 5,277.93	\$ 15,833.79
76	10-IN Gate Valve and Valve Box	2	EA	\$ 4,337.44	\$ 8,674.88
78	HDPE Water Service	52.8	LF	\$ 140.50	\$ 7,418.40
79	Connect to Existing Water Main	5	EA	\$ 4,015.68	\$ 20,078.40
80	Abandon Existing Water Main	1	LS	\$ 2,355.37	\$ 2,355.37
81	Water Main Insulation	1008	SF	\$ 5.63	\$ 5,675.04
82	Traffic Control	0.26	LS	\$ 22,856.40	\$ 5,942.66
83	Mobilization	0.26	LS	\$349,649.42	\$ 90,908.85
84	Inlet Protection, Type A	13.92	EA	\$ 115.00	\$ 1,600.80
85	Inlet Protection, Type B	16.74	EA	\$ 48.00	\$ 803.52
86	Inlet Protection, Type D	21.75	EA	\$ 100.00	\$ 2,175.00
87	Silt Fence	2342.25	LF	\$ 1.44	\$ 3,372.84
89	Culvert Pipe Check	8.4	EA	\$ 9.50	\$ 79.80

Total Concrete Road Reconstruction & Assessment Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
90	Ditch Check	37.8	EA	\$ 63.00	\$ 2,381.40
91	Tracking Pads	3	EA	\$ 1,505.31	\$ 4,515.93
95	Exploratory Utility Opening	40	EA	\$ 368.86	\$ 14,754.40
96	Remove, Temporary Relocate, and Permanent Relocate Mailbox	14.28	EA	\$ 250.00	\$ 3,570.00
97	Remove Signs	0.32	LS	\$ 1,750.00	\$ 560.00
98	Reset Signs Mounted on Post				
98	Wood 4-IN by 6-IN	22.88	EA	\$ 180.00	\$ 4,118.40
99	Relocate Sign	3	EA	\$ 110.00	\$ 330.00
100	Sign and Post	17.94	EA	\$ 345.00	\$ 6,189.30
101	Marking Line Epoxy 4-IN	12791.68	LF	\$ 0.59	\$ 7,547.09
104	Marking Stop Line Epoxy 18-IN	155.61	LF	\$ 14.90	\$ 2,318.59
105	Marking Line Epoxy 24-IN	253.89	LF	\$ 17.03	\$ 4,323.75
106	Marking Arrow Epoxy	8	EA	\$ 292.63	\$ 2,341.04
107	Marking Railroad Crossing Epoxy	1	EA	\$ 2,128.21	\$ 2,128.21
	Cash Allowance for Canadian Pacific Right of Entry Permit and				
119	Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$1,456,106.76
Engineering, Administration, & Contingencies					\$ 436,832.03
Total Project Costs					\$1,892,938.79
Local Road Improvement Program Grand Funding (Deduct)					\$(594,600.60)
Subtotal for Assessable Costs					\$1,298,338.19
50% reduction due to Local Arterial (Deduct)					\$(649,169.10)
Total Estimated Road Reconstruction Assessable Costs					\$ 649,169.09

Total Potential Acres abutting the Concrete Road = 42.91 acres

Computation of Acreage Cost: $\frac{\$ 649,169.09}{42.91 \text{ acres}} = \$15,127.56/\text{acre}$

Use \$15,127.56 as the Concrete Road Reconstruction Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Total Estimated Curb Extension & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
12	30-IN Concrete Curb and Gutter	1006.5	LF	\$ 17.00	\$ 17,110.50
	30-IN Concrete Curb and Gutter				
13	HES	441	LF	\$ 19.00	\$ 8,379.00
82	Traffic Control	0.01	LS	\$ 22,856.40	\$ 228.56
83	Mobilization	0.01	LS	\$349,649.42	\$ 3,496.49
	Cash Allowance for Canadian Pacific Right of Entry Permit and				
119	Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$ 34,214.56
Engineering, Administration, & Contingencies					\$ 10,264.37
Total Project Costs					\$ 44,478.93
50% reduction due to Local Arterial (Deduct)					\$(22,239.46)
Total Estimated Curb Reconstruction Assessable Costs					\$ 22,239.47

Total Potential Acres abutting the Assessable Curb = 15.46 acres

Computation of Acreage Cost: $\frac{\$ 22,239.47}{15.46 \text{ acres}} = \$1,438.19/\text{acre}$

Use \$1,438.19 as the Curb Extension Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Total Estimated Water Main Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
22	Adjusting Valve Box	43	EA	\$ 76.88	\$ 3,305.84
23	Replace Valve Box	17	EA	\$ 470.10	\$ 7,991.70
	12-IN Water Main W/ Granular				
71	Backfill	50	LF	\$ 154.33	\$ 7,716.50
73	6-IN Water Main W/ Granular Backfill	180	LF	\$ 125.17	\$22,530.60
75	12-IN Gate Valve and Valve Box	1	EA	\$ 5,277.93	\$ 5,277.93
77	6-IN Gate Valve and Valve Box	2	EA	\$ 2,691.59	\$ 5,383.18
78	HDPE Water Service	57.2	LF	\$ 140.50	\$ 8,036.60
82	Traffic Control	0.01	LS	\$ 22,856.40	\$ 228.56
83	Mobilization	0.01	LS	\$349,649.42	\$ 3,496.49
94	Remove Water Sampling Station	1	EA	\$ 2,610.27	\$ 2,610.27
Subtotal of Contract					\$66,577.68
Engineering, Administration, and Contingencies					\$19,973.30
Total Project Costs					\$86,550.98

Total Estimated 1-1/4" Water Service & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
78	HDPE Water Service	57.2	LF	\$ 140.50	\$ 8,036.60
Subtotal of Contract					\$ 8,036.60
Engineering, Administration, & Contingencies					\$ 2,410.98
Total Project Costs					\$10,447.58

Total Potential Units from 1-1/4" water services = 2

Computation of Unit Cost: $\frac{\$10,447.58}{2 \text{ units}} = \$5,223.79/\text{unit}$

Use \$5,223.79 as the 1-1/4" Water Service Unit Rate.

Total Estimated 6" Water Service & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
73	6-IN Water Main W/ Granular Backfill	180	LF	\$ 125.17	\$22,530.60
77	6-IN Gate Valve and Valve Box	2	EA	\$ 2,691.59	\$ 5,383.18
Subtotal of Contract					\$27,913.78
Engineering, Administration, & Contingencies					\$ 8,374.13
Total Project Costs					\$36,287.91

Total Potential Units from 6" water services = 2

Computation of Unit Cost: $\frac{\$ 36,287.91}{2 \text{ units}} = \$18,143.96/\text{unit}$

Use \$18,143.96 as the 6" Water Service Unit Rate².

Total Estimated 12" Water Service & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
174	12-IN Water Main W/ Granular Backfill	50	LF	\$ 154.33	\$ 7,716.50
175	12-IN Gate Valve and Valve Box	1	EA	\$ 5,277.93	\$ 5,277.93
Subtotal of Contract					\$12,994.43
Engineering, Administration, & Contingencies					\$ 3,898.33
Total Project Costs					\$16,892.76

Total Potential Units from 12" water service = 1

Computation of Unit Cost: $\frac{\$ 16,892.76}{1 \text{ unit}} = \$16,892.76/\text{unit}$

Use \$16,892.76 as the 12" Water Service Unit Rate³.

² After the project bid opening, staff added 90 feet of 6-inch diameter watermain (Bid Item 73) and one 6" valve (Bid Item 77) to connect a future water service to the new highway garage for the City of Pewaukee's Department of Public Works.

³ After the project bid opening, staff added 50 feet of 12-inch diameter watermain (Bid Item 71) and one 12" valve (Bid Item 75) to prepare for possible future development in the southern half of Section 12 of Town 07 North Range 19 East.

Total Estimated Water Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
22	Adjusting Valve Box	43	EA	\$ 76.88	\$ 3,305.84
23	Replace Valve Box	17	EA	\$ 470.10	\$ 7,991.70
82	Traffic Control	0.01	LS	\$ 22,856.40	\$ 228.56
83	Mobilization	0.01	LS	\$349,649.42	\$ 3,496.49
94	Remove Water Sampling Station	1	EA	\$ 2,610.27	\$ 2,610.27
Subtotal of Contract					\$17,632.87
Engineering, Administration, & Contingencies					\$ 5,289.86
Total Project Costs					\$22,922.73

Total Estimated Water Utility Project Costs = \$22,922.73

Total Estimated City Trail Fund Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	2765.98	CY	\$ 11.34	\$ 31,366.21
11	1 1/4-IN Dense-Grade Base (Bike Path)	3566	T	\$ 17.63	\$ 62,868.58
12	30-IN Concrete Curb and Gutter	3891.8	LF	\$ 17.00	\$ 66,160.60
13	30-IN Concrete Curb and Gutter HES	355.25	LF	\$ 19.00	\$ 6,749.75
17	Dome Detectable Warning, Radial, Natural Patina	48	SF	\$ 60.00	\$ 2,880.00
18	Dome Detectable Warning, Rectangular, Natural Patina	96	SF	\$ 50.00	\$ 4,800.00
19	Concrete Sidewalk 5-IN	1635	SF	\$ 6.50	\$ 10,627.50
24	Relocate Hydrant	20	EA	\$ 3,121.04	\$ 62,420.80
28	Asphaltic Surface (Bike Path)	1419	T	\$ 95.35	\$ 135,301.65
82	Traffic Control	0.08	LS	\$ 22,856.40	\$ 1,828.51
83	Mobilization	0.08	LS	\$ 349,649.42	\$ 27,971.95
102	Marking Line Epoxy 6-IN Solid	76	LF	\$ 13.83	\$ 1,051.08
121	Common Excavation	1137	CY	\$ 14.92	\$ 16,964.04
122	Culvert Headwall	1	LS	\$ 83,137.93	\$ 83,137.93
123	Railing	88	LF	\$ 110.00	\$ 9,680.00
124	EBS	371	CY	\$ 21.35	\$ 7,920.85
125	EBS Backfill	817	T	\$ 21.56	\$ 17,614.52
126	EBS Geogrid	1114	SY	\$ 3.92	\$ 4,366.88
127	3/4-IN Dense Grade Base	134	T	\$ 26.09	\$ 3,496.06
128	1 1/4-IN Dense Grade Base	365	T	\$ 18.71	\$ 6,829.15
129	1 1/4-IN Dense Grade Base (Bike Path)	1183	T	\$ 18.71	\$ 22,133.93
130	Asphaltic Surface (Bike Path)	468	T	\$ 95.35	\$ 44,623.80
131	Done Detectable Warning, Radial, Natural Patina	41	SF	\$ 60.00	\$ 2,460.00
132	Done Detectable Warning, Rectangular, Natural Patina	32	SF	\$ 50.00	\$ 1,600.00
133	Concrete Sidewalk 5-IN	509	SF	\$ 6.50	\$ 3,308.50
134	Adjusting Valve Box	4	EA	\$ 76.88	\$ 307.52
135	Relocate Hydrant	3	EA	\$ 3,385.55	\$ 10,156.65
136	Clearing and Grubbing	1710	SY	\$ 5.55	\$ 9,490.50
137	Tree Removal	50	DIA	\$ 26.76	\$ 1,338.00
138	Relocate Tree	7	EA	\$ 185.00	\$ 1,295.00
139	Rip Rap Medium	33	CY	\$ 111.03	\$ 3,663.99
140	Geotextile Type HR	99	SY	\$ 6.36	\$ 629.64
141	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	5489	SY	\$ 7.91	\$ 43,417.99

Total Estimated City Trail Fund Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
142	Removing Culverts	17	LF	\$ 10.00	\$ 170.00
143	12-IN Corrugated Culvert Pipe	36	LF	\$ 29.07	\$ 1,046.52
144	30-IN Concrete Storm Sewer 12-IN Corrugated Culvert Pipe End	84	LF	\$ 119.19	\$ 10,011.96
145	Section	2	EA	\$ 189.46	\$ 378.92
146	30-IN RCP End Section	2	EA	\$ 1,434.26	\$ 2,868.52
147	Concrete Collar	2	EA	\$ 889.66	\$ 1,779.32
148	Culvert End Markers	4	EA	\$ 75.00	\$ 300.00
149	Marking Line Epoxy 6-IN Solid	76	LF	\$ 13.83	\$ 1,051.08
150	Sign and Post	2	EA	\$ 345.00	\$ 690.00
151	Traffic Control	1	LS	\$ 1,918.60	\$ 1,918.60
152	Cofferdam	1	EA	\$ 4,725.47	\$ 4,725.47
153	Silt Fence	1361	LF	\$ 1.44	\$ 1,959.84
154	Silt Fence Drainage Relief	1	EA	\$ 200.00	\$ 200.00
155	Culvert Pipe Check	3	EA	\$ 9.50	\$ 28.50
156	Ditch Check	21	EA	\$ 63.00	\$ 1,323.00
Subtotal of Contract					\$736,913.32
Engineering, Administration, & Contingencies					\$221,074.00
Total Project Costs					\$957,987.32

Total Estimated City Trail Fund Costs⁴ = \$957,987.32

⁴ Bid items 121 through 156 are for the trail along Lindsay Road. All other bid items included in this section are for the trail along Duplainville Road.

Total Estimated Storm Water Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
3	Saw Cut, Asphalt	648.6	LF	\$ 3.00	\$ 1,945.80
12	30-IN Concrete Curb and Gutter	1006.5	LF	\$ 17.00	\$ 17,110.50
13	HES	428.75	LF	\$ 19.00	\$ 8,146.25
14	Concrete Flume	1	EA	\$ 1,500.00	\$ 1,500.00
15	Curb Cut	2	EA	\$ 400.00	\$ 800.00
29	Asphaltic Patching	291	SY	\$ 35.00	\$ 10,185.00
33	Rock Excavation	144.87	CY	\$ 11.27	\$ 1,632.68
35	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	18369.5	SY	\$ 6.30	\$ 115,727.85
36	Removing Inlet	5	EA	\$ 359.97	\$ 1,799.85
37	Removing MH	4	EA	\$ 447.11	\$ 1,788.44
38	Removing Storm Sewer	116	LF	\$ 26.11	\$ 3,028.76
39	Removing Culverts	1420	LF	\$ 13.82	\$ 19,624.40
40	12-IN Concrete Storm Sewer	2740	LF	\$ 62.92	\$ 172,400.80
41	15-IN Concrete Storm Sewer	1937	LF	\$ 83.01	\$ 160,790.37
42	24-IN Concrete Storm Sewer	435	LF	\$ 78.07	\$ 33,960.45
43	30-IN Concrete Storm Sewer	1394	LF	\$ 117.70	\$ 164,073.80
44	14-IN by 23-IN Horizontal Elliptical Pipe	263	LF	\$ 109.63	\$ 28,832.69
45	19-IN by 30-IN Horizontal Elliptical Pipe	52	LF	\$ 127.42	\$ 6,625.84
46	24-IN by 38-IN Horizontal Elliptical Pipe	506	LF	\$ 148.45	\$ 75,115.70
47	12-IN Corrugated Culvert Pipe	98	LF	\$ 56.60	\$ 5,546.80
48	15-IN Corrugated Culvert Pipe	110	LF	\$ 59.85	\$ 6,583.50
49	13-IN by 17-IN Horizontal Elliptical Corrugated Culvert Pipe	22	LF	\$ 72.55	\$ 1,596.10
50	15-IN by 21-IN Corrugated Culvert Pipe	87	LF	\$ 81.03	\$ 7,049.61
51	24-IN by 35-IN Horizontal Elliptical Corrugated Culvert Pipe	33	LF	\$ 114.33	\$ 3,772.89
52	3-FT Storm MH W/ Frame and Grate	16	EA	\$ 2,585.42	\$ 41,366.72
53	4-FT Storm MH W/ Frame and Grate	19	EA	\$ 2,999.24	\$ 56,985.56
54	5-FT Storm MH W/ Frame and Grate	11	EA	\$ 4,002.25	\$ 44,024.75
55	6-FT Storm MH W/ Frame and Grate	8	EA	\$ 5,071.10	\$ 40,568.80
56	7-FT Storm MH W/ Frame and Grate	1	EA	\$ 7,259.24	\$ 7,259.24

Total Estimated Storm Water Utility Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
	Inlets 2-FT by 3-FT W/ Frame and				
57	Grate	13	EA	\$ 2,428.39	\$ 31,569.07
58	Existing Inlet Adjustment	5	EA	\$ 547.61	\$ 2,738.05
59	12-IN RCP End Section	12	EA	\$ 564.38	\$ 6,772.56
60	12-IN RCP End Section with Grate	7	EA	\$ 978.98	\$ 6,852.86
61	15-IN RCP End Section	7	EA	\$ 661.90	\$ 4,633.30
62	15-IN RCP End Section W/ Grate	3	EA	\$ 1,208.34	\$ 3,625.02
63	24-IN by 38-IN RCP End Section	3	EA	\$ 1,578.76	\$ 4,736.28
	12-IN Corrugated Culvert Pipe End				
64	Section	12	EA	\$ 189.46	\$ 2,273.52
	15-IN Corrugated Culvert Pipe End				
65	Section	10	EA	\$ 220.49	\$ 2,204.90
	13-IN by 17-IN Corrugated Culvert				
66	Pipe End Section	2	EA	\$ 222.49	\$ 444.98
	15-IN by 21-IN Corrugated Culvert				
67	Pipe End Section	6	EA	\$ 270.62	\$ 1,623.72
	15-IN by 21-IN Corrugated Culvert				
68	Pipe End Section W/ Grate	1	EA	\$ 808.69	\$ 808.69
	24-IN by 35-IN Corrugated Culvert				
69	Pipe End Section	2	EA	\$ 681.44	\$ 1,362.88
70	Concrete Collar	4	EA	\$ 717.35	\$ 2,869.40
82	Traffic Control	0.23	LS	\$ 22,856.40	\$ 5,256.97
83	Mobilization	0.23	LS	\$349,649.42	\$ 80,419.37
92	Riprap Medium	49	CY	\$ 111.03	\$ 5,440.47
93	Geotextile Type HR	147	SY	\$ 6.36	\$ 934.92
101	Marking Line Epoxy 4-IN	799.48	LF	\$ 0.59	\$ 471.69
107	Marking Railroad Crossing Epoxy	1	EA	\$ 2,128.21	\$ 2,128.21
108	Culvert End Markers	30	EA	\$ 75.00	\$ 2,250.00
	Bioretention Basin Clean-Washed				
109	Clear Stone	66	CY	\$ 46.00	\$ 3,036.00
	Bioretention Basin Clean-Washed				
110	Pea Gravel	22	CY	\$ 80.68	\$ 1,774.96
111	Bioretention Basin Engineered Soil	77	CY	\$ 70.00	\$ 5,390.00
	Bioretention Basin Hardwood				
112	Mulch	17	CY	\$ 38.00	\$ 646.00
113	Bioretention Basin Sand	17	CY	\$ 88.27	\$ 1,500.59
	Bioretention Basin Underdrain				
114	Cleanout	6	EA	\$ 189.37	\$ 1,136.22
	Bioretention Basin Herbaceous				
115	Plugs	1790	SF	\$ 4.15	\$ 7,428.50
	Bioretention Basin 6-IN Perforated				
116	Underdrain	130	LF	\$ 18.17	\$ 2,362.10
117	Bioretention Basin Geotextile	14	SY	\$ 25.00	\$ 350.00

Total Estimated Storm Water Utility Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
118	Low Mow Seed Mix	841	SY	\$ 2.65	\$ 2,228.65
	Cash Allowance for Canadian National Right of Entry Permit and				
120	Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$1,240,113.04
Engineering, Administration, & Contingencies					\$ 372,033.91
Total Project Costs					\$1,612,146.95

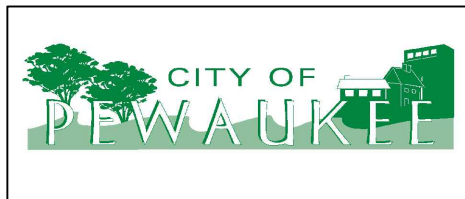
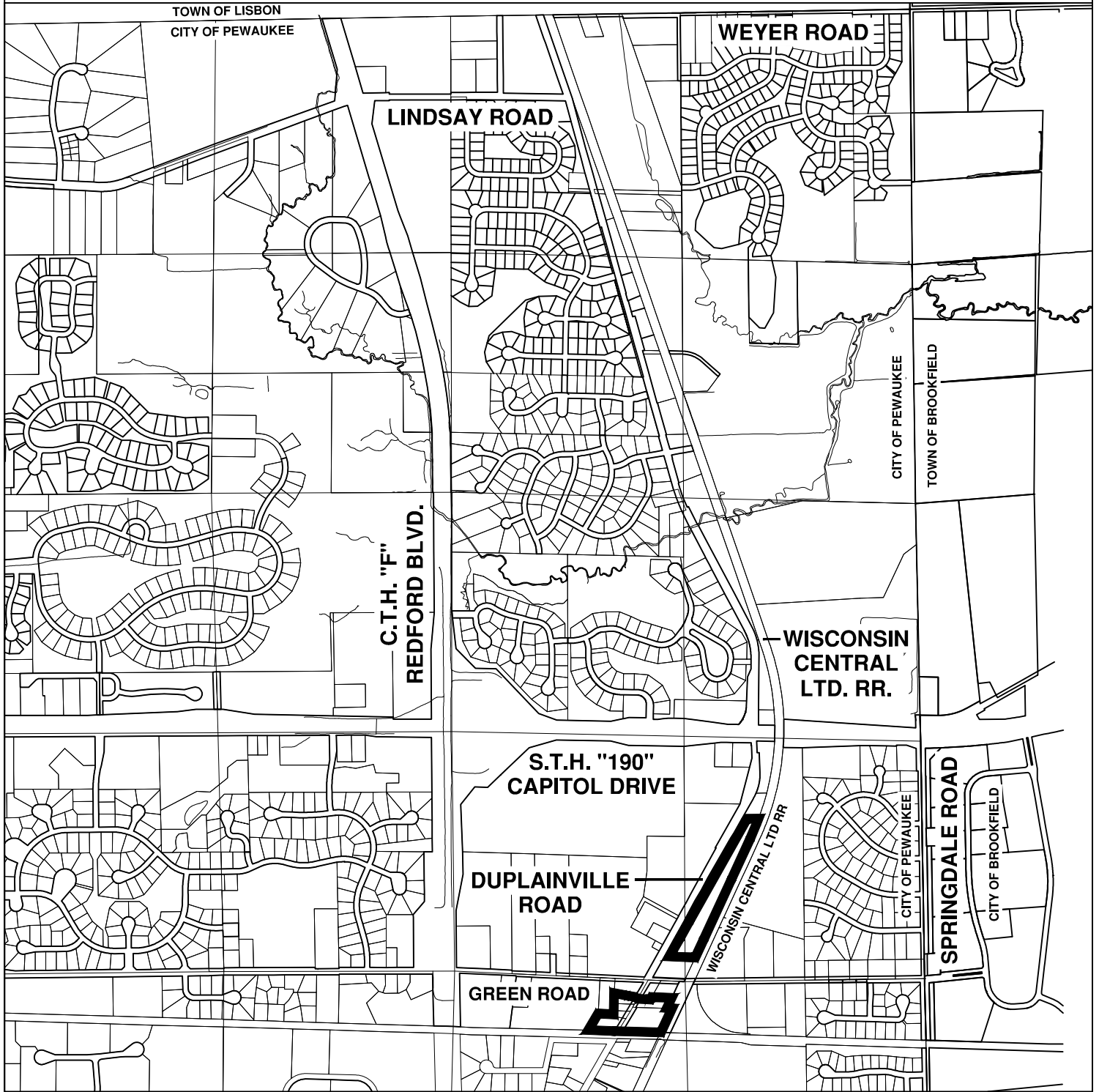
Total Estimated Storm Water Utility Project Costs = \$1,612,146.95

Total Estimated Sanitary Sewer Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
20	Adjusting Sanitary MH	20	EA	\$ 760.40	\$15,208.00
21	Reconstruct Sanitary MH	3	EA	\$ 2,117.09	\$ 6,351.27
Subtotal of Contract					\$21,559.27
Engineering, Administration, & Contingencies					\$ 6,467.78
Total Project Costs					\$28,027.05

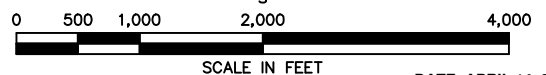
Total Estimated Sanitary Sewer Utility Costs = \$28,027.05

**DUPLAINVILLE ROAD RECONSTRUCTION
RD-22-57420
CURB ASSESSMENT
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN**



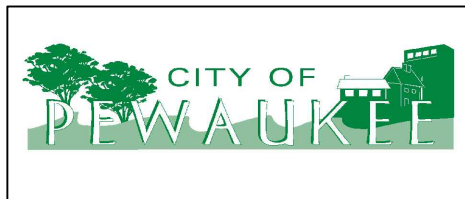
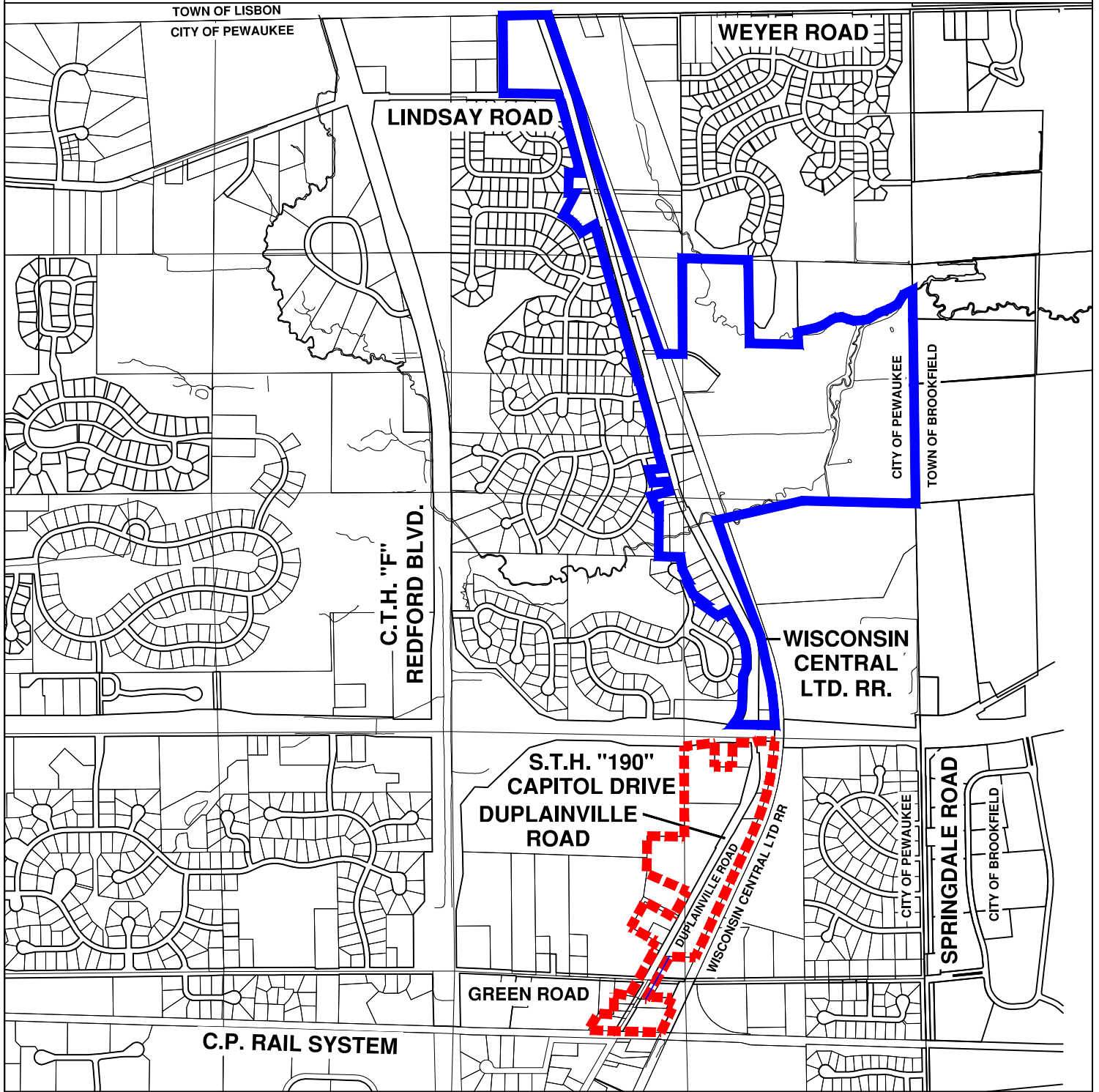
LEGEND

 **CURB ASSESSMENT
AREA BOUNDARY**



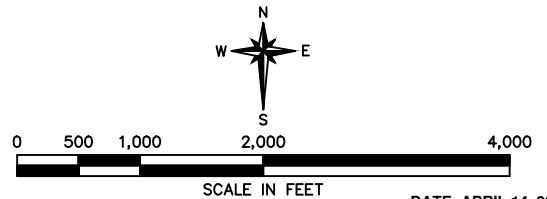
DATE: APRIL 14, 2022

**DUPLAINVILLE ROAD RECONSTRUCTION
RD-22-57420
ROAD ASSESSMENT
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN**



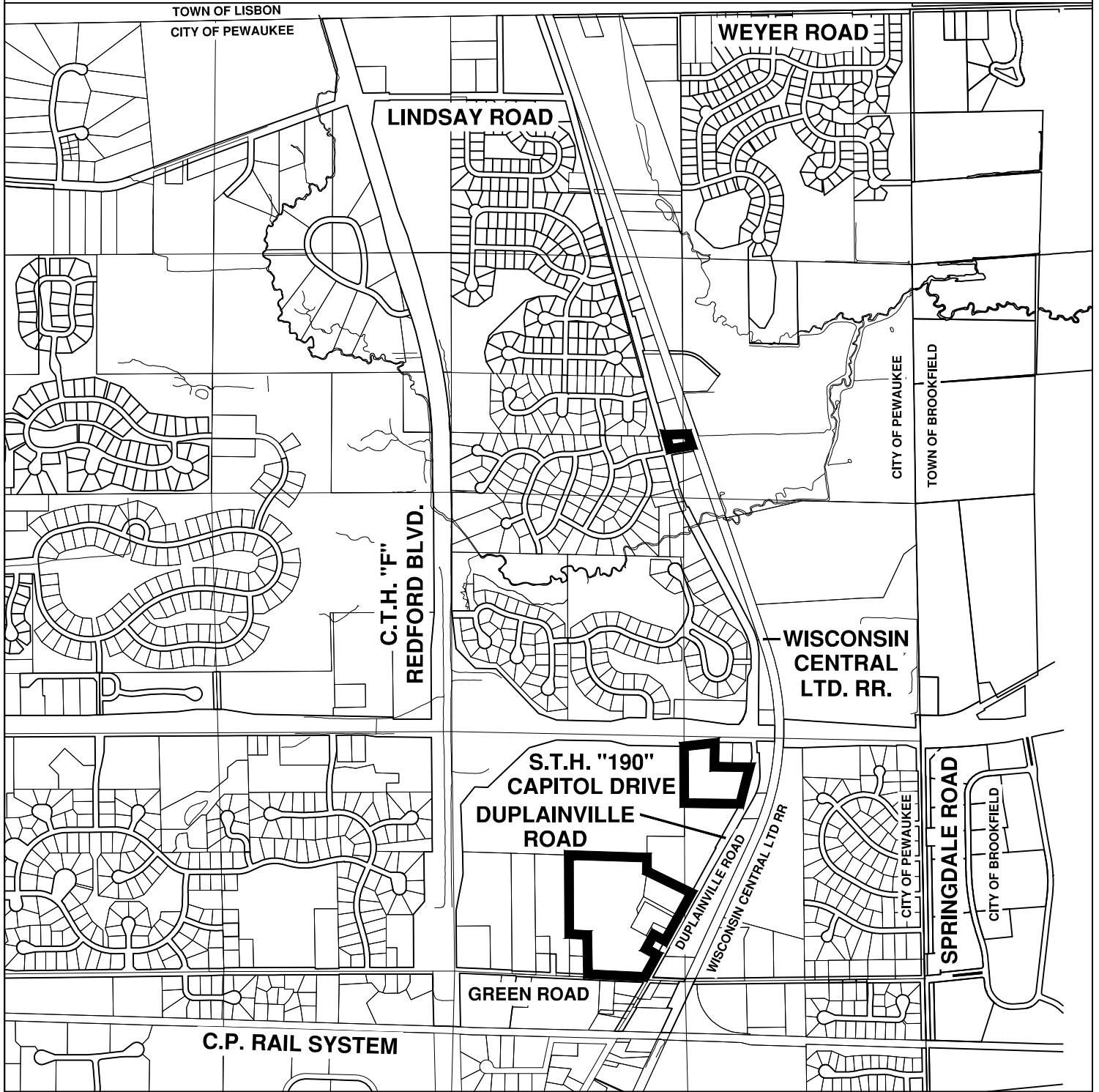
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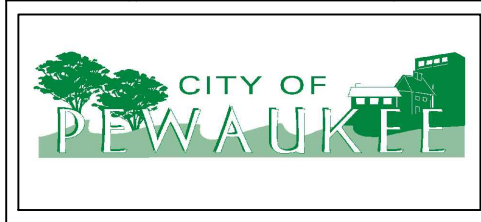
- CONCRETE ROAD ASSESSMENT AREA BOUNDARY
- ASPHALT ROAD ASSESSMENT AREA BOUNDARY



DATE: APRIL 14, 2022

**DUPLAINVILLE ROAD RECONSTRUCTION
SW-22-57420
WATER SERVICE EXTENSIONS
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN**



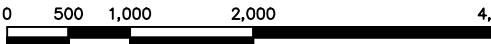


LEGEND

WATER SERVICE ASSESSMENT AREA BOUNDARY



N
W E
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0 500 1,000 2,000 4,000

SCALE IN FEET

DATE: APRIL 14, 2022

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
1	FREDERIC G LINDENSTRUTH AND MICHELLE L LINDENSTRUTH W266N4493 DUPLAINVILLE RD PEWAUKEE WI 53072-2823	PWC 0866992008	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 1.4549 ACRE	\$5,920.93 \$5,920.93	\$5,920.93 \$8,614.36	\$3,005.00	\$3,005.00 \$8,614.36 D
2	STEVEN KUNDINGER AND SUSAN BANSKI W227N4537 DUPLAINVILLE RD PEWAUKEE WI 53072-2824	PWC 0866993	Road Reconstruction - Asphalt	0.8204 ACRE	\$5,920.93	\$4,857.53	\$3,005.00	\$3,005.00
3	KD GLASS LLC ATTN: AMY OLSON PO BOX 259410 MADISON WI 53725-9410	PWC 0866997004	Road Reconstruction - Asphalt	10.2361 ACRE	\$5,920.93	\$60,607.23		\$60,607.23
4	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.505641 ACRE 0.381759 ACRE	\$5,920.93 \$5,920.93	\$2,993.86 \$2,260.37	\$3,005.00	\$2,993.86 \$2,260.37 D
5	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994002	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.524933 ACRE 1.049867 ACRE	\$5,920.93 \$5,920.93	\$3,108.09 \$6,216.19	\$3,005.00	\$3,005.00 \$6,216.19 D
6	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994004	Road Reconstruction - Asphalt	0.4695 ACRE	\$5,920.93	\$2,779.88	\$3,005.00	\$2,779.88
7	LOURDES ROBLES W226N4374 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0867994005	Road Reconstruction - Asphalt	1.0085 ACRE	\$5,920.93	\$5,971.26	\$3,005.00	\$3,005.00
8	MAPLE CREEK FARMS LLC W225N4226 DUPLAINVILLE RD PEWAUKEE WI 53072-2809	PWC 0867994006	Road Reconstruction - Asphalt	0.5601 ACRE	\$5,920.93	\$3,316.31	\$3,005.00	\$3,005.00
9	CHRISTINE A LINDENSTRUTH N47W22733 WYER RD PEWAUKEE WI 53072	PWC 0867995	Road Reconstruction - Asphalt	0.5333 ACRE	\$5,920.93	\$3,157.63	\$3,005.00	\$3,005.00
10	SCOTT ALLEN BLANEY 3514 E FAIRMOUNT AVE PHOENIX AZ 85018-5111	PWC 0867997	Road Reconstruction - Asphalt	0.6965 ACRE	\$5,920.93	\$4,123.93	\$3,005.00	\$3,005.00
11	THOMAS MUELLER AND MARCIA MUELLER W225N4226 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0867998	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.72 ACRE 1.7009 ACRE	\$5,920.93 \$5,920.93	\$4,263.07 \$10,070.91	\$3,005.00	\$3,005.00 \$10,070.91 D
12	EDWARD A WISTL AND PENNY A WISTL W262N4403 RYAN ST PEWAUKEE WI 53072-1851	PWC 0867998001	Road Reconstruction - Asphalt	1.974 ACRE	\$5,920.93	\$11,687.92		\$11,687.92
13	H& F PROPERTIES LLC 734 RIVER RESERVE DR HARTLAND WI 53029	PWC 0868994	Road Reconstruction - Asphalt Road Reconstruction - Floodplain/wetland Road Reconstruction - Deferred Road Reconstruction - Floodplain/wetland - Deferred	2 ACRE 2 ACRE 31.48 ACRE 85.5629 ACRE	\$5,920.93 \$5,920.93 \$5,920.93 \$5,920.93	\$11,841.86 \$11,841.86 \$186,390.88 \$506,611.94	\$3,005.00 \$951.00	\$3,956.00 \$186,390.88 D \$506,611.94 D
14	DEBORAH J DOLLAH W225N4014 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0868995	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 2.1095 ACRE	\$5,920.93 \$5,920.93	\$5,920.93 \$12,490.20	\$3,005.00	\$3,005.00 \$12,490.20 D
15	TYLER MORGAN W2439 HEATHER ST OCONOMOWOC WI 53066	PWC 0868996001	Road Reconstruction - Asphalt Water Service - 1 1/4"	0.8254 ACRE 1 EACH	\$5,920.93 \$5,223.79	\$4,887.14 \$5,223.79	\$3,005.00	\$8,228.79
16	WILLIAM H SCHIEFEN AND CHRISTINE E BETHE W225N4034 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0868996002	Road Reconstruction - Asphalt	1.7473 ACRE	\$5,920.93	\$10,345.64	\$3,005.00	\$3,005.00
17	PETER T MARZO N5833 HWY F SULLIVAN WI 53178	PWC 0868997001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1.117467 ACRE 2.234933 ACRE	\$5,920.93 \$5,920.93	\$6,616.44 \$13,232.88	\$3,005.00	\$3,005.00 \$13,232.88 D

* Residential Property Assessments are capped for Road and Curb Assessments.

D Deferred assessment. Assessment activated by further development (CSM, Plat, or Rezoning, etc.). Actual assessment will be based on development.

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
18	EDWARD E WHALEY AND COLLEEN M KIVELA W223N3725 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909992	Road Reconstruction - Asphalt	0.98 ACRE	\$5,920.93	\$5,802.51	\$3,005.00	\$3,005.00
19	DOUGLAS R & CLARA MAE NETTESHEIM JOINT REV TRUST W223N3757 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909993	Road Reconstruction - Asphalt	0.9505 ACRE	\$5,920.93	\$5,627.84	\$3,005.00	\$3,005.00
20	RICHARD M SACK W223N3775 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909994	Road Reconstruction - Asphalt	1.0634 ACRE	\$5,920.93	\$6,296.32	\$3,005.00	\$3,005.00
21	TIMOTHY S TROTIER AND ANNA H TROTIER W225N3781 LONG VALLEY CT PEWAUKEE WI 53072	PWC 0909995	Road Reconstruction - Asphalt	0.9995 ACRE	\$5,920.93	\$5,917.97	\$3,005.00	\$3,005.00
22	KURT D NETTESHEIM AND KATIE L NETTESHEIM W223N3757 DUPLAINVILLE RD PEWAUKEE WI 53072-2830	PWC 0909999001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 2.5724 ACRE	\$5,920.93 \$5,920.93	\$5,920.93 \$15,231.00	\$3,005.00	\$3,005.00 \$15,231.00 D
23	ALL ONE STORAGE LLC 100 WILMONT DR WAUKESHA WI 53189	PWC 0909999002	Road Reconstruction - Asphalt	1.8637 ACRE	\$5,920.93	\$11,034.84		\$11,034.84
24	RAY & SHIRLEY JACQUES JOINT TRUST DATED MARCH 16, 1999 N62W30661 BEAVER VIEW HARTLAND WI 53029-9222	PWC 0909999003	Road Reconstruction - Asphalt	0.6888 ACRE	\$5,920.93	\$4,078.34		\$4,078.34
25	JAMIE L DAVELER AND ZACHERY R DAVELER W225N3987 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910996	Road Reconstruction - Asphalt	0.9927 ACRE	\$5,920.93	\$5,877.71	\$3,005.00	\$3,005.00
26	JENNIFER ARELLANO AND GARY ARELLANO W225N3967 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910997	Road Reconstruction - Asphalt	1.9598 ACRE	\$5,920.93	\$11,603.84	\$3,005.00	\$3,005.00
27	MICHAEL J GRANDINETTI W225N3945 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910998	Road Reconstruction - Asphalt	1.8465 ACRE	\$5,920.93	\$10,933.00	\$3,005.00	\$3,005.00
28	CHARLES T HANEL W224N3845 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0910999	Road Reconstruction - Asphalt	1.6481 ACRE	\$5,920.93	\$9,758.28	\$3,005.00	\$3,005.00
29	CITY OF PEWAUKEE - SEWER UTILITY W240N3065 PEWAUKEE RD PEWAUKEE WI 53072	PWC 0911988	Road Reconstruction - Concrete	0.167 ACRE	\$15,127.56	\$2,526.30		\$2,526.30
30	QUAD GRAPHICS INC C/O TAX DEPARTMENT N61W23044 HARRYS WAY SUSSEX WI 53089-3995	PWC 0911989	Road Reconstruction - Concrete	11.3638 ACRE	\$15,127.56	\$171,906.57		\$171,906.57
31	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911992	Road Reconstruction - Concrete Water Service - 6"	2.1943 ACRE 1 EACH	\$15,127.56 \$18,143.96	\$33,194.40 \$18,143.96		\$51,338.36
32	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911992001	Road Reconstruction - Concrete Water Service - 1 1/4"	0.8127 ACRE 1 EACH	\$15,127.56 \$5,223.79	\$12,294.17 \$5,223.79		\$17,517.96
33	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911993003	Road Reconstruction - Concrete	0.5528 ACRE	\$15,127.56	\$8,362.52		\$8,362.52
34	CITY OF PEWAUKEE - DPW W240N3065 PEWAUKEE RD PEWAUKEE WI 53072	PWC 0911993006	Water Service - 6"	1 EACH	\$18,143.96	\$18,143.96		\$18,143.96

* Residential Property Assessments are capped for Road and Curb Assessments.

D Deferred assessment. Assessment activated by further development (CSM, Plat, or Rezoning, etc.). Actual assessment will be based on development.

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
35	DEAN G KATZ W314N5048 STATE ROAD 83 HARTLAND WI 53029-8539	PWC 0912980	Road Reconstruction - Concrete	1.8766 ACRE	\$15,127.56	\$28,388.38		\$28,388.38
36	DUPLAINVILLE LLC 3055 N BROOKFIELD RD BROOKFIELD WI 53045-3336	PWC 0912983	Road Reconstruction - Concrete Road Reconstruction - Concrete - deferred Water Service - 12"	1 ACRE 7.1878 ACRE 1 EACH	\$15,127.56 \$15,127.56 \$16,892.76	\$15,127.56 \$108,733.88 \$16,892.76	\$3,005.00	\$19,897.76 \$108,733.88 D
37	IHNEN PROPERTIES, LLC N59W14464 BOBOLINK AVE MENOMONEE FALLS WI 53051-5957	PWC 0912984	Road Reconstruction - Concrete Road Reconstruction - Concrete - deferred	0.435367 ACRE 0.870733 ACRE	\$15,127.56 \$15,127.56	\$6,586.04 \$13,172.07	\$3,005.00	\$3,005.00 \$13,172.07 D
38	QUAD/GRAPHICS MARKETING LLC C/O TAX DEPARTMENT N61W23044 HARRYS WAY SUSSEX WI 53089-3995	PWC 0912994	Road Reconstruction - Concrete Concrete Curb	9.6806 ACRE 9.6806 ACRE	\$15,127.56 \$1,438.19	\$146,443.86 \$13,922.54		\$160,366.40
39	PEWAUKEE TOOLING & PRODUCTS COMPANY INC W223N3400 DUPLAINVILLE RD PEWAUKEE WI 53072-4100	PWC 0912997	Road Reconstruction - Concrete	0.9884 ACRE	\$15,127.56	\$14,952.08		\$14,952.08
40	NJT DEVELOPMENT of PEWAUKEE LLC PO BOX 470 PEWAUKEE WI 53072	PWC 0914964	Road Reconstruction - Concrete Concrete Curb	2.5295 ACRE 2.5295 ACRE	\$15,127.56 \$1,438.19	\$38,265.16 \$3,637.90		\$41,903.06
41	ZINDALAND, LLC 206 MANDAN DR WAUKESHA WI 53188-4660	PWC 0914981001	Road Reconstruction - Concrete Concrete Curb	1.4075 ACRE 1.4075 ACRE	\$15,127.56 \$1,438.19	\$21,292.04 \$2,024.25		\$23,316.29
42	JAKE T EVANS AND LAUREN M EVANS W226N3045 DUPLAINVILLE RD WAUKESHA WI 53186-1005	PWC 0914984	Road Reconstruction - Concrete Concrete Curb	0.3604 ACRE 0.3604 ACRE	\$15,127.56 \$1,438.19	\$5,451.97 \$518.32	\$3,005.00 \$3,005.00	\$3,523.32
43	CLARENCE GERBIG AND LORRAINE GERBIG W226N3061 DUPLAINVILLE RD WAUKESHA WI 53186	PWC 0914985	Road Reconstruction - Concrete Concrete Curb	0.5566 ACRE 0.5566 ACRE	\$15,127.56 \$1,438.19	\$8,420.00 \$800.50	\$3,005.00 \$3,005.00	\$3,805.50
44	ARRONIN STEEL SALES INC 1008 ANN MARIE WAY OCONOMOWOC WI 53066-2916	PWC 0914997	Road Reconstruction - Concrete Concrete Curb	0.9289 ACRE 0.9289 ACRE	\$15,127.56 \$1,438.19	\$14,051.99 \$1,335.93		\$15,387.92

TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - ASPHALT	\$165,466.86
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - CONCRETE	\$503,697.47
TOTAL CONTRIBUTION IN AID OF CURB CONSTRUCTION	\$22,239.44
TOTAL CONTRIBUTION IN AID OF WATER SERVICE CONSTRUCTION	\$63,628.26
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - ASPHALT - Deferred	\$121,905.95
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - CONCRETE - Deferred	\$746,368.16

The properties against which contributions in aid of construction are proposed are benefited and the improvements constitute an exercise in Police Powers

* Residential Property Assessments are capped for Road and Curb Assessments.

D Deferred assessment. Assessment activated by further development (CSM, Plat, or Rezoning, etc.). Actual assessment will be based on development.

Preliminary Report of the Engineer
On the Proposed Duplainville Road
Pavement Reconstruction, Curb, and Water Service Assessments
In the City of Pewaukee

In accordance with the resolution passed by the City Council of the City of Pewaukee, we herewith submit our report on assessments for the reconstruction of Duplainville Road, the installation of a bicycle and pedestrian trail along Duplainville Road, sanitary improvements along Duplainville Road, drainage improvements along Duplainville Road and Green Road, and water main improvements along Duplainville Road to be made in the City of Pewaukee. All data shown here is based on bid prices.

The report consists of the following Schedules:

Schedule "A": Summary of options for assessments and related costs.

Schedule "B": Legal descriptions, dated April 2022, and maps, dated April 2022 of all parcels within the assessment district.

Schedule "C": Estimated assessment for each parcel affected.

The properties against which the assessments are proposed are benefited and the improvements constitute and exercise of Police Powers.

Magdelene J. Wagner, P.E.
Director of Public Works/City Engineer
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072
May 2, 2022

Prepared by:
Brian G. Leightner, E.I.T.
Civil Engineer
April 27, 2022

Schedule “A” – Duplainville Road

The City of Pewaukee is considering the pavement reconstruction of Duplainville Road. The improvements consist of road reconstruction, trail installation, curb installation and repair, drainage installation and repair, sanitary manhole repair, water main relay and valve repair, and related facilities.

The project will be funded in part by the Local Roads Improvement Program (LRIP). Federal funds received from this program total \$1,518,000.00. This federal funding will be allocated to the road construction costs.

The cost of road improvements and relevant costs due to improving the road will be allocated between the proposed asphalt and concrete segments of the road. The cost of the road improvements for each segment will first be reduced by an appropriate portion of the LRIP funds, then the remainder will be divided in half due to Duplainville Road being an arterial roadway. Half of the remainder for each segment will be non-assessable costs incurred by the City of Pewaukee. The other half of each segment will be apportioned to all property owners abutting the respective segment with direct or indirect access. The City of Pewaukee caps the road assessments to agricultural, single family, duplex residential, and residential condominium properties, excluding deferred assessments in the event of future lot subdivisions. Wetland and floodplain properties have an additional reduced assessment cap. All other properties shall pay the full road assessment.

Fifty percent of new curb installations will be apportioned to a separate curb assessment for all property owners abutting portions of the street where proposed curb will be installed. These curb assessments will also be reduced by half due to Duplainville Road being an arterial roadway. The City of Pewaukee caps these separate curb assessments to agricultural, single family, duplex residential, and residential condominium properties, excluding deferred assessments in the event of future lot subdivisions. Wetland and floodplain properties have an additional reduced assessment cap. All other properties shall pay the full curb assessment.

The cost of installing the bicycle and pedestrian trail adjacent to Duplainville Road, along with relevant costs due to installing the trail, will be allocated to the City Trail Fund.

Drainage improvements and fifty percent of the new curb installations will be paid by the Storm Water Management Utility.

Sanitary sewer repairs will be paid by the Sewer Utility.

Water main repairs unrelated to the road reconstruction or the trail installation will be paid by the Water Utility. Costs of extending water services to property owners who are not currently connected to the water main will be assessed to those property owners receiving said services.

UNIT RATE COMPUTATIONS

Asphalt Road Reconstruction Acreage Rate – Duplainville Road

Estimated Road Reconstruction Costs (See attached breakdown)	\$ 2,264,516.26
Engineering, Administration, & Contingencies	\$ 679,354.88
Total Estimated Road Reconstruction Costs	\$ 2,943,871.14
LRIP Grant Funding (Deduct)	\$ (922,488.60)
Subtotal for Assessable Costs	\$ 2,021,382.54
50% reduction due to Local Arterial (Deduct)	\$(1,010,691.27)
Total Estimated Road Reconstruction Assessable Costs	\$ 1,010,691.27

$$\frac{\$ 1,010,691.27}{170.28 \text{ acres}} = \$5,935.49/\text{acre}$$

Use \$5,935.49 as the Asphalt Road Reconstruction Acreage Rate¹.

Concrete Road Reconstruction Acreage Rate – Duplainville Road

Estimated Road Reconstruction Costs (See attached breakdown)	\$1,463,295.86
Engineering, Administration, & Contingencies	\$ 438,988.76
Total Estimated Road Reconstruction Costs	\$1,902,284.62
LRIP Grant Funding (Deduct)	\$(595,511.40)
Subtotal for Assessable Costs	\$1,306,773.22
50% reduction due to Local Aeterial (Deduct)	\$(653,386.61)
Total Estimated Road Reconstruction Assessable Costs	\$ 653,386.61

$$\frac{\$ 653,386.61}{42.91 \text{ acres}} = \$15,225.84/\text{acre}$$

Use \$15,225.84 as the Concrete Road Reconstruction Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Curb Extension Acreage Rate – Duplainville Road

Estimated Curb Reconstruction Costs (See attached breakdown)	\$ 32,722.18
Engineering, Administration, & Contingencies	\$ 9,816.65
Total Estimated Curb Reconstruction Costs	\$ 42,538.83
50% reduction due to Local Arterial	\$(21,269.41)
Total Estimated Curb Reconstruction Assessable Costs	\$ 21,269.42

$$\frac{\$ 21,269.42}{15.46 \text{ acres}} = \$1,375.46/\text{acre}$$

Use \$1,375.46 as the Curb Extension Acreage Rate¹.

City of Pewaukee Water – Duplainville Road

1-1/4" Water Service Unit Rate – Duplainville Road

Estimated 1 1/4" Water Service Costs (See attached breakdown)	\$ 7,722.00
Engineering, Administration, & Contingencies	\$ 2,316.60
Total Estimated 1 1/4" Water Service Assessable Cost	\$10,038.60

$$\frac{\$ 10,038.60}{2 \text{ units}} = \$5,019.30/\text{unit}$$

Use \$5,019.30 as the 1-1/4" Water Service Unit Rate.

6" Water Service Unit Rate – Duplainville Road

Estimated 6" Water Service Costs (See attached breakdown)	\$30,880.00
Engineering, Administration, & Contingencies	\$ 9,264.00
Total Estimated 6" Water Service Assessable Cost	\$40,144.00

$$\frac{\$ 40,144.00}{2 \text{ units}} = \$20,072.00/\text{unit}$$

Use \$20,072.00 as the 6" Water Service Unit Rate².

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

² After the project bid opening, staff added 90 feet of 6-inch diameter watermain (Bid Item 73) and one 6" valve (Bid Item 77) to connect a future water service to the new highway garage for the City of Pewaukee's Department of Public Works.

12" Water Service Unit Rate – Duplainville Road

Estimated 12" Water Service Costs (See attached breakdown)	\$11,775.00
Engineering, Administration, & Contingencies	\$ 3,532.50
Total Estimated 12" Water Service Assessable Cost	\$15,307.50

$$\frac{\$15,307.50}{1 \text{ unit}} = \$15,307.50/\text{unit}$$

Use \$15,307.50 as the 12" Water Service Unit Rate³.

City of Pewaukee Water Utility – Duplainville Road

Estimated Water Utility Project Costs (See attached breakdown)	\$36,261.00
Engineering, Administration, & Contingencies	\$10,878.30
Total Estimated Water Utility Project Costs	\$47,139.30

City Trail Fund – Duplainville Road

Estimated Trail Installation Costs (See attached breakdown)	\$399,233.64
Engineering, Administration, & Contingencies	\$119,770.09
Total Estimated Trail Installation Costs	\$519,003.73

Storm Water Management – Duplainville Road

Estimated Drainage Improvement Costs (See attached breakdown)	\$1,201,524.95
Engineering, Administration, & Contingencies	\$ 360,457.49
Total Estimated Drainage Improvement Costs	\$1,561,982.44

Sanitary Sewer Utility – Duplainville Road

Estimated Sanitary Sewer Costs (See attached breakdown)	\$23,200.00
Engineering, Administration, & Contingencies	\$ 6,960.00
Total Estimated Sanitary Sewer Costs	\$30,160.00

³ After the project bid opening, staff added 50 feet of 12-inch diameter watermain (Bid Item 71) and one 12" valve (Bid Item 75) to prepare for possible future development in the southern half of Section 12 of Town 07 North Range 19 East.

COST SUMMARY

Cost Summary

Total Project Costs	\$ 7,112,470.14
Total Road Assessable Costs -Asphalt (Deduct)	\$ (165,491.51)
Total Road Assessable Costs -Concrete (Deduct)	\$ (506,891.77)
Total Curb Assessable Costs (Deduct)	\$ (21,269.43)
Total Water Service Assessable Costs (Deduct)	\$ (65,490.10)
Total Water Utility Costs (Deduct)	\$ (47,139.30)
Total Sewer Utility Costs (Deduct)	\$ (30,160.00)
Total Storm Water Utility Costs (Deduct)	\$(1,561,982.44)
Total Duplainville Roadside Trail Extension Costs (Deduct)	\$ (519,003.73)
Net Non-assessable and City Costs	\$ 4,195,041.86

Computation of Costs
Total Reconstruction Project Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	39,514	CY	\$ 12.34	\$ 487,602.76
2	Concrete Driveway Removal	60	SY	\$ 12.00	\$ 720.00
3	Saw Cut, Asphalt	2,162	LF	\$ 1.75	\$ 3,783.50
4	Saw Cut, Concrete	48	LF	\$ 5.00	\$ 240.00
5	Concrete Curb and Gutter Removal	820	LF	\$ 7.00	\$ 5,740.00
6	EBS	4,852	CY	\$ 16.00	\$ 77,632.00
7	EBS Backfill	10,675	T	\$ 18.36	\$ 195,993.00
8	EBS Geogrid	14,557	SY	\$ 2.70	\$ 39,303.90
9	3/4-IN Dense-Grade Base	21,228	T	\$ 17.46	\$ 370,640.88
10	1 1/4-IN Dense-Grade Base	30,042	T	\$ 13.84	\$ 415,781.28
11	1 1/4-IN Dense-Grade Base (Bike Path)	3,566	T	\$ 15.50	\$ 55,273.00
12	30-IN Concrete Curb and Gutter	6,710	LF	\$ 16.45	\$ 110,379.50
13	HES	1,225	LF	\$ 19.75	\$ 24,193.75
14	Concrete Flume	2	EA	\$ 400.00	\$ 800.00
15	Curb Cut	4	EA	\$ 300.00	\$ 1,200.00
16	6-IN Concrete Driveway HES	177	SY	\$ 57.00	\$ 10,089.00
17	Dome Detectable Warning, Radial, Natural Patina	48	SF	\$ 45.00	\$ 2,160.00
18	Dome Detectable Warning, Rectangular, Natural Patina	96	SF	\$ 38.00	\$ 3,648.00
19	Concrete Sidewalk 5-IN	1,635	SF	\$ 6.00	\$ 9,810.00
20	Adjusting Sanitary MH	20	EA	\$ 800.00	\$ 16,000.00
21	Reconstruct Sanitary MH	3	EA	\$ 2,400.00	\$ 7,200.00
22	Adjusting Valve Box	43	EA	\$ 200.00	\$ 8,600.00
23	Replace Valve Box	17	EA	\$ 1,250.00	\$ 21,250.00
24	Relocate Hydrant	20	EA	\$ 3,500.00	\$ 70,000.00
25	HMA Pavement 4 LT 58-28 S	3,785	T	\$ 65.50	\$ 247,917.50
26	HMA Pavement 3 LT 58-28 S	7,571	T	\$ 60.36	\$ 456,985.56
27	HMA Driveway	746	T	\$ 95.35	\$ 71,131.10
28	Asphaltic Surface (Bike Path)	1,419	T	\$ 95.35	\$ 135,301.65
29	Asphaltic Patching	291	SY	\$ 35.00	\$ 10,185.00
30	Concrete Pavement, 8-IN	14,726	SY	\$ 43.80	\$ 644,998.80
31	Clearing and Grubbing	1,525	SY	\$ 5.50	\$ 8,387.50
32	Tree Removal	1,024	IN DIA	\$ 26.50	\$ 27,136.00
33	Rock Excavation	439	CY	\$ 120.00	\$ 52,680.00
34	Relocate Tree	4	EA	\$ 600.00	\$ 2,400.00

Total Reconstruction Project Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
35	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	36,739	SY	\$ 5.10	\$ 187,368.90
36	Removing Inlet	5	EA	\$ 300.00	\$ 1,500.00
37	Removing MH	4	EA	\$ 500.00	\$ 2,000.00
38	Removing Storm Sewer	116	LF	\$ 13.00	\$ 1,508.00
39	Removing Culverts	1,420	LF	\$ 10.00	\$ 14,200.00
40	12-IN Concrete Storm Sewer	2,740	LF	\$ 64.00	\$ 175,360.00
41	15-IN Concrete Storm Sewer	1,937	LF	\$ 80.00	\$ 154,960.00
42	24-IN Concrete Storm Sewer	435	LF	\$ 90.00	\$ 39,150.00
43	30-IN Concrete Storm Sewer	1,394	LF	\$ 114.00	\$ 158,916.00
44	14-IN by 23-IN Horizontal Elliptical Pipe	263	LF	\$ 119.00	\$ 31,297.00
45	19-IN by 30-IN Horizontal Elliptical Pipe	52	LF	\$ 138.00	\$ 7,176.00
46	24-IN by 38-IN Horizontal Elliptical Pipe	506	LF	\$ 150.00	\$ 75,900.00
47	12-IN Corrugated Culvert Pipe	98	LF	\$ 58.00	\$ 5,684.00
48	15-IN Corrugated Culvert Pipe	110	LF	\$ 62.00	\$ 6,820.00
49	13-IN by 17-IN Horizontal Elliptical Corrugated Culvert Pipe	22	LF	\$ 68.00	\$ 1,496.00
50	15-IN by 21-IN Corrugated Culvert Pipe	87	LF	\$ 78.00	\$ 6,786.00
51	24-IN by 35-IN Horizontal Elliptical Corrugated Culvert Pipe	33	LF	\$ 132.00	\$ 4,356.00
52	3-FT Storm MH W/ Frame and Grate	16	EA	\$ 2,300.00	\$ 36,800.00
53	4-FT Storm MH W/ Frame and Grate	19	EA	\$ 2,850.00	\$ 54,150.00
54	5-FT Storm MH W/ Frame and Grate	11	EA	\$ 3,750.00	\$ 41,250.00
55	6-FT Storm MH W/ Frame and Grate	8	EA	\$ 4,750.00	\$ 38,000.00
56	7-FT Storm MH W/ Frame and Grate	1	EA	\$ 7,450.00	\$ 7,450.00
57	Inlets 2-FT by 3-FT W/ Frame and Grate	13	EA	\$ 2,150.00	\$ 27,950.00
58	Existing Inlet Adjustment	5	EA	\$ 500.00	\$ 2,500.00
59	12-IN RCP End Section	12	EA	\$ 1,000.00	\$ 12,000.00
60	12-IN RCP End Section with Grate	7	EA	\$ 1,400.00	\$ 9,800.00
61	15-IN RCP End Section	7	EA	\$ 1,050.00	\$ 7,350.00
62	15-IN RCP End Section W/ Grate	3	EA	\$ 1,500.00	\$ 4,500.00
63	24-IN by 38-IN RCP End Section	3	EA	\$ 1,500.00	\$ 4,500.00

Total Reconstruction Project Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
64	12-IN Corrugated Culvert Pipe End Section	12	EA	\$ 250.00	\$ 3,000.00
65	15-IN Corrugated Culvert Pipe End Section	10	EA	\$ 275.00	\$ 2,750.00
66	13-IN by 17-IN Corrugated Culvert Pipe End Section	2	EA	\$ 300.00	\$ 600.00
67	15-IN by 21-IN Corrugated Culvert Pipe End Section	6	EA	\$ 350.00	\$ 2,100.00
68	15-IN by 21-IN Corrugated Culvert Pipe End Section W/ Grate	1	EA	\$ 850.00	\$ 850.00
69	24-IN by 35-IN Corrugated Culvert Pipe End Section	2	EA	\$ 600.00	\$ 1,200.00
70	Concrete Collar	4	EA	\$ 500.00	\$ 2,000.00
71	12-IN Water Main W/ Granular Backfill	1,050	LF	\$ 145.00	\$ 152,250.00
72	10-IN Water Main W/ Granular Backfill	60	LF	\$ 230.00	\$ 13,800.00
73	6-IN Water Main W/ Granular Backfill	180	LF	\$ 150.00	\$ 27,000.00
74	Fire Hydrant Assembly W/ Aux Valve	2	EA	\$ 7,250.00	\$ 14,500.00
75	12-IN Gate Valve and Valve Box	4	EA	\$ 4,525.00	\$ 18,100.00
76	10-IN Gate Valve and Valve Box	2	EA	\$ 3,750.00	\$ 7,500.00
77	6-IN Gate Valve and Valve Box	2	EA	\$ 1,940.00	\$ 3,880.00
78	HDPE Water Service	110	LF	\$ 135.00	\$ 14,850.00
79	Connect to Existing Water Main	5	EA	\$ 4,000.00	\$ 20,000.00
80	Abandon Existing Water Main	1	LS	\$ 9,500.00	\$ 9,500.00
81	Water Main Insulation	1,008	SF	\$ 8.50	\$ 8,568.00
82	Traffic Control	1	LS	\$ 20,550.00	\$ 20,550.00
83	Mobilization	1	LS	\$225,000.00	\$ 225,000.00
84	Inlet Protection, Type A	24	EA	\$ 115.00	\$ 2,760.00
85	Inlet Protection, Type B	27	EA	\$ 60.00	\$ 1,620.00
86	Inlet Protection, Type D	29	EA	\$ 100.00	\$ 2,900.00
87	Silt Fence	8,675	LF	\$ 1.80	\$ 15,615.00
88	Silt Fence Drainage Relief	8	EA	\$ 300.00	\$ 2,400.00
89	Culvert Pipe Check	40	EA	\$ 45.00	\$ 1,800.00
90	Ditch Check	126	EA	\$ 110.00	\$ 13,860.00
91	Tracking Pads	6	EA	\$ 2,000.00	\$ 12,000.00
92	Riprap Medium	49	CY	\$ 130.00	\$ 6,370.00
93	Geotextile Type HR	147	SY	\$ 8.00	\$ 1,176.00
94	Remove Water Sampling Station	1	EA	\$ 1,500.00	\$ 1,500.00

Total Reconstruction Project Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
95	Exploratory Utility Opening	40	EA	\$ 700.00	\$ 28,000.00
	Remove, Temporary Relocate, and				
96	Permanent Relocate Mailbox	34	EA	\$ 155.00	\$ 5,270.00
97	Remove Signs	1	LS	\$ 225.00	\$ 225.00
	Reset Signs Mounted on Post Wood				
98	4-IN by 6-IN	44	EA	\$ 220.00	\$ 9,680.00
99	Relocate Sign	5	EA	\$ 125.00	\$ 625.00
100	Sign and Post	23	EA	\$ 370.00	\$ 8,510.00
101	Marking Line Epoxy 4-IN	39,974	LF	\$ 0.55	\$ 21,985.70
102	Marking Line Epoxy 6-IN Solid	76	LF	\$ 9.00	\$ 684.00
103	Marking Line Epoxy 8-IN	520	LF	\$ 1.80	\$ 936.00
104	Marking Stop Line Epoxy 18-IN	171	LF	\$ 12.00	\$ 2,052.00
105	Marking Line Epoxy 24-IN	279	LF	\$ 13.00	\$ 3,627.00
106	Marking Arrow Epoxy	10	EA	\$ 250.00	\$ 2,500.00
107	Marking Railroad Crossing Epoxy	2	EA	\$ 900.00	\$ 1,800.00
108	Culvert End Markers	30	EA	\$ 75.00	\$ 2,250.00
	Bioretention Basin Clean-Washed				
109	Clear Stone	66	CY	\$ 65.00	\$ 4,290.00
	Bioretention Basin Clean-Washed				
110	Pea Gravel	22	CY	\$ 70.00	\$ 1,540.00
111	Bioretention Basin Engineered Soil	77	CY	\$ 60.00	\$ 4,620.00
	Bioretention Basin Hardwood				
112	Mulch	17	CY	\$ 88.00	\$ 1,496.00
113	Bioretention Basin Sand	17	CY	\$ 60.00	\$ 1,020.00
	Bioretention Basin Underdrain				
114	Cleanout	6	EA	\$ 350.00	\$ 2,100.00
	Bioretention Basin Herbaceous				
115	Plugs	1,790	SF	\$ 8.90	\$ 15,931.00
	Bioretention Basin 6-IN Perforated				
116	Underdrain	130	LF	\$ 15.00	\$ 1,950.00
117	Bioretention Basin Geotextile	14	SY	\$ 20.00	\$ 280.00
118	Low Mow Seed Mix	841	SY	\$ 4.60	\$ 3,868.60
	Cash Allowance for Canadian				
	Pacific Right of Entry Permit and				
119	Flagging	1	LS	\$ 10,000.00	\$ 10,000.00
	Cash Allowance for Canadian				
	National Right of Entry Permit and				
120	Flagging	1	LS	\$ 10,000.00	\$ 10,000.00
Subtotal of Contract					\$5,471,130.88
Engineering, Administration, & Contingencies					\$1,641,339.26
Total Project Costs					\$7,112,470.14

Total Reconstruction Project Costs – Continued

Total Project Costs = \$7,112,470.14

Total Asphalt Road Reconstruction & Assessment Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	28450.08	CY	\$ 12.34	\$ 351,073.99
2	Concrete Driveway Removal	25.2	SY	\$ 12.00	\$ 302.40
3	Saw Cut, Asphalt	497.26	LF	\$ 1.75	\$ 870.21
4	Saw Cut, Concrete	31.68	LF	\$ 5.00	\$ 158.40
5	Concrete Curb and Gutter Removal	254.2	LF	\$ 7.00	\$ 1,779.40
6	EBS	4075.68	CY	\$ 16.00	\$ 65,210.88
7	EBS Backfill	8967	T	\$ 18.36	\$ 164,634.12
8	EBS Geogrid	12227.88	SY	\$ 2.70	\$ 33,015.28
9	3/4-IN Dense-Grade Base	17619.24	T	\$ 17.46	\$ 307,631.93
10	1 1/4-IN Dense-Grade Base	25235.28	T	\$ 13.84	\$ 349,256.28
14	Concrete Flume	1	EA	\$ 400.00	\$ 400.00
15	Curb Cut	0.52	EA	\$ 300.00	\$ 156.00
16	6-IN Concrete Driveway HES	127.44	SY	\$ 57.00	\$ 7,264.08
25	HMA Pavement 4 LT 58-28 S	3785	T	\$ 65.50	\$ 247,917.50
26	HMA Pavement 3 LT 58-28 S	7571	T	\$ 60.36	\$ 456,985.56
27	HMA Driveway	268.56	T	\$ 95.35	\$ 25,607.20
31	Clearing and Grubbing	1281	SY	\$ 5.50	\$ 7,045.50
32	Tree Removal	512	IN		
34	Relocate Tree	4	DIA	\$ 26.50	\$ 13,568.00
35	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	12491.26	EA	\$ 600.00	\$ 2,400.00
82	Traffic Control	0.41	SY	\$ 5.10	\$ 63,705.43
83	Mobilization	0.41	LS	\$ 20,550.00	\$ 8,425.50
84	Inlet Protection, Type A	0.41	LS	\$225,000.00	\$ 92,250.00
85	Inlet Protection, Type B	10.08	EA	\$ 115.00	\$ 1,159.20
86	Inlet Protection, Type B	10.26	EA	\$ 60.00	\$ 615.60
86	Inlet Protection, Type D	7.25	EA	\$ 100.00	\$ 725.00
87	Silt Fence	6332.75	EA	\$ 1.80	\$ 11,398.95
88	Silt Fence Drainage Relief	8	LF	\$ 300.00	\$ 2,400.00
89	Culvert Pipe Check	31.6	EA	\$ 45.00	\$ 1,422.00
90	Ditch Check	88.2	EA	\$ 110.00	\$ 9,702.00
91	Tracking Pads	3	EA	\$ 2,000.00	\$ 6,000.00
96	Remove, Temporary Relocate, and Permanent Relocate Mailbox	19.72	EA	\$ 155.00	\$ 3,056.60
97	Remove Signs	0.68	EA	\$ 155.00	\$ 3,056.60
97	Reset Signs Mounted on Post	0.68	LS	\$ 225.00	\$ 153.00
98	Wood 4-IN by 6-IN	21.12	EA	\$ 220.00	\$ 4,646.40
99	Relocate Sign	2	EA	\$ 125.00	\$ 250.00
100	Sign and Post	5.06	EA	\$ 370.00	\$ 1,872.20
101	Marking Line Epoxy 4-IN	26382.84	EA	\$ 0.55	\$ 14,510.56

Total Asphalt Road Reconstruction & Assessment Costs – Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
103	Marking Line Epoxy 8-IN	520	LF	\$ 1.80	\$ 936.00
104	Marking Stop Line Epoxy 18-IN	15.39	LF	\$ 12.00	\$ 184.68
105	Marking Line Epoxy 24-IN	25.11	LF	\$ 13.00	\$ 326.43
106	Marking Arrow Epoxy	2	EA	\$ 250.00	\$ 500.00
	Cash Allowance for Canadian National Right of Entry Permit and Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$ 2,264,516.26
Engineering, Administration, & Contingencies					\$ 679,354.88
Total Project Costs					\$ 2,943,871.14
Local Road Improvement Program Grant Funding (Deduct)					\$ (922,488.60)
Subtotal for Assessable Costs					\$ 2,021,382.54
50% reduction due to Local Arterial (Deduct)					\$(1,010,691.27)
Total Estimated Road Reconstruction Assessable Costs					\$ 1,010,691.27

Total Potential Acres abutting the Asphalt Road = 170.28 acres

Computation of Acreage Cost: $\frac{\$ 1,010,691.27}{170.28 \text{ acres}} = \$5,935.49/\text{acre}$

Use \$5,935.49 as the Asphalt Road Reconstruction Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Total Concrete Road Reconstruction & Assessment Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	8297.94	CY	\$ 12.34	\$ 102,396.58
2	Concrete Driveway Removal	34.8	SY	\$ 12.00	\$ 417.60
3	Saw Cut, Asphalt	1016.14	LF	\$ 1.75	\$ 1,778.25
4	Saw Cut, Concrete	16.32	LF	\$ 5.00	\$ 81.60
5	Concrete Curb and Gutter Removal	565.8	LF	\$ 7.00	\$ 3,960.60
6	EBS	776.32	CY	\$ 16.00	\$ 12,421.12
7	EBS Backfill	1708	T	\$ 18.36	\$ 31,358.88
8	EBS Geogrid	2329.12	SY	\$ 2.70	\$ 6,288.62
9	3/4-IN Dense-Grade Base	3608.76	T	\$ 17.46	\$ 63,008.95
10	1 1/4-IN Dense-Grade Base	4806.72	T	\$ 13.84	\$ 66,525.00
12	30-IN Concrete Curb and Gutter	805.2	LF	\$ 16.45	\$ 13,245.54
15	Curb Cut	1.48	EA	\$ 300.00	\$ 444.00
16	6-IN Concrete Driveway HES	49.56	SY	\$ 57.00	\$ 2,824.92
27	HMA Driveway	477.44	T	\$ 95.35	\$ 45,523.90
30	Concrete Pavement, 8-IN	14726	SY	\$ 43.80	\$ 644,998.80
31	Clearing and Grubbing	244	SY	\$ 5.50	\$ 1,342.00
32	Tree Removal	512	IN DIA	\$ 26.50	\$ 13,568.00
33	Rock Excavation	294.13	CY	\$ 120.00	\$ 35,295.60
35	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	5878.24	SY	\$ 5.10	\$ 29,979.02
71	12-IN Water Main W/ Granular Backfill	1000	LF	\$ 145.00	\$ 145,000.00
72	10-IN Water Main W/ Granular Backfill	60	LF	\$ 230.00	\$ 13,800.00
74	Fire Hydrant Assembly W/ Aux Valve	2	EA	\$ 7,250.00	\$ 14,500.00
75	12-IN Gate Valve and Valve Box	3	EA	\$ 4,525.00	\$ 13,575.00
76	10-IN Gate Valve and Valve Box	2	EA	\$ 3,750.00	\$ 7,500.00
78	HDPE Water Service	52.8	LF	\$ 135.00	\$ 7,128.00
79	Connect to Existing Water Main	5	EA	\$ 4,000.00	\$ 20,000.00
80	Abandon Existing Water Main	1	LS	\$ 9,500.00	\$ 9,500.00
81	Water Main Insulation	1008	SF	\$ 8.50	\$ 8,568.00
82	Traffic Control	0.27	LS	\$ 20,550.00	\$ 5,548.50
83	Mobilization	0.27	LS	\$225,000.00	\$ 60,750.00
84	Inlet Protection, Type A	13.92	EA	\$ 115.00	\$ 1,600.80
85	Inlet Protection, Type B	16.74	EA	\$ 60.00	\$ 1,004.40
86	Inlet Protection, Type D	21.75	EA	\$ 100.00	\$ 2,175.00
87	Silt Fence	2342.25	LF	\$ 1.80	\$ 4,216.05
89	Culvert Pipe Check	8.4	EA	\$ 45.00	\$ 378.00

Total Concrete Road Reconstruction & Assessment Costs - Continued

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
90	Ditch Check	37.8	EA	\$ 110.00	\$ 4,158.00
91	Tracking Pads	3	EA	\$ 2,000.00	\$ 6,000.00
95	Exploratory Utility Opening	40	EA	\$ 700.00	\$ 28,000.00
96	Remove, Temporary Relocate, and Permanent Relocate Mailbox	14.28	EA	\$ 155.00	\$ 2,213.40
97	Remove Signs	0.32	LS	\$ 225.00	\$ 72.00
98	Reset Signs Mounted on Post				
98	Wood 4-IN by 6-IN	22.88	EA	\$ 220.00	\$ 5,033.60
99	Relocate Sign	3	EA	\$ 125.00	\$ 375.00
100	Sign and Post	17.94	EA	\$ 370.00	\$ 6,637.80
101	Marking Line Epoxy 4-IN	12791.68	LF	\$ 0.55	\$ 7,035.42
104	Marking Stop Line Epoxy 18-IN	155.61	LF	\$ 12.00	\$ 1,867.32
105	Marking Line Epoxy 24-IN	253.89	LF	\$ 13.00	\$ 3,300.57
106	Marking Arrow Epoxy	8	EA	\$ 250.00	\$ 2,000.00
107	Marking Railroad Crossing Epoxy	1	EA	\$ 900.00	\$ 900.00
	Cash Allowance for Canadian Pacific Right of Entry Permit and				
119	Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$1,463,295.86
Engineering, Administration, & Contingencies					\$ 438,988.76
Total Project Costs					\$1,902,284.62
Local Road Improvement Program Grand Funding (Deduct)					\$(595,511.40)
Subtotal for Assessable Costs					\$1,306,773.22
50% reduction due to Local Arterial (Deduct)					\$(653,386.61)
Total Estimated Road Reconstruction Assessable Costs					\$ 653,386.61

Total Potential Acres abutting the Concrete Road = 42.91 acres

Computation of Acreage Cost: $\frac{\$ 653,386.61}{42.91 \text{ acres}} = \$15,225.84/\text{acre}$

Use \$15,225.84 as the Concrete Road Reconstruction Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Total Estimated Curb Extension & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
12	30-IN Concrete Curb and Gutter	1006.5	LF	\$ 16.45	\$ 16,556.93
13	HES	441	LF	\$ 19.75	\$ 8,709.75
82	Traffic Control	0.01	LS	\$ 20,550.00	\$ 205.50
83	Mobilization	0.01	LS	\$225,000.00	\$ 2,250.00
119	Cash Allowance for Canadian Pacific Right of Entry Permit and Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$ 32,722.18
Engineering, Administration, & Contingencies					\$ 9,816.65
Total Project Costs					\$ 42,538.83
50% reduction due to Local Arterial (Deduct)					\$(21,269.41)
Total Estimated Curb Reconstruction Assessable Costs					\$ 21,269.42

Total Potential Acres abutting the Assessable Curb = 15.46 acres

Computation of Acreage Cost: $\frac{\$ 21,269.42}{15.46 \text{ acres}} = \$1,375.46/\text{acre}$

Use \$1,375.46 as the Curb Extension Acreage Rate¹.

¹ A maximum amount of \$3,005.00 (2022 Pavement Cap) per each curb and road assessment will be assessed to agricultural, single family, duplex, and condominium residential properties. An additional maximum amount of \$951.00 per each curb and road assessment will be assessed to floodplain or wetland properties.

Total Estimated Water Main Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
22	Adjusting Valve Box	43	EA	\$ 200.00	\$ 8,600.00
23	Replace Valve Box	17	EA	\$ 1,250.00	\$ 21,250.00
	12-IN Water Main W/ Granular				
71	Backfill	50	LF	\$ 145.00	\$ 7,250.00
	6-IN Water Main W/ Granular				
73	Backfill	180	LF	\$ 150.00	\$ 27,000.00
75	12-IN Gate Valve and Valve Box	1	EA	\$ 4,525.00	\$ 4,525.00
77	6-IN Gate Valve and Valve Box	2	EA	\$ 1,940.00	\$ 3,880.00
78	HDPE Water Service	57.2	LF	\$ 135.00	\$ 7,722.00
82	Traffic Control	0.02	LS	\$ 20,550.00	\$ 411.00
83	Mobilization	0.02	LS	\$225,000.00	\$ 4,500.00
94	Remove Water Sampling Station	1	EA	\$ 1,500.00	\$ 1,500.00
Subtotal of Contract					\$ 86,638.00
Engineering, Administration, & Contingencies					\$ 25,991.40
Total Project Costs					\$112,629.40

Total Estimated 1-1/4" Water Service & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
78	HDPE Water Service	57.2	LF	\$ 135.00	\$ 7,722.00
Subtotal of Contract					\$ 7,722.00
Engineering, Administration, & Contingencies					\$ 2,316.60
Total Project Costs					\$10,038.60

Total Potential Units from 1-1/4" Water Service Unit Rate = 2

Computation of Unit Cost: $\frac{\$ 10,038.60}{2 \text{ units}} = \$5,019.30/\text{unit}$

Use \$5,019.30 as the 1-1/4" Water Service Unit Rate.

Total Estimated 6" Water Service & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
73	6-IN Water Main W/ Granular Backfill	180	LF	\$ 150.00	\$27,000.00
77	6-IN Gate Valve and Valve Box	2	EA	\$1,940.00	\$ 3,880.00
Subtotal of Contract					\$30,880.00
Engineering, Administration, and Contingencies					\$ 9,264.00
Total Project Costs					\$40,144.00

Total Potential Units from 6" water services = 2

Computation of Unit Cost: $\frac{\$ 40,144.00}{2 \text{ units}} = \$20,072.00/\text{unit}$

Use \$20,072.00 as the 6" Water Service Unit Rate².

Total Estimated 12" Water Service & Assessable Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
174	12-IN Water Main W/ Granular Backfill	50	LF	\$ 145.00	\$ 7,250.00
175	12-IN Gate Valve and Valve Box	1	EA	\$4,525.00	\$ 4,525.00
Subtotal of Contract					\$11,775.00
Engineering, Administration, & Contingencies					\$ 3,532.50
Total Project Costs					\$15,307.50

Total Potential Units from 12" water service = 1

Computation of Unit Cost: $\frac{\$ 15,307.50}{1 \text{ unit}} = \$15,307.50/\text{unit}$

Use \$15,307.50 as the 12" Water Service Unit Rate³.

² After the project bid opening, staff added 90 feet of 6-inch diameter watermain (Bid Item 73) and one 6" valve (Bid Item 77) to connect a future water service to the new highway garage for the City of Pewaukee's Department of Public Works.

³ After the project bid opening, staff added 50 feet of 12-inch diameter watermain (Bid Item 71) and one 12" valve (Bid Item 75) to prepare for possible future development in the southern half of Section 12 of Town 07 North Range 19 East.

Total Estimated Water Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
22	Adjusting Valve Box	43	EA	\$ 200.00	\$ 8,600.00
23	Replace Valve Box	17	EA	\$ 1,250.00	\$21,250.00
82	Traffic Control	0.02	LS	\$ 20,550.00	\$ 411.00
83	Mobilization	0.02	LS	\$225,000.00	\$ 4,500.00
94	Remove Water Sampling Station	1	EA	\$ 1,500.00	\$ 1,500.00
Subtotal of Contract					\$36,261.00
Engineering, Administration, & Contingencies					\$10,878.30
Total Project Costs					\$47,139.30

Total Estimated Water Utility Project Costs = \$47,139.30

Total Estimated City Trail Fund Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
1	Common Excavation	2765.98	CY	\$ 12.34	\$ 34,132.19
11	1 1/4-IN Dense-Grade Base (Bike Path)	3566	T	\$ 15.50	\$ 55,273.00
12	30-IN Concrete Curb and Gutter	3891.8	LF	\$ 16.45	\$ 64,020.11
13	30-IN Concrete Curb and Gutter HES	355.25	LF	\$ 19.75	\$ 7,016.19
17	Dome Detectable Warning, Radial, Natural Patina	48	SF	\$ 45.00	\$ 2,160.00
18	Dome Detectable Warning, Rectangular, Natural Patina	96	SF	\$ 38.00	\$ 3,648.00
19	Concrete Sidewalk 5-IN	1635	SF	\$ 6.00	\$ 9,810.00
24	Relocate Hydrant	20	EA	\$ 3,500.00	\$ 70,000.00
28	Asphaltic Surface (Bike Path)	1419	T	\$ 95.35	\$135,301.65
82	Traffic Control	0.07	LS	\$ 20,550.00	\$ 1,438.50
83	Mobilization	0.07	LS	\$225,000.00	\$ 15,750.00
102	Marking Line Epoxy 6-IN Solid	76	LF	\$ 9.00	\$ 684.00
Subtotal of Contract					\$399,233.64
Engineering, Administration, & Contingencies					\$119,770.09
Total Project Costs					\$519,003.73

Total Estimated City Trail Fund Costs = \$519,003.73

Total Estimated Storm Water Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
3	Saw Cut, Asphalt	648.6	LF	\$ 1.75	\$ 1,135.05
12	30-IN Concrete Curb and Gutter	1006.5	LF	\$ 16.45	\$ 16,556.93
13	HES	428.75	LF	\$ 19.75	\$ 8,467.81
14	Concrete Flume	1	EA	\$ 400.00	\$ 400.00
15	Curb Cut	2	EA	\$ 300.00	\$ 600.00
29	Asphaltic Patching	291	SY	\$ 35.00	\$ 10,185.00
33	Rock Excavation	144.87	CY	\$ 120.00	\$ 17,384.40
35	6-IN Topsoil, Seed, Fertilizer, Erosion Mat, and Watering	18369.5	SY	\$ 5.10	\$ 93,684.45
36	Removing Inlet	5	EA	\$ 300.00	\$ 1,500.00
37	Removing MH	4	EA	\$ 500.00	\$ 2,000.00
38	Removing Storm Sewer	116	LF	\$ 13.00	\$ 1,508.00
39	Removing Culverts	1420	LF	\$ 10.00	\$ 14,200.00
40	12-IN Concrete Storm Sewer	2740	LF	\$ 64.00	\$ 175,360.00
41	15-IN Concrete Storm Sewer	1937	LF	\$ 80.00	\$ 154,960.00
42	24-IN Concrete Storm Sewer	435	LF	\$ 90.00	\$ 39,150.00
43	30-IN Concrete Storm Sewer	1394	LF	\$ 114.00	\$ 158,916.00
44	14-IN by 23-IN Horizontal Elliptical Pipe	263	LF	\$ 119.00	\$ 31,297.00
45	19-IN by 30-IN Horizontal Elliptical Pipe	52	LF	\$ 138.00	\$ 7,176.00
46	24-IN by 38-IN Horizontal Elliptical Pipe	506	LF	\$ 150.00	\$ 75,900.00
47	12-IN Corrugated Culvert Pipe	98	LF	\$ 58.00	\$ 5,684.00
48	15-IN Corrugated Culvert Pipe	110	LF	\$ 62.00	\$ 6,820.00
49	13-IN by 17-IN Horizontal Elliptical Corrugated Culvert Pipe	22	LF	\$ 68.00	\$ 1,496.00
50	15-IN by 21-IN Corrugated Culvert Pipe	87	LF	\$ 78.00	\$ 6,786.00
51	24-IN by 35-IN Horizontal Elliptical Corrugated Culvert Pipe	33	LF	\$ 132.00	\$ 4,356.00
52	3-FT Storm MH W/ Frame and Grate	16	EA	\$ 2,300.00	\$ 36,800.00
53	4-FT Storm MH W/ Frame and Grate	19	EA	\$ 2,850.00	\$ 54,150.00
54	5-FT Storm MH W/ Frame and Grate	11	EA	\$ 3,750.00	\$ 41,250.00
55	6-FT Storm MH W/ Frame and Grate	8	EA	\$ 4,750.00	\$ 38,000.00
56	7-FT Storm MH W/ Frame and Grate	1	EA	\$ 7,450.00	\$ 7,450.00

Total Estimated Storm Water Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
	Inlets 2-FT by 3-FT W/ Frame and				
57	Grate	13	EA	\$ 2,150.00	\$ 27,950.00
58	Existing Inlet Adjustment	5	EA	\$ 500.00	\$ 2,500.00
59	12-IN RCP End Section	12	EA	\$ 1,000.00	\$ 12,000.00
	12-IN RCP End Section with				
60	Grate	7	EA	\$ 1,400.00	\$ 9,800.00
61	15-IN RCP End Section	7	EA	\$ 1,050.00	\$ 7,350.00
62	15-IN RCP End Section W/ Grate	3	EA	\$ 1,500.00	\$ 4,500.00
63	24-IN by 38-IN RCP End Section	3	EA	\$ 1,500.00	\$ 4,500.00
	12-IN Corrugated Culvert Pipe				
64	End Section	12	EA	\$ 250.00	\$ 3,000.00
	15-IN Corrugated Culvert Pipe				
65	End Section	10	EA	\$ 275.00	\$ 2,750.00
	13-IN by 17-IN Corrugated				
66	Culvert Pipe End Section	2	EA	\$ 300.00	\$ 600.00
	15-IN by 21-IN Corrugated				
67	Culvert Pipe End Section	6	EA	\$ 350.00	\$ 2,100.00
	15-IN by 21-IN Corrugated				
68	Culvert Pipe End Section W/ Grate	1	EA	\$ 850.00	\$ 850.00
	24-IN by 35-IN Corrugated				
69	Culvert Pipe End Section	2	EA	\$ 600.00	\$ 1,200.00
70	Concrete Collar	4	EA	\$ 500.00	\$ 2,000.00
82	Traffic Control	0.22	LS	\$ 20,550.00	\$ 4,521.00
83	Mobilization	0.22	LS	\$225,000.00	\$ 49,500.00
92	Riprap Medium	49	CY	\$ 130.00	\$ 6,370.00
93	Geotextile Type HR	147	SY	\$ 8.00	\$ 1,176.00
101	Marking Line Epoxy 4-IN	799.48	LF	\$ 0.55	\$ 439.71
107	Marking Railroad Crossing Epoxy	1	EA	\$ 900.00	\$ 900.00
108	Culvert End Markers	30	EA	\$ 75.00	\$ 2,250.00
	Bioretention Basin Clean-Washed				
109	Clear Stone	66	CY	\$ 65.00	\$ 4,290.00
	Bioretention Basin Clean-Washed				
110	Pea Gravel	22	CY	\$ 70.00	\$ 1,540.00
	Bioretention Basin Engineered				
111	Soil	77	CY	\$ 60.00	\$ 4,620.00
	Bioretention Basin Hardwood				
112	Mulch	17	CY	\$ 88.00	\$ 1,496.00
113	Bioretention Basin Sand	17	CY	\$ 60.00	\$ 1,020.00
	Bioretention Basin Underdrain				
114	Cleanout	6	EA	\$ 350.00	\$ 2,100.00
	Bioretention Basin Herbaceous				
115	Plugs	1790	SF	\$ 8.90	\$ 15,931.00

Total Estimated Storm Water Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
	Bioretention Basin 6-IN Perforated				
116	Underdrain	130	LF	\$ 15.00	\$ 1,950.00
117	Bioretention Basin Geotextile	14	SY	\$ 20.00	\$ 280.00
118	Low Mow Seed Mix	841	SY	\$ 4.60	\$ 3,868.60
	Cash Allowance for Canadian				
	National Right of Entry Permit and				
120	Flagging	0.5	LS	\$ 10,000.00	\$ 5,000.00
Subtotal of Contract					\$1,201,524.95
Engineering, Administration, & Contingencies					\$ 360,457.49
Total Project Costs					\$1,561,982.44

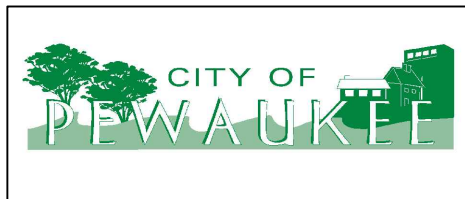
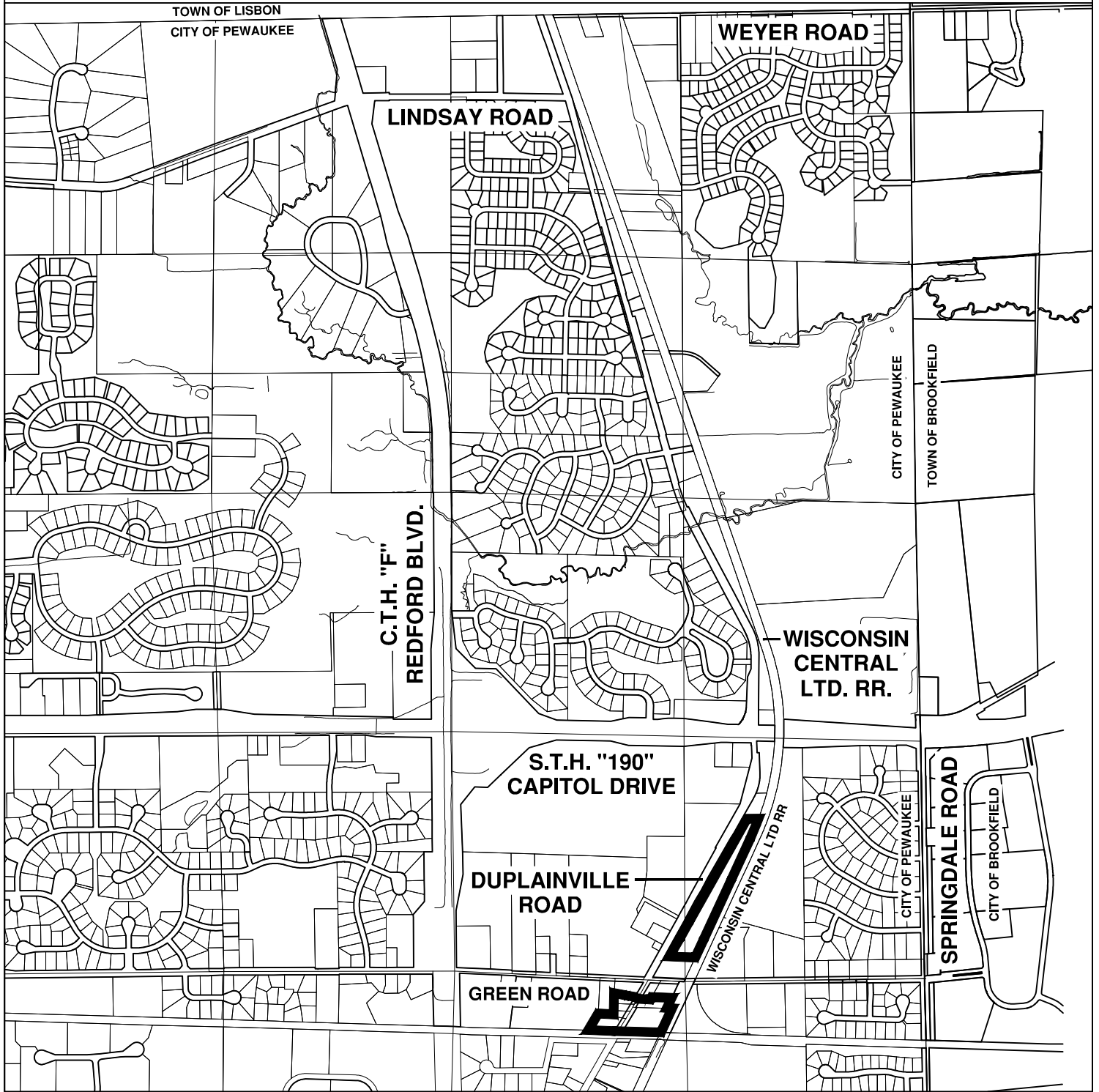
Total Estimated Storm Water Utility Project Costs = \$1,561,982.44

Total Estimated Sanitary Sewer Utility Costs

Item No.	Description	Estimated Quantity	Unit	Bid Unit Price	Bid Price
20	Adjusting Sanitary MH	20	EA	\$ 800.00	\$16,000.00
21	Reconstruct Sanitary MH	3	EA	\$2,400.00	\$ 7,200.00
Subtotal of Contract					\$23,200.00
Engineering, Administration, & Contingencies					\$ 6,960.00
Total Project Costs					\$30,160.00

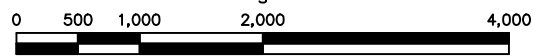
Total Estimated Sanitary Sewer Utility Costs = \$30,160.00

**DUPLAINVILLE ROAD RECONSTRUCTION
RD-22-57420
CURB ASSESSMENT
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN**



LEGEND

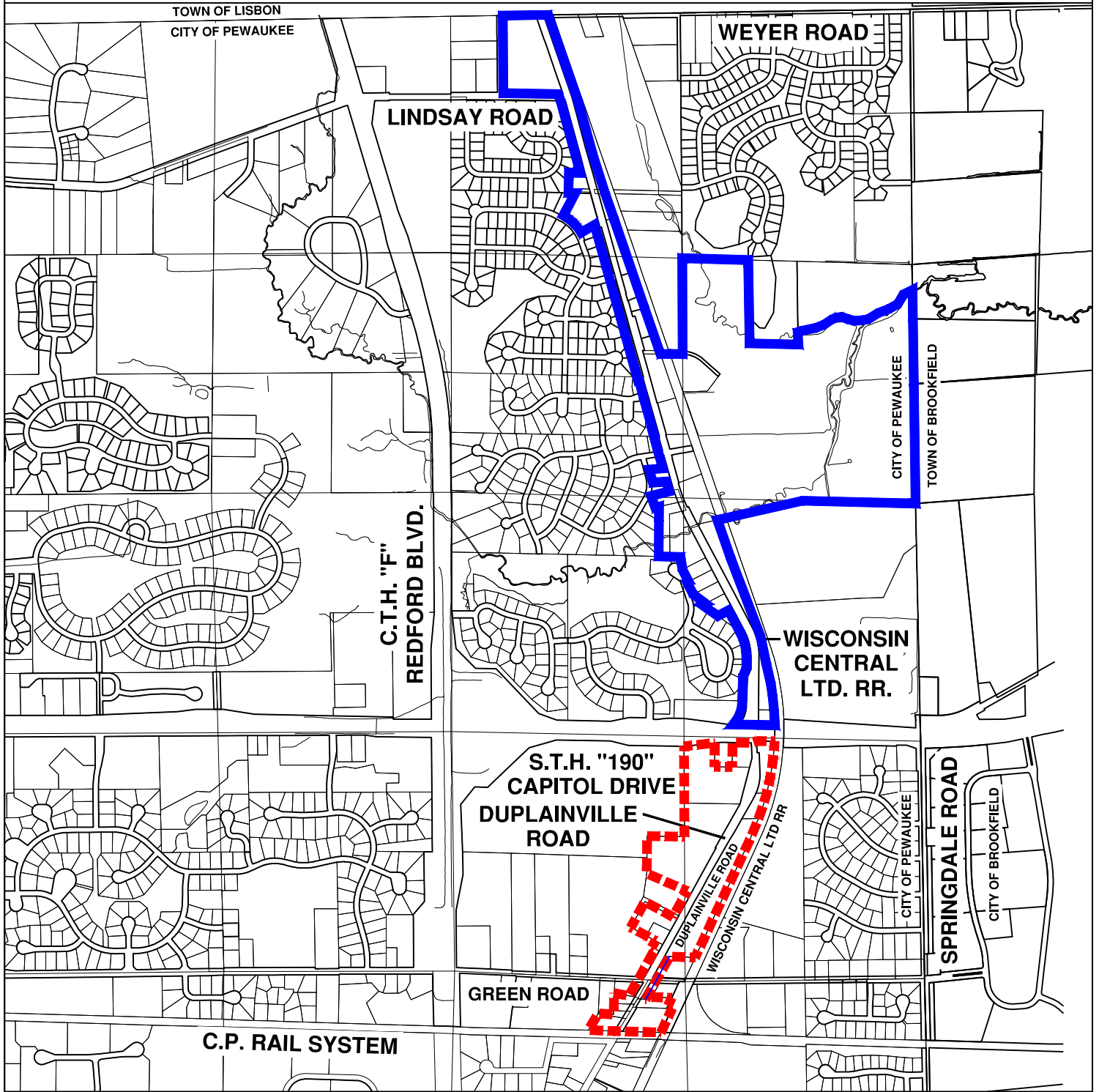
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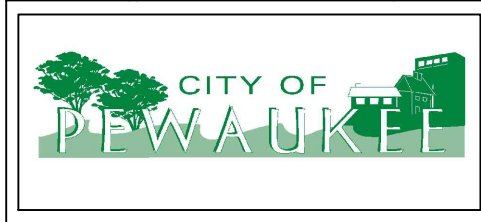


SCALE IN FEET

DATE: APRIL 14, 2022

**DUPLAINVILLE ROAD RECONSTRUCTION
RD-22-57420
ROAD ASSESSMENT
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN**





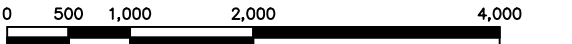
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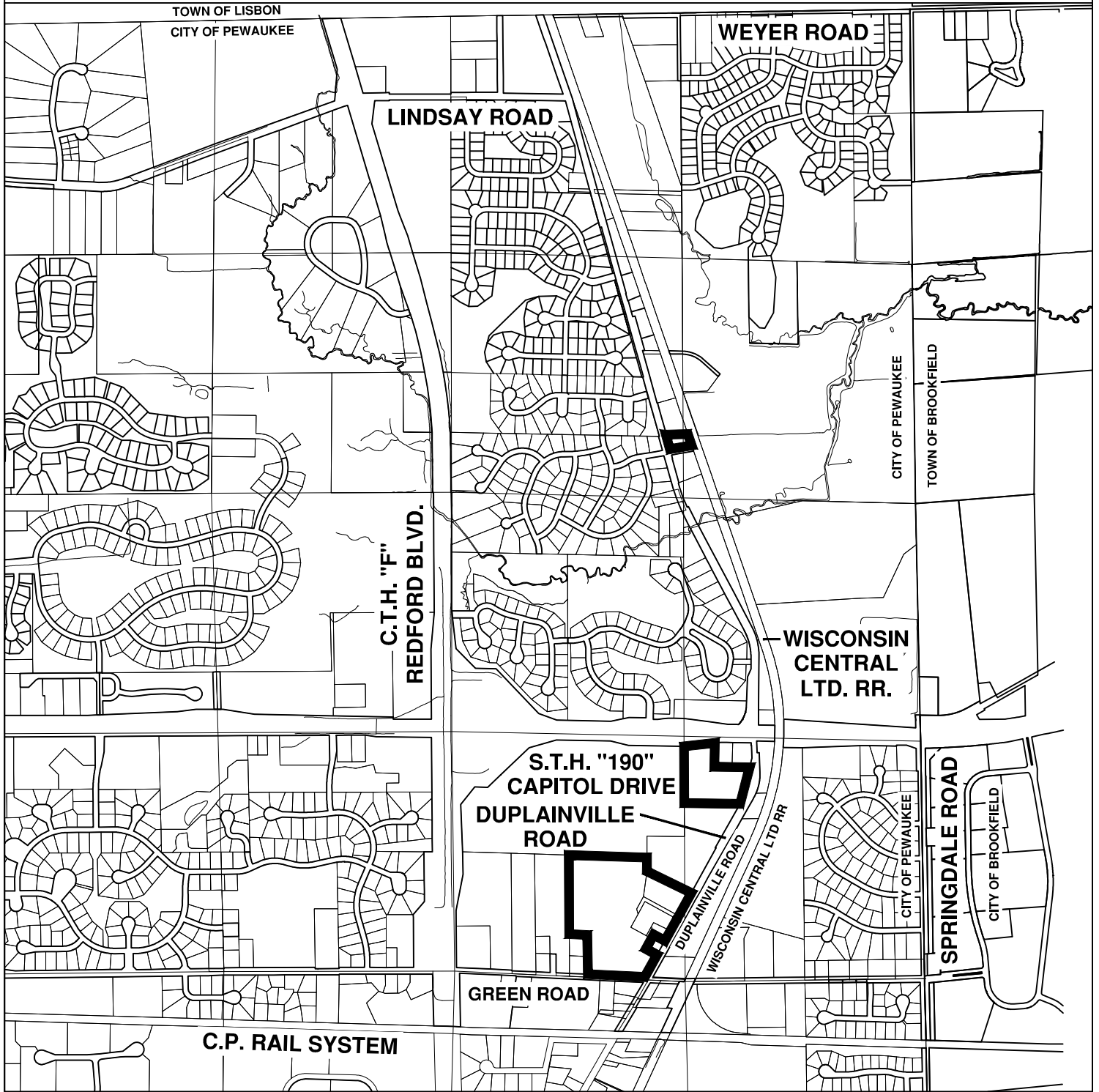


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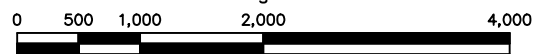
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**DUPLAINVILLE ROAD RECONSTRUCTION
SW-22-57420
WATER SERVICE EXTENSIONS
CITY OF PEWAUKEE
WAUKESHA COUNTY, WISCONSIN**



LEGEND

 **WATER SERVICE
ASSESSMENT
AREA BOUNDARY**



SCALE IN FEET

DATE: APRIL 14, 2022

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
1	FREDERIC G LINDENSTRUTH AND MICHELLE L LINDENSTRUTH W266N4493 DUPLAINVILLE RD PEWAUKEE WI 53072-2823	PWC 0866992008	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 1.4549 ACRE	\$5,935.49 \$5,935.49	\$5,935.49 \$8,635.54	\$3,005.00	\$3,005.00 \$8,635.54 D
2	STEVEN KUNDINGER AND SUSAN BANSKI W227N4537 DUPLAINVILLE RD PEWAUKEE WI 53072-2824	PWC 0866993	Road Reconstruction - Asphalt	0.8204 ACRE	\$5,935.49	\$4,869.48	\$3,005.00	\$3,005.00
3	KD GLASS LLC ATTN: AMY OLSON PO BOX 259410 MADISON WI 53725-9410	PWC 0866997004	Road Reconstruction - Asphalt	10.2361 ACRE	\$5,935.49	\$60,756.27		\$60,756.27
4	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.505641 ACRE 0.381759 ACRE	\$5,935.49 \$5,935.49	\$3,001.23 \$2,265.93	\$3,005.00	\$3,001.23 \$2,265.93 D
5	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994002	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.524933 ACRE 1.049867 ACRE	\$5,935.49 \$5,935.49	\$3,115.73 \$6,231.48	\$3,005.00	\$3,005.00 \$6,231.48 D
6	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994004	Road Reconstruction - Asphalt	0.4695 ACRE	\$5,935.49	\$2,786.71	\$3,005.00	\$2,786.71
7	LOURDES ROBLES W226N4374 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0867994005	Road Reconstruction - Asphalt	1.0085 ACRE	\$5,935.49	\$5,985.94	\$3,005.00	\$3,005.00
8	MAPLE CREEK FARMS LLC W225N4226 DUPLAINVILLE RD PEWAUKEE WI 53072-2809	PWC 0867994006	Road Reconstruction - Asphalt	0.5601 ACRE	\$5,935.49	\$3,324.47	\$3,005.00	\$3,005.00
9	CHRISTINE A LINDENSTRUTH N47W22733 WYER RD PEWAUKEE WI 53072	PWC 0867995	Road Reconstruction - Asphalt	0.5333 ACRE	\$5,935.49	\$3,165.40	\$3,005.00	\$3,005.00
10	SCOTT ALLEN BLANEY 3514 E FAIRMOUNT AVE PHOENIX AZ 85018-5111	PWC 0867997	Road Reconstruction - Asphalt	0.6965 ACRE	\$5,935.49	\$4,134.07	\$3,005.00	\$3,005.00
11	THOMAS MUELLER AND MARCIA MUELLER W225N4226 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0867998	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.72 ACRE 1.7009 ACRE	\$5,935.49 \$5,935.49	\$4,273.55 \$10,095.67	\$3,005.00	\$3,005.00 \$10,095.67 D
12	EDWARD A WISTL AND PENNY A WISTL W262N4403 RYAN ST PEWAUKEE WI 53072-1851	PWC 0867998001	Road Reconstruction - Asphalt	1.974 ACRE	\$5,935.49	\$11,716.66		\$11,716.66
13	H& F PROPERTIES LLC 734 RIVER RESERVE DR HARTLAND WI 53029	PWC 0868994	Road Reconstruction - Asphalt Road Reconstruction - Floodplain/wetland Road Reconstruction - Deferred Road Reconstruction - Floodplain/wetland - Deferred	2 ACRE 2 ACRE 31.48 ACRE 85.5629 ACRE	\$5,935.49 \$5,935.49 \$5,935.49 \$5,935.49	\$11,870.98 \$11,870.98 \$186,849.23 \$507,857.74	\$3,005.00 \$951.00	\$3,956.00 \$3,005.00 \$186,849.23 D \$507,857.74 D
14	DEBORAH J DOLLAH W225N4014 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0868995	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 2.1095 ACRE	\$5,935.49 \$5,935.49	\$5,935.49 \$12,520.92	\$3,005.00	\$3,005.00 \$12,520.92 D
15	TYLER MORGAN W2439 HEATHER ST OCONOMOWOC WI 53066	PWC 0868996001	Road Reconstruction - Asphalt Water Service - 1 1/4"	0.8254 ACRE 1 EACH	\$5,935.49 \$5,019.30	\$4,899.15 \$5,019.30	\$3,005.00	\$8,024.30
16	WILLIAM H SCHIEFEN AND CHRISTINE E BETHE W225N4034 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0868996002	Road Reconstruction - Asphalt	1.7473 ACRE	\$5,935.49	\$10,371.08	\$3,005.00	\$3,005.00
17	PETER T MARZO N5833 HWY F SULLIVAN WI 53178	PWC 0868997001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1.117467 ACRE 2.234933 ACRE	\$5,935.49 \$5,935.49	\$6,632.71 \$13,265.42	\$3,005.00	\$3,005.00 \$13,265.42 D

* Residential Property Assessments are capped for Road and Curb Assessments.

D Deferred assessment. Assessment activated by further development (CSM, Plat, or Rezoning, etc.). Actual assessment will be based on development.

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
18	EDWARD E WHALEY AND COLLEEN M KIVELA W223N3725 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909992	Road Reconstruction - Asphalt	0.98 ACRE	\$5,935.49	\$5,816.78	\$3,005.00	\$3,005.00
19	DOUGLAS R & CLARA MAE NETTESHEIM JOINT REV TRUST W223N3757 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909993	Road Reconstruction - Asphalt	0.9505 ACRE	\$5,935.49	\$5,641.68	\$3,005.00	\$3,005.00
20	RICHARD M SACK W223N3775 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909994	Road Reconstruction - Asphalt	1.0634 ACRE	\$5,935.49	\$6,311.80	\$3,005.00	\$3,005.00
21	TIMOTHY S TROTIER AND ANNA H TROTIER W225N3781 LONG VALLEY CT PEWAUKEE WI 53072	PWC 0909995	Road Reconstruction - Asphalt	0.9995 ACRE	\$5,935.49	\$5,932.52	\$3,005.00	\$3,005.00
22	KURT D NETTESHEIM AND KATIE L NETTESHEIM W223N3757 DUPLAINVILLE RD PEWAUKEE WI 53072-2830	PWC 0909999001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 2.5724 ACRE	\$5,935.49 \$5,935.49	\$5,935.49 \$15,268.45	\$3,005.00	\$3,005.00 \$15,268.45 D
23	ALL ONE STORAGE LLC 100 WILMONT DR WAUKESHA WI 53189	PWC 0909999002	Road Reconstruction - Asphalt	1.8637 ACRE	\$5,935.49	\$11,061.97		\$11,061.97
24	RAY & SHIRLEY JACQUES JOINT TRUST DATED MARCH 16, 1999 N62W30661 BEAVER VIEW HARTLAND WI 53029-9222	PWC 0909999003	Road Reconstruction - Asphalt	0.6888 ACRE	\$5,935.49	\$4,088.37		\$4,088.37
25	JAMIE L DAVELER AND ZACHERY R DAVELER W225N3987 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910996	Road Reconstruction - Asphalt	0.9927 ACRE	\$5,935.49	\$5,892.16	\$3,005.00	\$3,005.00
26	JENNIFER ARELLANO AND GARY ARELLANO W225N3967 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910997	Road Reconstruction - Asphalt	1.9598 ACRE	\$5,935.49	\$11,632.37	\$3,005.00	\$3,005.00
27	MICHAEL J GRANDINETTI W225N3945 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910998	Road Reconstruction - Asphalt	1.8465 ACRE	\$5,935.49	\$10,959.88	\$3,005.00	\$3,005.00
28	CHARLES T HANEL W224N3845 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0910999	Road Reconstruction - Asphalt	1.6481 ACRE	\$5,935.49	\$9,782.28	\$3,005.00	\$3,005.00
29	CITY OF PEWAUKEE - SEWER UTILITY W240N3065 PEWAUKEE RD PEWAUKEE WI 53072	PWC 0911988	Road Reconstruction - Concrete	0.167 ACRE	\$15,225.84	\$2,542.72		\$2,542.72
30	QUAD GRAPHICS INC C/O TAX DEPARTMENT N61W23044 HARRYS WAY SUSSEX WI 53089-3995	PWC 0911989	Road Reconstruction - Concrete	11.3638 ACRE	\$15,225.84	\$173,023.40		\$173,023.40
31	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911992	Road Reconstruction - Concrete Water Service - 6"	2.1943 ACRE 1 EACH	\$15,225.84 \$20,072.00	\$33,410.06 \$20,072.00		\$53,482.06
32	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911992001	Road Reconstruction - Concrete Water Service - 1 1/4"	0.8127 ACRE 1 EACH	\$15,225.84 \$5,019.30	\$12,374.04 \$5,019.30		\$17,393.34
33	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911993003	Road Reconstruction - Concrete	0.5528 ACRE	\$15,225.84	\$8,416.84		\$8,416.84
34	CITY OF PEWAUKEE - DPW W240N3065 PEWAUKEE RD PEWAUKEE WI 53072	PWC 0911993006	Water Service - 6"	1 EACH	\$20,072.00	\$20,072.00		\$20,072.00

* Residential Property Assessments are capped for Road and Curb Assessments.

D Deferred assessment. Assessment activated by further development (CSM, Plat, or Rezoning, etc.). Actual assessment will be based on development.

SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
35	DEAN G KATZ W314N5048 STATE ROAD 83 HARTLAND WI 53029-8539	PWC 0912980	Road Reconstruction - Concrete	1.8766 ACRE	\$15,225.84	\$28,572.81		\$28,572.81
36	DUPLAINVILLE LLC 3055 N BROOKFIELD RD BROOKFIELD WI 53045-3336	PWC 0912983	Road Reconstruction - Concrete Road Reconstruction - Concrete - deferred Water Service - 12"	1 ACRE 7.1878 ACRE 1 EACH	\$15,225.84 \$15,225.84 \$15,307.50	\$15,225.84 \$109,440.29 \$15,307.50	\$3,005.00	\$18,312.50 \$109,440.29 D
37	IHNEN PROPERTIES, LLC N59W14464 BOBOLINK AVE MENOMONEE FALLS WI 53051-5957	PWC 0912984	Road Reconstruction - Concrete Road Reconstruction - Concrete - deferred	0.435367 ACRE 0.870733 ACRE	\$15,225.84 \$15,225.84	\$6,628.83 \$13,257.64	\$3,005.00	\$3,005.00 \$13,257.64 D
38	QUAD/GRAPHICS MARKETING LLC C/O TAX DEPARTMENT N61W23044 HARRYS WAY SUSSEX WI 53089-3995	PWC 0912994	Road Reconstruction - Concrete Concrete Curb	9.6806 ACRE 9.6806 ACRE	\$15,225.84 \$1,375.46	\$147,395.27 \$13,315.28		\$160,710.55
39	PEWAUKEE TOOLING & PRODUCTS COMPANY INC W223N3400 DUPLAINVILLE RD PEWAUKEE WI 53072-4100	PWC 0912997	Road Reconstruction - Concrete	0.9884 ACRE	\$15,225.84	\$15,049.22		\$15,049.22
40	NJT DEVELOPMENT of PEWAUKEE LLC PO BOX 470 PEWAUKEE WI 53072	PWC 0914964	Road Reconstruction - Concrete Concrete Curb	2.5295 ACRE 2.5295 ACRE	\$15,225.84 \$1,375.46	\$38,513.76 \$3,479.23		\$41,992.99
41	ZINDALAND, LLC 206 MANDAN DR WAUKESHA WI 53188-4660	PWC 0914981001	Road Reconstruction - Concrete Concrete Curb	1.4075 ACRE 1.4075 ACRE	\$15,225.84 \$1,375.46	\$21,430.37 \$1,935.96		\$23,366.33
42	JAKE T EVANS AND LAUREN M EVANS W226N3045 DUPLAINVILLE RD WAUKESHA WI 53186-1005	PWC 0914984	Road Reconstruction - Concrete Concrete Curb	0.3604 ACRE 0.3604 ACRE	\$15,225.84 \$1,375.46	\$5,487.39 \$495.72	\$3,005.00 \$3,005.00	\$3,500.72
43	CLARENCE GERBIG AND LORRAINE GERBIG W226N3061 DUPLAINVILLE RD WAUKESHA WI 53186	PWC 0914985	Road Reconstruction - Concrete Concrete Curb	0.5566 ACRE 0.5566 ACRE	\$15,225.84 \$1,375.46	\$8,474.70 \$765.58	\$3,005.00 \$3,005.00	\$3,770.58
44	ARRONIN STEEL SALES INC 1008 ANN MARIE WAY OCONOMOWOC WI 53066-2916	PWC 0914997	Road Reconstruction - Concrete Concrete Curb	0.9289 ACRE 0.9289 ACRE	\$15,225.84 \$1,375.46	\$14,143.28 \$1,277.66		\$15,420.94
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - ASPHALT								\$165,491.51
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - CONCRETE								\$506,891.77
TOTAL CONTRIBUTION IN AID OF CURB CONSTRUCTION								\$21,269.43
TOTAL CONTRIBUTION IN AID OF WATER SERVICE CONSTRUCTION								\$65,490.10
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - ASPHALT - Deferred								\$122,697.93
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - CONCRETE - Deferred								\$748,203.53

The properties against which contributions in aid of construction are proposed are benefited and the improvements constitute an exercise in Police Powers

* Residential Property Assessments are capped for Road and Curb Assessments.

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SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
1	FREDERIC G LINDENSTRUTH AND MICHELLE L LINDENSTRUTH W266N4493 DUPLAINVILLE RD PEWAUKEE WI 53072-2823	PWC 0866992008	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 1.4549 ACRE	\$5,944.86 \$5,944.86	\$5,944.86 \$8,649.18	\$3,005.00	\$3,005.00 \$8,649.18 D
2	STEVEN KUNDINGER AND SUSAN BANSKI W227N4537 DUPLAINVILLE RD PEWAUKEE WI 53072-2824	PWC 0866993	Road Reconstruction - Asphalt	0.8204 ACRE	\$5,944.86	\$4,877.16	\$3,005.00	\$3,005.00
3	KD GLASS LLC ATTN: AMY OLSON PO BOX 259410 MADISON WI 53725-9410	PWC 0866997004	Road Reconstruction - Asphalt	10.2361 ACRE	\$5,944.86	\$60,852.18		\$60,852.18
4	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.505641 ACRE 0.381759 ACRE	\$5,944.86 \$5,944.86	\$3,005.96 \$2,269.50	\$3,005.00	\$3,005.00 \$2,269.50 D
5	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994002	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.524933 ACRE 1.049867 ACRE	\$5,944.86 \$5,944.86	\$3,120.65 \$6,241.31	\$3,005.00	\$3,005.00 \$6,241.31 D
6	CHRISTIAN E HANSEN AND MARK HANSEN W383N6450 S WOODLAKE CIR OCONOMOWOC WI 53066-6309	PWC 0867994004	Road Reconstruction - Asphalt	0.4695 ACRE	\$5,944.86	\$2,791.11	\$3,005.00	\$2,791.11
7	LOURDES ROBLES W226N4374 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0867994005	Road Reconstruction - Asphalt	1.0085 ACRE	\$5,944.86	\$5,995.39	\$3,005.00	\$3,005.00
8	MAPLE CREEK FARMS LLC W225N4226 DUPLAINVILLE RD PEWAUKEE WI 53072-2809	PWC 0867994006	Road Reconstruction - Asphalt	0.5601 ACRE	\$5,944.86	\$3,329.72	\$3,005.00	\$3,005.00
9	CHRISTINE A LINDENSTRUTH N47W22733 WYER RD PEWAUKEE WI 53072	PWC 0867995	Road Reconstruction - Asphalt	0.5333 ACRE	\$5,944.86	\$3,170.39	\$3,005.00	\$3,005.00
10	SCOTT ALLEN BLANEY 3514 E FAIRMOUNT AVE PHOENIX AZ 85018-5111	PWC 0867997	Road Reconstruction - Asphalt	0.6965 ACRE	\$5,944.86	\$4,140.59	\$3,005.00	\$3,005.00
11	THOMAS MUELLER AND MARCIA MUELLER W225N4226 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0867998	Road Reconstruction - Asphalt Road Reconstruction - Deferred	0.72 ACRE 1.7009 ACRE	\$5,944.86 \$5,944.86	\$4,280.30 \$10,111.61	\$3,005.00	\$3,005.00 \$10,111.61 D
12	EDWARD A WISTL AND PENNY A WISTL W262N4403 RYAN ST PEWAUKEE WI 53072-1851	PWC 0867998001	Road Reconstruction - Asphalt	1.974 ACRE	\$5,944.86	\$11,735.15		\$11,735.15
13	H& F PROPERTIES LLC 734 RIVER RESERVE DR HARTLAND WI 53029	PWC 0868994	Road Reconstruction - Asphalt Road Reconstruction - Floodplain/wetland Road Reconstruction - Deferred Road Reconstruction - Floodplain/wetland - Deferred	2 ACRE 2 ACRE 31.48 ACRE 85.5629 ACRE	\$5,944.86 \$5,944.86 \$5,944.86 \$5,944.86	\$11,889.72 \$11,889.72 \$187,144.19 \$508,659.46	\$3,005.00 \$951.00	\$3,956.00 \$3,005.00 \$187,144.19 D \$508,659.46 D
14	DEBORAH J DOLLAH W225N4014 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0868995	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 2.1095 ACRE	\$5,944.86 \$5,944.86	\$5,944.86 \$12,540.68	\$3,005.00	\$3,005.00 \$12,540.68 D
15	TYLER MORGAN W2439 HEATHER ST OCONOMOWOC WI 53066	PWC 0868996001	Road Reconstruction - Asphalt Water Service - 1 1/4"	0.8254 ACRE 1 EACH	\$5,944.86 \$10,447.58	\$4,906.89 \$10,447.58	\$3,005.00	\$13,452.58
16	WILLIAM H SCHIEFEN AND CHRISTINE E BETHE W225N4034 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0868996002	Road Reconstruction - Asphalt	1.7473 ACRE	\$5,944.86	\$10,387.45	\$3,005.00	\$3,005.00
17	PETER T MARZO N5833 HWY F SULLIVAN WI 53178	PWC 0868997001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1.117467 ACRE 2.234933 ACRE	\$5,944.86 \$5,944.86	\$6,643.18 \$13,286.36	\$3,005.00	\$3,005.00 \$13,286.36 D

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SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
18	EDWARD E WHALEY AND COLLEEN M KIVELA W223N3725 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909992	Road Reconstruction - Asphalt	0.98 ACRE	\$5,944.86	\$5,825.96	\$3,005.00	\$3,005.00
19	DOUGLAS R & CLARA MAE NETTESHEIM JOINT REV TRUST W223N3757 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909993	Road Reconstruction - Asphalt	0.9505 ACRE	\$5,944.86	\$5,650.59	\$3,005.00	\$3,005.00
20	RICHARD M SACK W223N3775 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0909994	Road Reconstruction - Asphalt	1.0634 ACRE	\$5,944.86	\$6,321.76	\$3,005.00	\$3,005.00
21	TIMOTHY S TROTIER AND ANNA H TROTIER W225N3781 LONG VALLEY CT PEWAUKEE WI 53072	PWC 0909995	Road Reconstruction - Asphalt	0.9995 ACRE	\$5,944.86	\$5,941.89	\$3,005.00	\$3,005.00
22	KURT D NETTESHEIM AND KATIE L NETTESHEIM W223N3757 DUPLAINVILLE RD PEWAUKEE WI 53072-2830	PWC 0909999001	Road Reconstruction - Asphalt Road Reconstruction - Deferred	1 ACRE 2.5724 ACRE	\$5,944.86 \$5,944.86	\$5,944.86 \$15,292.56	\$3,005.00	\$3,005.00 \$15,292.56 D
23	ALL ONE STORAGE LLC 100 WILMONT DR WAUKESHA WI 53189	PWC 0909999002	Road Reconstruction - Asphalt	1.8637 ACRE	\$5,944.86	\$11,079.44		\$11,079.44
24	RAY & SHIRLEY JACQUES JOINT TRUST DATED MARCH 16, 1999 N62W30661 BEAVER VIEW HARTLAND WI 53029-9222	PWC 0909999003	Road Reconstruction - Asphalt	0.6888 ACRE	\$5,944.86	\$4,094.82		\$4,094.82
25	JAMIE L DAVELER AND ZACHERY R DAVELER W225N3987 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910996	Road Reconstruction - Asphalt	0.9927 ACRE	\$5,944.86	\$5,901.46	\$3,005.00	\$3,005.00
26	JENNIFER ARELLANO AND GARY ARELLANO W225N3967 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910997	Road Reconstruction - Asphalt	1.9598 ACRE	\$5,944.86	\$11,650.74	\$3,005.00	\$3,005.00
27	MICHAEL J GRANDINETTI W225N3945 DUPLAINVILLE RD PEWAUKEE WI 53072-2817	PWC 0910998	Road Reconstruction - Asphalt	1.8465 ACRE	\$5,944.86	\$10,977.18	\$3,005.00	\$3,005.00
28	CHARLES T HANEL W224N3845 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0910999	Road Reconstruction - Asphalt	1.6481 ACRE	\$5,944.86	\$9,797.72	\$3,005.00	\$3,005.00
29	CITY OF PEWAUKEE - SEWER UTILITY W240N3065 PEWAUKEE RD PEWAUKEE WI 53072	PWC 0911988	Road Reconstruction - Concrete	0.167 ACRE	\$15,225.84	\$2,542.72		\$2,542.72
30	QUAD GRAPHICS INC C/O TAX DEPARTMENT N61W23044 HARRYS WAY SUSSEX WI 53089-3995	PWC 0911989	Road Reconstruction - Concrete	11.3638 ACRE	\$15,225.84	\$173,023.40		\$173,023.40
31	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911992	Road Reconstruction - Concrete Water Service - 6"	2.1943 ACRE 1 EACH	\$15,225.84 \$20,072.00	\$33,410.06 \$20,072.00		\$53,482.06
32	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911992001	Road Reconstruction - Concrete Water Service - 1 1/4"	0.8127 ACRE 1 EACH	\$15,225.84 \$10,447.58	\$12,374.04 \$10,447.58		\$22,821.62
33	SALVADORE BALISTRERI AND TED BALISTRERI W225N3178 DUPLAINVILLE RD PEWAUKEE WI 53072	PWC 0911993003	Road Reconstruction - Concrete	0.5528 ACRE	\$15,225.84	\$8,416.84		\$8,416.84
34	CITY OF PEWAUKEE - DPW W240N3065 PEWAUKEE RD PEWAUKEE WI 53072	PWC 0911993006	Water Service - 6"	1 EACH	\$20,072.00	\$20,072.00		\$20,072.00

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SCHEDULE C
PRELIMINARY ASSESSMENT ROLL
DUPLAINVILLE ROAD 2022 RECONSTRUCTION
RD-22-57420

NO.	OWNER'S NAME AND ADDRESS	TAX KEY NO.	DESCRIPTION	UNIT	COST/UNIT	ASSESSMENT	ASSESSMENT CAP*	TOTAL ASSESSMENT
35	DEAN G KATZ W314N5048 STATE ROAD 83 HARTLAND WI 53029-8539	PWC 0912980	Road Reconstruction - Concrete	1.8766 ACRE	\$15,225.84	\$28,572.81		\$28,572.81
36	DUPLAINVILLE LLC 3055 N BROOKFIELD RD BROOKFIELD WI 53045-3336	PWC 0912983	Road Reconstruction - Concrete Road Reconstruction - Concrete - deferred Water Service - 12"	1 ACRE 7.1878 ACRE 1 EACH	\$15,225.84 \$15,225.84 \$20,485.97	\$15,225.84 \$109,440.29 \$20,485.97	\$3,005.00	\$23,490.97 \$109,440.29 D
37	IHNEN PROPERTIES, LLC N59W14464 BOBOLINK AVE MENOMONEE FALLS WI 53051-5957	PWC 0912984	Road Reconstruction - Concrete Road Reconstruction - Concrete - deferred	0.435367 ACRE 0.870733 ACRE	\$15,225.84 \$15,225.84	\$6,628.83 \$13,257.64	\$3,005.00	\$3,005.00 \$13,257.64 D
38	QUAD/GRAPHICS MARKETING LLC C/O TAX DEPARTMENT N61W23044 HARRYS WAY SUSSEX WI 53089-3995	PWC 0912994	Road Reconstruction - Concrete Concrete Curb	9.6806 ACRE 9.6806 ACRE	\$15,225.84 \$1,438.19	\$147,395.27 \$13,922.54		\$161,317.81
39	PEWAUKEE TOOLING & PRODUCTS COMPANY INC W223N3400 DUPLAINVILLE RD PEWAUKEE WI 53072-4100	PWC 0912997	Road Reconstruction - Concrete	0.9884 ACRE	\$15,225.84	\$15,049.22		\$15,049.22
40	NJT DEVELOPMENT of PEWAUKEE LLC PO BOX 470 PEWAUKEE WI 53072	PWC 0914964	Road Reconstruction - Concrete Concrete Curb	2.5295 ACRE 2.5295 ACRE	\$15,225.84 \$1,438.19	\$38,513.76 \$3,637.90		\$42,151.66
41	ZINDALAND, LLC 206 MANDAN DR WAUKESHA WI 53188-4660	PWC 0914981001	Road Reconstruction - Concrete Concrete Curb	1.4075 ACRE 1.4075 ACRE	\$15,225.84 \$1,438.19	\$21,430.37 \$2,024.25		\$23,454.62
42	JAKE T EVANS AND LAUREN M EVANS W226N3045 DUPLAINVILLE RD WAUKESHA WI 53186-1005	PWC 0914984	Road Reconstruction - Concrete Concrete Curb	0.3604 ACRE 0.3604 ACRE	\$15,225.84 \$1,438.19	\$5,487.39 \$518.32	\$3,005.00 \$3,005.00	\$3,523.32
43	CLARENCE GERBIG AND LORRAINE GERBIG W226N3061 DUPLAINVILLE RD WAUKESHA WI 53186	PWC 0914985	Road Reconstruction - Concrete Concrete Curb	0.5566 ACRE 0.5566 ACRE	\$15,225.84 \$1,438.19	\$8,474.70 \$800.50	\$3,005.00 \$3,005.00	\$3,805.50
44	ARRONIN STEEL SALES INC 1008 ANN MARIE WAY OCONOMOWOC WI 53066-2916	PWC 0914997	Road Reconstruction - Concrete Concrete Curb	0.9289 ACRE 0.9289 ACRE	\$15,225.84 \$1,438.19	\$14,143.28 \$1,335.93		\$15,479.21
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - ASPHALT								\$171,066.28
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - CONCRETE								\$506,891.77
TOTAL CONTRIBUTION IN AID OF CURB CONSTRUCTION								\$22,239.44
TOTAL CONTRIBUTION IN AID OF WATER SERVICE CONSTRUCTION								\$81,525.13
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - ASPHALT - Deferred								\$122,697.93
TOTAL CONTRIBUTION IN AID OF ROAD RECONSTRUCTION - CONCRETE - Deferred								\$749,384.67

The properties against which contributions in aid of construction are proposed are benefited and the improvements constitute an exercise in Police Powers

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**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 5.**

DATE: May 2, 2022

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding **Ordinance 22-08** Related to Text Amendments to Section 17.0416 of the Rm-3 Multi-Family Zoning District of the City of Pewaukee Zoning Ordinance [Fuchs]

BACKGROUND:

FINANCIAL IMPACT:

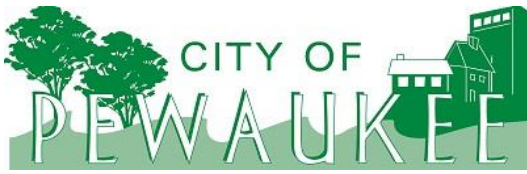
RECOMMENDED MOTION:

ATTACHMENTS:

Description

Rm-3 District Amendments staff report

Rm-3 District Amendments



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of April 21, 2022

Date: April 11, 2022

Project Name: Rm-3 District Amendments

Project Address/Tax Key No.: City-wide

Applicant: City of Pewaukee

Project Description

The Rm-3 District amendments attached and described below are being brought forward in part to accommodate a proposed multi-family development within the Ridgeview Corporate Park, a potential senior living facility upon property located at the northwest corner of Meadowood Road and Golf Road, and as recommended by City staff as needed revisions.

The tracked change version includes the following:

- allowing buildings to contain more than 40 dwelling units;
- reducing the minimum PUD development area to 10 acres;
- allowing the maximum net density to be increased;
- allowing more than 40 dwelling units within an individual building and reducing the minimum parking spaces required for Housing for the Elderly or Assisted Living Housing units; and
- revising parking standards for multifamily developments to a suggested minimum.

Staff has no objections and supports these proposed changes.

Staff would further note that the City will continue to determine the appropriateness to rezone any property to Rm-3, so staff does not find that reducing the minimum PUD size to 10-acres will have any negative impacts. Arguably, it adds flexibility for the City to consider more cluster type housing developments.

Regarding parking requirements, the current standards for multi-family and senior living facilities produces a high number of parking spaces that exceeds the actual parking demand. It is not beneficial for the City to have unneeded parking as it occupies space that could be used for building(s), which provide a greater value to the City or reduces greenspace and negatively affects the aesthetics of a development.

Regardless of these potential multi-family and senior living developments, it is anticipated that similar changes will be brought forward by staff as part of the zoning code rewrite project. Moreover, parking standards for all other uses per Section 17.0600 are guides only and not required. Outside of the multi-family residential districts, the zoning code already allows the Plan Commission to ultimately determine the quantity of parking needed for any development or use. Eliminating parking minimums has been generally supported within planning and zoning best practices.

Recommendation

Staff recommends approval of the proposed text amendments to the Rm-3 District.

17.0416 Rm-3, MULTIPLE-FAMILY RESIDENTIAL DISTRICT

The Rm-3, Multi-Family Residential District is intended to provide for multiple-family residential development at densities not exceeding 12.00 dwelling units per net acre and served by municipal sewer and water facilities.

a. Permitted Principal Uses

- (1) Three to eight unit multiple-family structure(s) with one 2-car attached or detached garage per unit as defined in Section 17.1402.
- (2) Foster homes and community living arrangements as set forth in Wisconsin Statutes.

b. Permitted Accessory Uses

- (1) A yard maintenance equipment structure not exceeding a total of 192 square feet in area and compatible in design and exterior material with the principal structure. (Also see Section 17.0700).

c. Conditional Uses (See Section 17.0500)

- (1) Residential planned unit development (PUD) such as cluster developments, townhouses, and condominiums ~~with no individual building containing more than 40 dwelling units~~. The district lot size and frontage and yard requirements may be varied provided that adequate open space shall be provided so that the average intensity and density of land use shall be no greater than that permitted for the district. The proper preservation, care, and maintenance by the original and all subsequent owners of the exterior design and all common structures, facilities, utilities, access and open spaces shall be assured by deed, plat restrictions, and/or condominium declaration enforceable by the City. All PUD's shall comply with the following minimum standards:

(a) The minimum PUD development area shall be ~~25~~ 10 acres.

~~(b)~~ (b) The maximum net density may be increased by no more than 10 percent.

~~(b)~~ (c) The minimum PUD lot or space area shall not be less than 0.17 acre with not less than 2,420 square feet per dwelling unit.

~~(c)~~ (d) The minimum average PUD lot or space width shall be 110 feet per detached three to eight unit structure and 20 feet for each unit of a townhouse or attached condominium complex.

~~(d)~~ (e) The minimum PUD building height and size shall be the same as required for permitted principal uses, however, the yard requirements as set forth in "f"1 and 3 below may be reduced by 30 percent.

~~(e)~~ (f) No detached structure shall be located closer than 40 feet to another structure within the development. Yards adjacent to exterior property lines shall not be less than those required for permitted principal uses.

- (2) Housing for the Elderly or Assisted Living Housing units, provided that each such housing structure complies with the following standards:

(a) The minimum development area shall be three (3) acres.

(b) The minimum lot area shall be one (1) acre.

(c) The minimum net lot area per dwelling unit shall be 2,420 square feet.

~~(d) The maximum number of dwelling units in an individual building shall not exceed 40.~~

~~(e)~~ (d) The minimum average lot width shall be 150 feet.

~~(f)~~ (e) No dwelling unit shall have more than two (2) bedrooms.

~~(g)~~(f) The minimum total floor area for each dwelling unit shall be 250 square feet for efficiency units, 400 square feet for one (1) bedroom units, and 550 square feet for two (2) bedroom units.

~~(h)(g)~~ There shall be a minimum of ~~two-one~~ (21) paved off-street parking spaces provided for each dwelling unit or as determined practical by the Plan Commission, ~~of which one shall be inside a garage as defined in Sec 17.1402.~~

~~(h)(h)~~ All regulations of this district shall be complied with.

d. Lot Area and Width

- (1) Lots shall have minimum area of 0.25 acres, with not less than 3,630 square feet per dwelling unit.
- (2) Lots shall have a width of not less than 150 feet at the building setback line.

e. Building Height and Size (See subsection 17.0210)

- (1) No principal building or parts of a principal building shall exceed 35 feet in height.
- (2) No accessory building shall exceed 18 feet in height.
- (3) The minimum floor area of a principal structure shall be as follows:

Number of Bedrooms Per Dwelling Unit	Minimum Total Floor Area per Dwelling Unit	Minimum Total Floor Area per Structure
Efficiency	350 square feet	1,050 square feet
One	525 square feet	1,575 square feet
Two	650 square feet	1,950 square feet
Three or more	750 square feet	2,250 square feet
Four or More	850 square feet	2,550 square feet

No bedroom shall be less than 100 square feet in area exclusive of closets.

- (4) The sum total of the first floor area of the principal and all accessory buildings shall not exceed 25 percent of the developable lot area.

f. Setback and Yards

- (1) There shall be a minimum building (or street) setback of 35 feet from the street right-of-way.
- (2) There shall be a side yard on each side of all structures not less than 30 feet in width.
- (3) There shall be a rear yard of not less than 35 feet.
- (4) There shall be a minimum building setback of 75 feet from the designated 100 year recurrence interval (base flood) floodplain of all navigable streams and bodies of water and 25 feet from any designated wetland.
(Also see sub-section 17.0435)

g. Suggested Minimum Parking Space

~~There shall be a minimum of Onetwo~~ and one-half (21-1/2) off-street parking spaces provided for each ~~residential unit~~ efficiency, one-bedroom, or two-bedroom units and two and one-half (2-1/2) off-street parking spaces provided for each three or more-bedroom units or as determined practical by the Plan Commission., ~~of which at least two (2) must be located in a garage as defined in Section 17.1402 per unit. (Also see Section 17.0600)~~

h. Minimum Utility Service

Electricity and public sanitary sewerage and water supply facilities.

i. Special Regulations

Every builder of any building hereafter erected or structurally altered for multiple-family use shall, before a Building and/or Zoning permit is issued, present detailed plans and specifications of the proposed site and structure to the City Plan Commission, which will approve said plans only after determining that the proposed building will not impair an adequate supply light and air to adjacent property or substantially increase the danger of fire or traffic congestion or otherwise ~~endanger~~ impair the public health or safety or substantially

diminish or impair property values within the neighborhood. (Also see Section 17.0210)

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 6.**

DATE: May 2, 2022

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

PUBLIC HEARING, Discussion and Possible Action Regarding the Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Over the Top Roofing for Property Located at W223 N3481 Duplainville Road (PWC 0912-984) from Medium Density Residential (6,500 square feet – 1/2 acre per dwelling unit) to Retail/Service Commercial [Fuchs]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Over the Top Roofing narrative

Over the Top Roofing staff report 4.21.22

Resolution 22-05-13

Ordinance 22-09

OVER THE TOP ROOFING & CONSTRUCTION REZONING REQUEST FROM RS-1 TO B-3

W223N3481 Duplainville Rd Pewaukee, WI 53072

OVERVIEW

Over The Top Roofing & Construction would like to request the above listed property to be rezoned from an RS-1 Single Family Residential District to a B-3 General Business District.

The Objective

- We plan to restore the current structure as close to its original state with upgraded curb appeal to showcase our construction building capabilities. We would then use the structure for our office.
(Picture 1 New proposal & Picture 2 Original home)
- We plan to build a barn for storing our equipment and materials out of site, similar in appearance to the barns across the street (Picture 3) with a dimension of 60x100. proposed location shown (Picture 4)

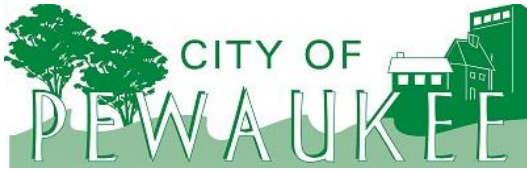
Rationale

- Relocate our business of over 25 years from Menomonee Falls to Pewaukee to be closer to home for all of our employees.
- Increase the current value of the property by investing over \$200,000 in the current structure's renovation and building an astatically pleasing barn valued at \$200,000.
- Keep as much of the natural charm and nostalgia of the property while converting the use to satisfy the needs of roofing and construction business in safe location.

Timeline for Execution

Key project dates are outlined below. Date are best-guess estimates and are subject to change pending rezoning approval.

Description	Start Date	End Date	Duration
Project Start	Upon approval	5/31/2022	60 days
Milestone 1	Renovation of structure		
Milestone 2	Inspections of structure		
Phase 1 Complete	5/31/2022	12/31/22	6 months
Phases 2 Starting Barn Build	5/31/2022		
Milestone 1	Inspections of new barn		
Phase 2 Complete		12/31/22	



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of April 21, 2022

Date: April 13, 2022

Project Name: Over the Top Roofing Rezoning, Comprehensive Master Plan Amendment, Conditional Use Permit, and Site & Building Plan Review

Project Address/Tax Key No.: W223 N3481 Duplainville Rd./PWC 0912984

Applicant: Nicole Tate, Over the Top Roofing

Property Owner: Ihnen Properties LLC

Current Zoning: Rs-1 Single Family Residential District

2050 Land Use Map Designation: Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.)

Use of Surrounding Properties: Rs-1 to the west and south, Duplainville Road and M-1 to the east, and Capitol Drive and Rd-2 to the north.

Project Description

The applicant filed several applications to accommodate a proposed office use for a construction services business for property located at W223N3481 Duplainville Road. The applications under review include:

- A **Comprehensive Master Plan Amendment Application** requesting to amend the future land use designation on the City's Year 2050 Future Land Use / Transportation Plan map from Medium Density Residential to Retail/Service Commercial.
- A **Rezoning Application** requesting to change the zoning from Rs-1 Single-Family Residential District to B-3 General Business District.
- A **Conditional Use Permit Application** to allow the office and construction services use within the B-3 District.
- A **Site & Building Plan Review Application** to allow the proposed site improvements as described below and depicted upon the attached development plans.

B-3 District

The proposed office and construction services use requires a Conditional Use Permit under the B-3 General Business District. The B-3 District allows Permitted and Conditional Uses as allowed within the B-4 District, which includes:

(1) Office uses similar in character to the above permitted residential compatible uses and conducted as a business on the premises and catering to the general public.

The B-3 District also allows construction services as a Conditional Use as noted below.

(7) Construction services including general building contractors; carpentering services; masonry, stonework, tile setting and plastering services; roofing and sheet metal services, experimental testing and research laboratories, provided all principal structures and uses are not less than 100 feet from residential uses and any outside storage is screened from view.

The existing structure is approximately 85-feet from the west property line, which abuts a single-family residential property. With the proposed attached garage, the structure is about 55-feet from that property line. However, the existing house will be utilized exclusively for office use, which is allowed under the B-3 District as indicated above. As such, the structure and proposed addition do not have any setback encroachments. *It is recommended that the existing structure and additions be exclusively used as an office use or accessory to the office use.*

It can be further noted that with the proposed garage, the structure will be about 130 feet from the nearest residential structure on the adjacent parcel to the west.

Site Plan

The subject property is located at the corner of Capitol Drive and Duplainville Road. The site currently contains a single-family home that has been unoccupied for some time and needs significant repairs. The lot is approximately 1.3061 acres.

The site plan includes restoring the existing building and adding on a 30' x 35' (1,050 square foot) attached garage to the west side of the building and an enclosed 14' x 14' (196 square foot) porch to the south side of the building.

The existing drive would remain, and asphalt will be added in front of the new garage. The applicant has indicated that there is limited or no customer traffic to the site and employees will park within the garage space or in front of the garage. It is anticipated that three employees will work out of this facility.

Staff recommends that the existing drive be paved in accordance with Section 17.0601c. of the Zoning Code, prior to issuance of an Occupancy Permit.

Staff also recommends that at least two parking spaces, a minimum of 180 square foot, shall be paved adjacent to the drive and proposed walkway that leads to the building. This will provide at least some parking in case there is ever a need for a customer or client to come to the building.

The site has an existing ingress/egress from Duplainville Road. The driveway then extends west through the property and into the adjacent single-family property to the west and exits onto Capitol Drive. Staff was not able to find any existing easement for this cross-access.

Land disturbance is anticipated to be less than 1 acre with total disturbance of about 0.68 acres. Staff recommends Engineering Department review and approval of final grading, erosion control and storm water management plans, as required, prior to any land disturbance activities.

Due to the nature of the applicant's business, staff also recommends that no outdoor storage be allowed on the property.

The applicant is not proposing any lighting or landscaping at this time. There are existing mature trees on the property. Staff recommends that a Landscape Plan be provided, for Planning staff review and approval, that includes evergreen trees along the west property line abutting the single-family use, prior to issuance of a Building Permit.

Architecture

The building will be restored with a faux stone veneer, new windows and a metal roof. The garage addition consists of a decorative overhead door and barn board siding.

No signage has been proposed at this time. Signs will be subject to separate review and approval of a Sign Permit and the requirements of Section 17.0700.

Recommendation

Staff recommends approval of the Comprehensive Master Plan Amendment, Rezoning, Conditional Use and Site & Building Plans, subject to the conditions contained within this report.

RESOLUTION NO. 22-05-13

A RESOLUTION RECOMMENDING THE ADOPTION OF AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE/TRANSPORTATION PLAN OF A PROPERTY LOCATED AT W223N3481 DUPLAINVILLE ROAD (TAX KEY NO. PWC 0912-984) FROM MEDIUM DENSITY RESIDENTIAL (6,500 SQUARE FEET – 1/2 ACRE PER DWELLING UNIT) TO RETAIL/SERVICE COMMERCIAL, PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, The City of Pewaukee has applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a property located at W223N3481 Duplainville Road from Medium Density Residential (6,500 Sq. Ft. – 1/2 Acre Per Dwelling Unit) to Retail/Service Commercial, more particularly described as follows:

Being part of the Southeast one-quarter of Section 12, Town 7 North, Range 19 East, Town of Pewaukee, Waukesha County, Wisconsin, bounded and described as follows, to-wit: Commencing at the South one-quarter corner of said section; thence North 1°01'22" East along the North-South one-quarter line 2606.80 feet to a point on the Southerly line of S.T.H. "190"; thence North 84°37'43" East along said Southerly line 411.66 feet; thence South 87°42'01" East along said Southerly line 132.78 feet to the point of beginning of the lands herein described; thence continuing South 87°42'01" East along said Southerly line 203.89 feet; thence South 1°05'51" East 25.66 feet; thence North 88°54'09" East 5.00 feet to a point on the West line of Duplainville Road; thence South 1°05'51" East along said West line 147.00 feet; thence South 15°49'13" West along said West line 104.23 feet; thence North 87°35'51" West 195.23 feet; thence North 2°24'09" East 273.05 to the point of beginning and containing 1.324 acres of land more or less.

WHEREAS, the Plan Commission having determined that the proposed amendment in form and content as presented to the Commission on April 21, 2022, is consistent with the Comprehensive Master Plan's goals, objectives and policies and in proper

form and content for adoption by the Common Council as an amendment to the Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Pewaukee.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Pewaukee, Wisconsin, that the application for and the proposed ordinance to amend the City of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a property located at W223N3481 Duplainville Road from Medium Density Residential (6,500 Sq. Ft. – 1/2 Acre Per Dwelling Unit) to Retail/Service Commercial, such property bearing Tax Key No. PWC 0912-984, be and the same is hereby recommended for adoption and incorporation into the Comprehensive Master Plan by the Common Council.:

Passed and adopted this 21st day of April, 2022.

FOR THE PLAN COMMISSION OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

ORDINANCE NO. 22-09

AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE/TRANSPORTATION PLAN OF A PROPERTY LOCATED AT W223N3481 DUPLAINVILLE ROAD (TAX KEY NO. 0912984) FROM MEDIUM DENSITY RESIDENTIAL (6,500 SQ. FT. – 1/2 ACRE PER DWELLING UNIT) TO RETAIL/SERVICE COMMERCIAL

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, The City of Pewaukee has applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a property located at W223N3481 Duplainville Road from Medium Density Residential (6,500 Sq. Ft. – 1/2 Acre Per Dwelling Unit) to Retail/Service Commercial; and

WHEREAS, the Plan Commission of the City of Pewaukee by a majority vote of the entire Commission on April 21, 2022, recorded in its minutes, has adopted a resolution recommending to the Common Council the adoption of the Ordinance to Amend the City of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a property located at W223N3481 Duplainville Road (Tax Key No. 0912-984) from Medium Density Residential (6,500 Sq. Ft. – 1/2 Acre Per Dwelling Unit) to Retail/Service Commercial; and

WHEREAS, the City of Pewaukee held a public hearing upon this proposed Ordinance, in compliance with the requirements of Wis. Stat. § 66.1001(4)(d); the Common Council having received input from the public at a duly noticed public hearing on May 2, 2022; and

NOW THEREFORE, the Mayor and Common Council of the City of Pewaukee, Wisconsin, do ordain as follows:

SECTION 1: Adoption

The City of Pewaukee Comprehensive Master Plan is hereby amended to change the Year 2050 Land Use/Transportation Plan of a property located at W223N3481 Duplainville Road (Tax Key No. 0912-984) from Medium Density Residential (6,500 Sq. Ft. – 1/2 Acre Per Dwelling Unit) to Retail/Service Commercial.

SECTION 2: Document Transmittal

The City Common Council hereby directs the City Clerk/Treasurer to transmit a copy of the amendment as well as a signed copy of both the Resolution No. PC 22-05-13 and this Ordinance No. 22-09 to the Wisconsin Department of Administration, the Southeastern Wisconsin Regional Planning Commission, the Waukesha Park and Land Use Department, the Pewaukee Public Library and to each town, village and city that abuts the City of Pewaukee.

SECTION 3: Severability

The several sections and portions of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of all other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

SECTION 4: Effective Date

This ordinance shall take effect immediately upon passage and posting of publication as provided by law.

Passed and adopted this 2nd day of May, 2022.

FOR THE COMMON COUNCIL OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 7.**

DATE: May 2, 2022

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Possible Action Regarding **Ordinance 22-10** Rezoning the Property Located at W223 N3481 Duplainville Road (PWC 0912-984) from Rs-1 Single-Family Residential to B-3 General Business as Requested by Over the Top Roofing [Fuchs]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Over the Top Roofing rezoning map

Ordinance 22-10

Rd-2

DUPLAINVILLE
ROAD

M-1

M-1



1" = 100'

I-1

CAPITOL DRIVE S.T.H. "190"

Rs-1

Rs-1

M-1

I-2

WISCONSIN CENTRAL LTD. RR.

REZONE FROM
Rs-1 TO B-3

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

ORDINANCE 22-10

**TO AMEND THE ZONING MAP OF
THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN**

The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Zoning Map of the City of Pewaukee, Wisconsin is hereby amended to change the zoning classification of the property described below as follows:

FROM: **RS-1 Single-Family Residential**
TO: **B-3 General Business**

SECTION 1 - DESCRIPTION

Certified Survey 1295 Volume 8/313 1.324 Acres AC PT Southeast ¼ Section 12 T7N R19E
DOC # 3408820

Tax Key Number: PWC 0912-984

Property Address: W223 N3481 Duplainville Road

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: constructing a commercial office and pole building for equipment storage for a roofing and construction company.

SECTION 2 –SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Ordinance.

SECTION 3 - ACTION

This Ordinance shall take effect upon passage and posting.

Dated this 2nd day of May, 2022.

COMMON COUNCIL OF THE CITY OF PEWAUKEE

WAUKESHA COUNTY, WISCONSIN

Attest:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 8.**

DATE: May 2, 2022

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

PUBLIC HEARING, Discussion and Possible Action Regarding a Conditional Use Permit for Over the Top Roofing for Property Located at W223 N3481 Duplainville Road (PWC 0912-984) [Fuchs]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Over the Top Roofing draft conditional use permit

Over the Top Roofing site & building plans

**A COVENANT
REGARDING THE ISSUANCE OF A
CONDITIONAL USE PERMIT
BY THE
CITY OF PEWAUKEE**

**TAX KEY NUMBER(S)
OR PARCEL(S) INVOLVED:** **CONDITIONAL USE
PERMIT:
NO. CUP-22-4-1**

PWC 0912984

LEGAL DESCRIPTION:

PARCEL 2 CERT SURV 9334 VOL 84/348 REC AS DOC# 2771218
PT NE1/4 SEC 23 T7N R19E :: DOC# 2600024

**PERSON(S), AGENT(S) OR CORPORATION(S) PETITIONING
FOR PERMIT:**

Over the Top Roofing

Recording area

Name & Return Address

City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072

WHEREAS, It is understood by all parties to this covenant that Section 62.23 of WIS. Statutes prescribes the legal basis for the granting of a conditional use permit by a City and Chapter 17 of the City Codes and Ordinances provides for the issuance of such permits as well as the standards by which all such uses will be measured; and,

WHEREAS, The City Plan Commission has held a meeting on April 21, 2022; has reviewed the various elements of the petitioner's proposal; and has recommended that a Conditional Use Permit be granted to the above-named petitioner for the property/parcel identified above; and,

WHEREAS, The City Common Council held a public hearing meeting on May 2, 2022.

NOW, THEREFORE, let it be known that the City Common Council, by its action on May 2, 2022 has, hereby, granted a Conditional Use Permit for the following use(s):

Construction of a commercial office and pole building for equipment storage for a
roofing and construction company.

FURTHER, such approved use of the above designated parcel(s) are hereby allowed based on the following conditions being continually met:

1. The existing structure and additions shall be exclusively used as an office use or accessory to the office use.
2. The existing drive shall be paved in accordance with Section 17.0601c. of the Zoning Code, prior to issuance of an Occupancy Permit.
3. At least two parking spaces, a minimum of 180 square feet, shall be paved adjacent to the drive and proposed walkway that leads to the building.
4. Engineering Department review and approval of final grading, erosion control and storm water management plans is required prior to any land disturbance activities.
5. No outdoor storage will be allowed on the property.
6. A Landscape Plan shall be provided, for Planning staff review and approval, that includes evergreen trees along the west property line abutting the single-family use, prior to issuance of a Building Permit.

The parties hereto, namely the City of Pewaukee and the Equitable Owner of the property for which this conditional use has been sought, set their signatures or the signatures of their representatives below, thereby agreeing to the provisions and conditions set forth in this covenant.

Attest:

Signature of equitable owner

Date

Kelly Tarczewski
City Clerk

Steve Bierce
Mayor, City of Pewaukee

Date

State of Wisconsin
County of Waukesha

Signed or attested before me on _____, 2022 by Steve Bierce, Mayor and Kelly Tarczewski, Clerk.

(Seal)

Ami Hurd
My Commission expires _____

This instrument was drafted by Ami Hurd, Deputy Clerk



EXISTING EAST ELEVATION

1/4" = 1'-0"

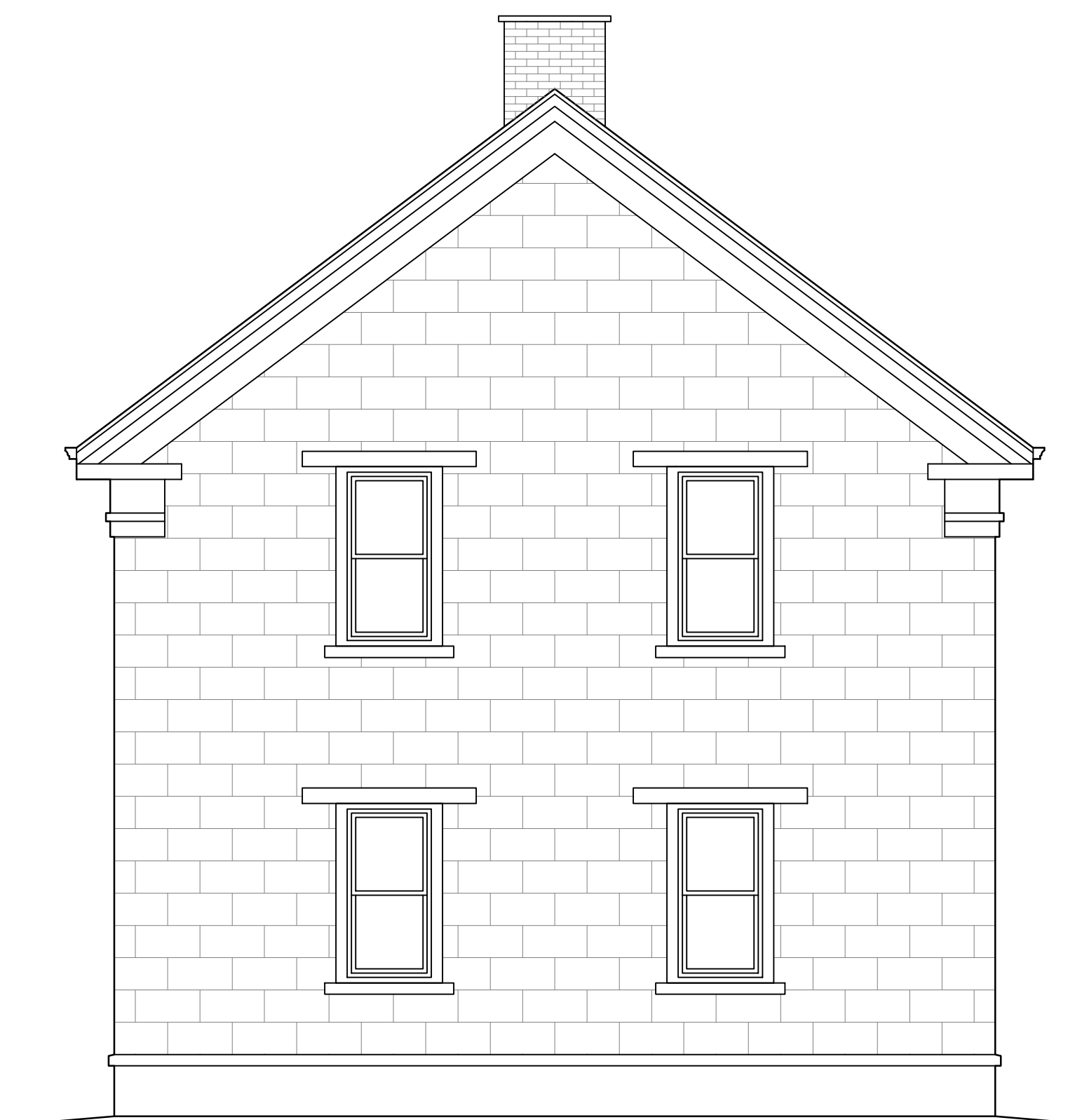
1



PROPOSED EAST ELEVATION

1/4" = 1'-0"

2



EXISTING NORTH ELEVATION

1/4" = 1'-0"

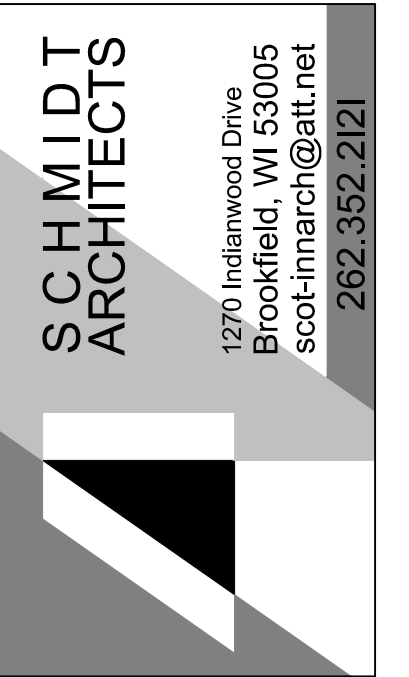
3



PROPOSED NORTH ELEVATION

1/4" = 1'-0"

△



CONSULTANT

PROJECT NAME
OVER THE TOP
ROOFING

PROJECT ADDRESS
W223N3481
Duplainville Road
Pewaukee, WI 53072

REVISIONS

[illegible]

SCHMIDT ARCHITECTS
PROJECT NUMBER
2022-07

DATE
April 08, 2022

COPYRIGHT ©
SCHMIDT ARCHITECTS

SHEET TITLE

SHEET NUMBER

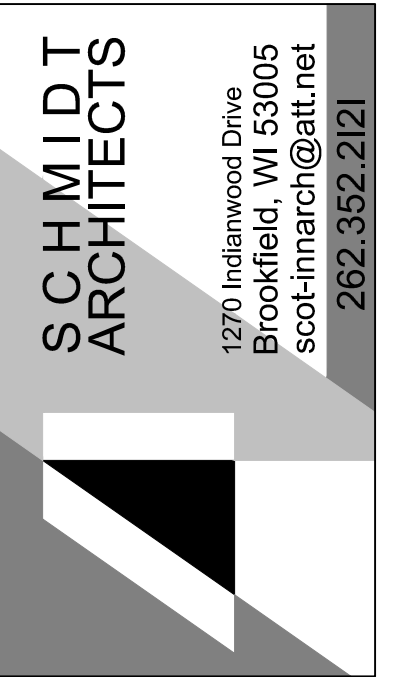
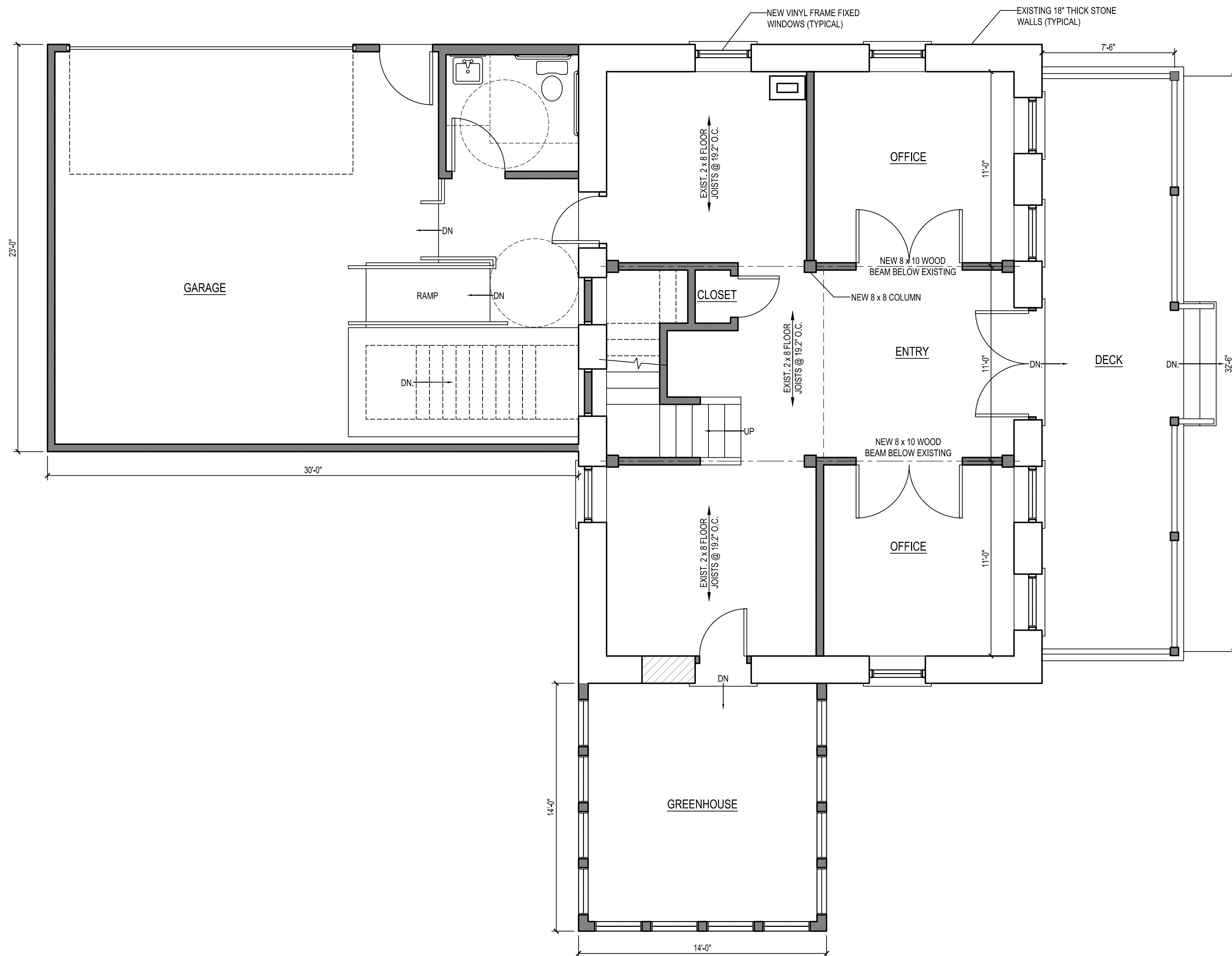
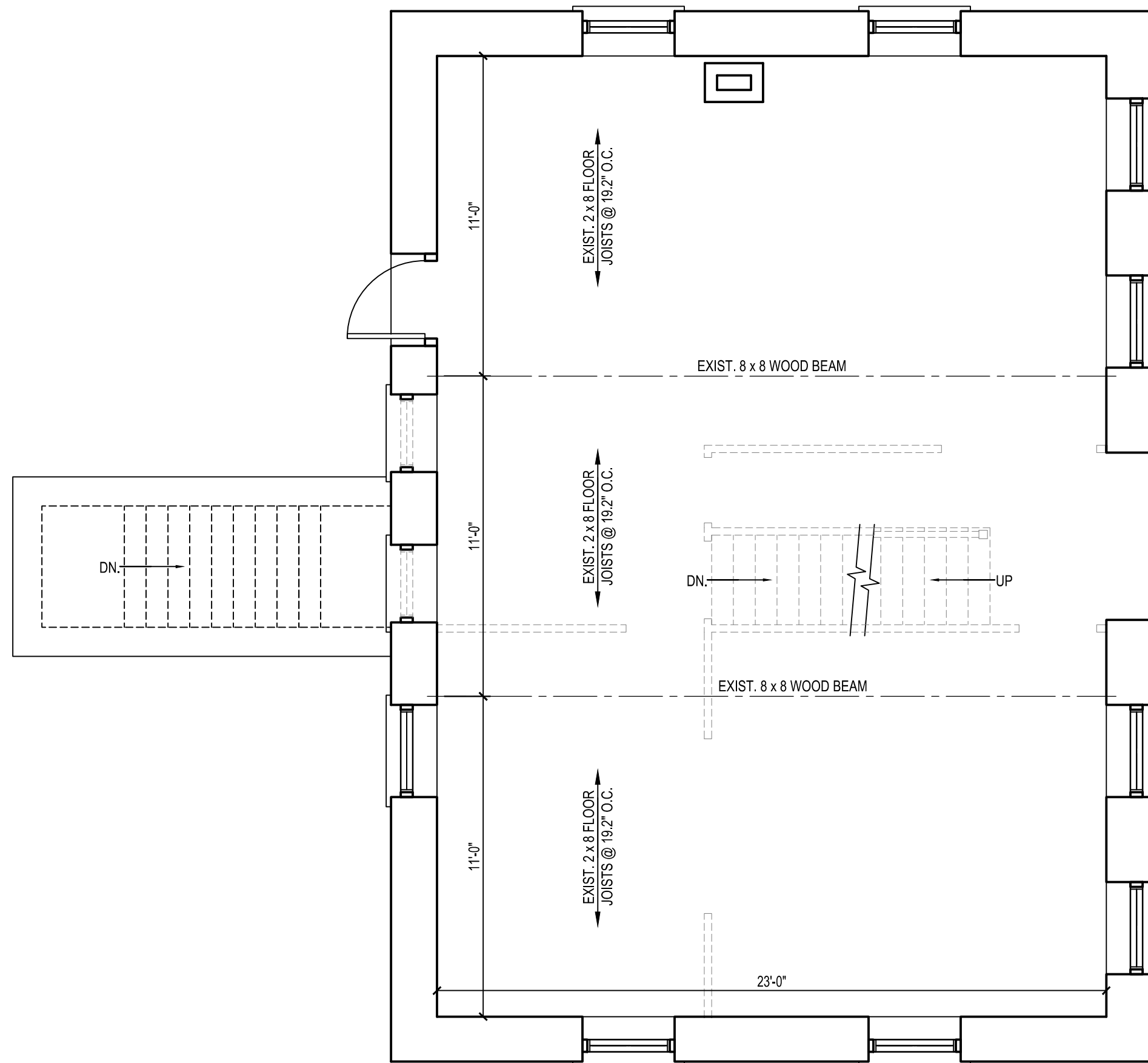
A2.1

GENERAL NOTES:

1. SUB-CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
2. ALL WORK OF THE SUB-CONTRACTOR SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS, AND FEDERAL JURISDICTION INCLUDING THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
3. THE SUB-CONTRACTOR SHALL REPORT IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS, TO THE ARCHITECT.
4. DO NOT SCALE DRAWINGS.
5. VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT IN EQUIPMENT PRIOR TO PERFORMING WORK. NO CHANGE ORDERS SHALL BE APPROVED FOR SUB-CONTRACTORS FAILURE TO DO SO.
6. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
7. REPETITIVE FEATURES IN THE CONSTRUCTION DOCUMENTS ARE OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
8. THE GENERAL CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR ANY WORK PERFORMED BY SUB-CONTRACTOR WHICH DEVIATES FROM THESE CONSTRUCTION DRAWINGS, UNLESS FIRST APPROVED BY THE ARCHITECT.

FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL		NEW DOOR & DOOR SIZE
	EXISTING STUD WALL TO REMAIN		NEW WINDOW, WINDOW FRAME & WINDOW SIZE
	EXISTING WALL TO BE REMOVED	<u>BEDROOM</u>	ROOM / AREA IDENTITY
	NEW WOOD STUD WALL W/ 1/2" DRYWALL BOTH SIDES		SECTION IDENTITY
	EXISTING DOOR TO BE REMOVED		
	EXISTING DOOR TO REMAIN		



CONSULTANT

PROJECT NAME
OVER THE TOP
ROOFING

PROJECT ADDRESS
W223N3481
Duplainville Road
Pewaukee, WI 53072

[illegible]

SCHMIDT ARCHITECTS
PROJECT NUMBER
2022-07

DATE
April 08, 2022

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SCHMIDT ARCHITECTS**

SHEET TITLE

SHEET NUMBER

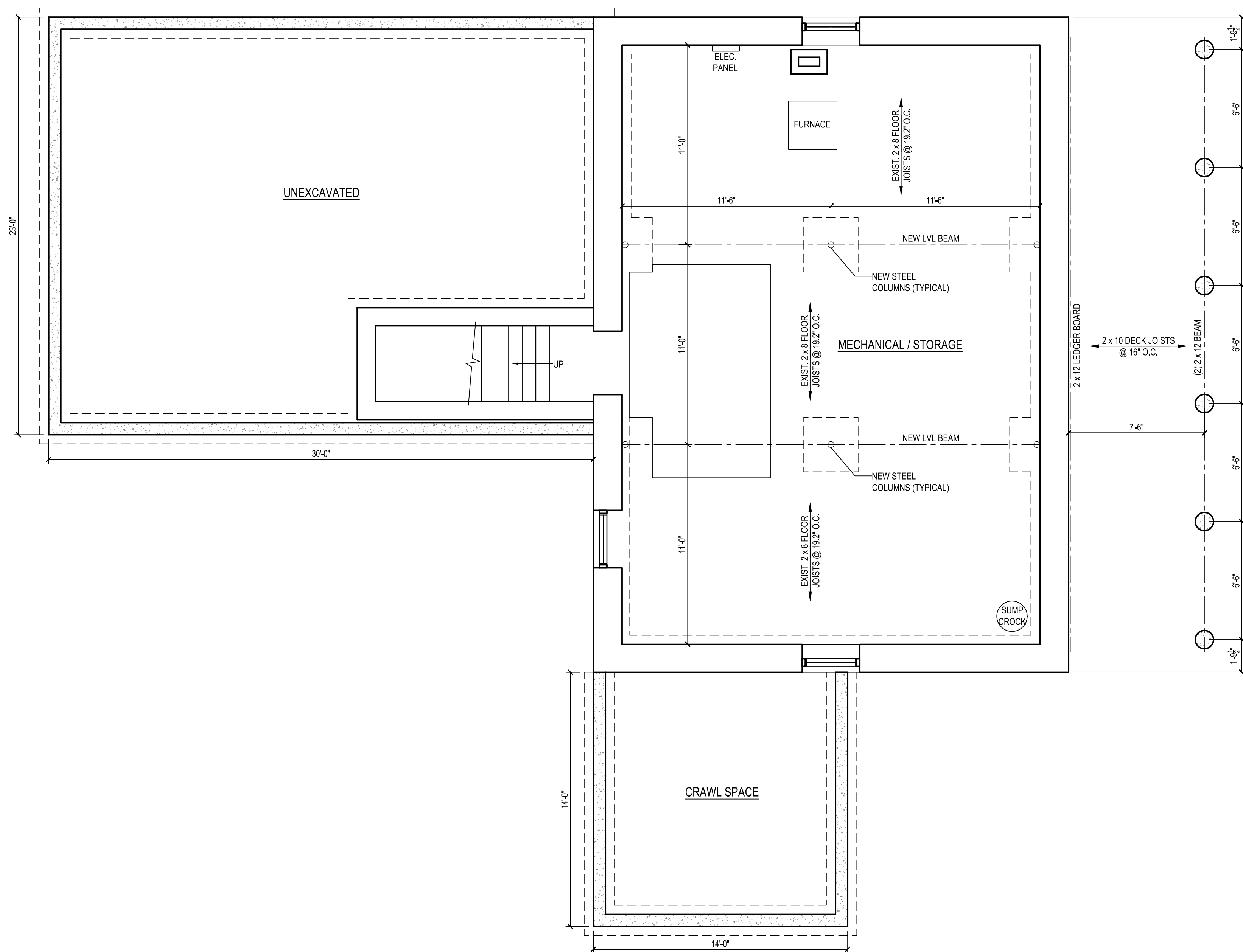
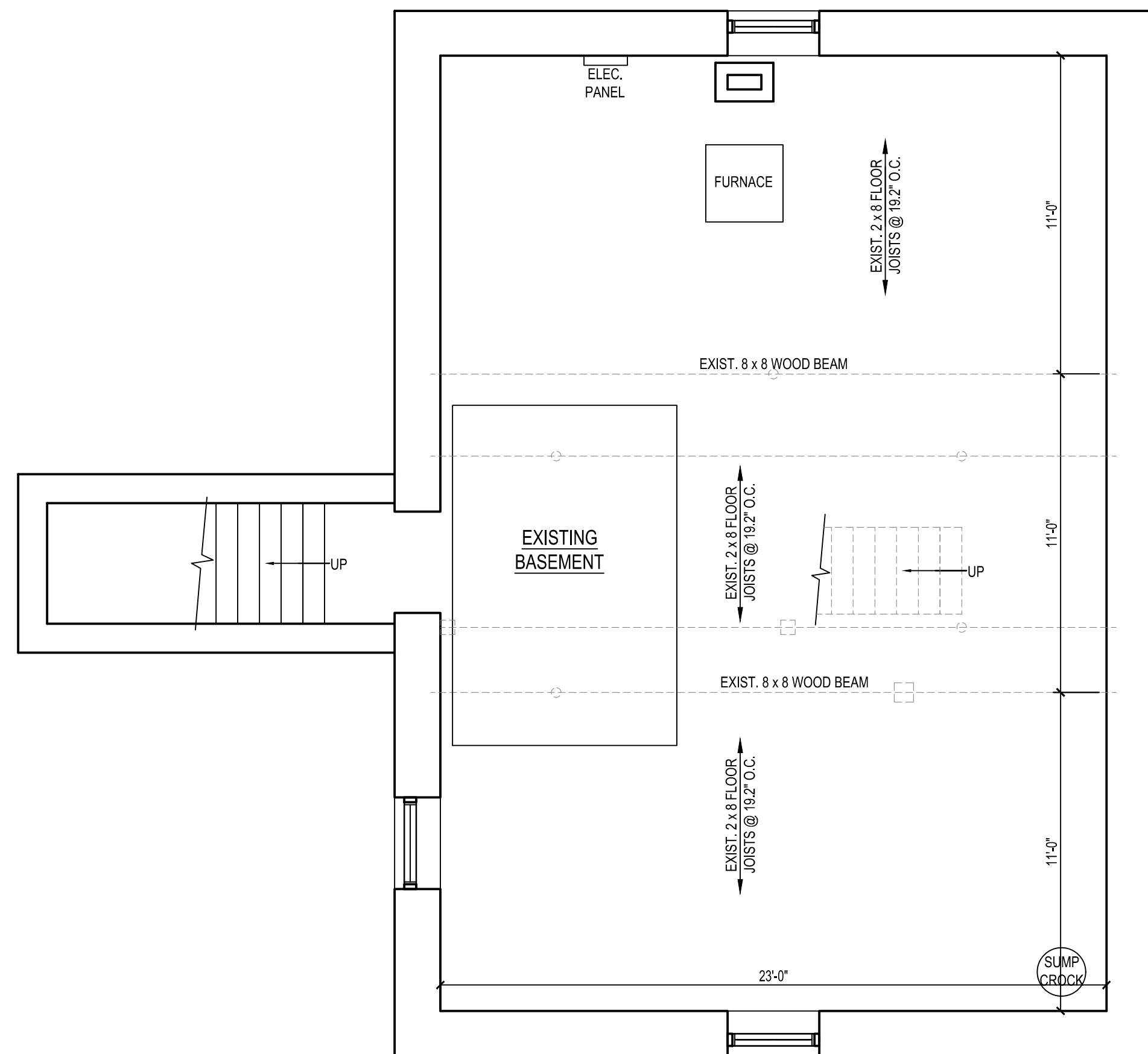
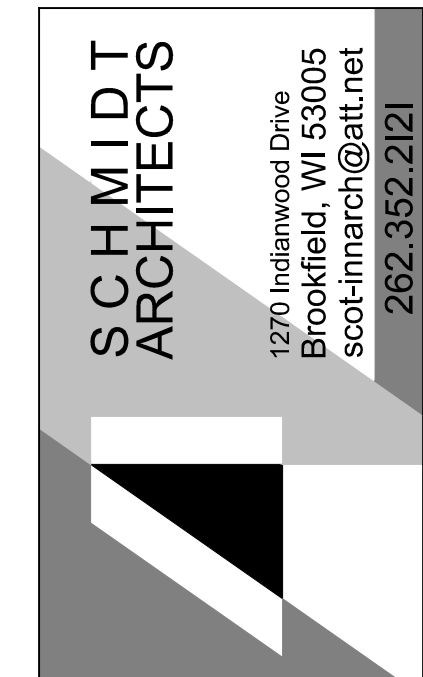
A1.1

GENERAL NOTES:

1. SUB-CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
2. ALL WORK OF THE SUB-CONTRACTOR SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS, AND FEDERAL JURISDICTION INCLUDING THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
3. THE SUB-CONTRACTOR SHALL REPORT IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS, TO THE ARCHITECT.
4. DO NOT SCALE DRAWINGS.
5. VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT IN EQUIPMENT PRIOR TO PERFORMING WORK. NO CHANGE ORDERS SHALL BE APPROVED FOR SUB-CONTRACTOR'S FAILURE TO DO SO.
6. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
7. REPETITIVE FEATURES IN THE CONSTRUCTION DOCUMENTS ARE OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
8. THE GENERAL CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR ANY WORK PERFORMED BY SUB-CONTRACTOR WHICH DEVIATES FROM THESE CONSTRUCTION DRAWINGS, UNLESS FIRST APPROVED BY THE ARCHITECT.

FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL		EXISTING STUD WALL TO REMAIN
	EXISTING WALL TO BE REMOVED		NEW DOOR & DOOR SIZE
	NEW WOOD STUD WALL W/ 1/2" DRYWALL BOTH SIDES		NEW WINDOW, WINDOW FRAME & WINDOW SIZE
	EXISTING DOOR TO BE REMOVED	<u>BEDROOM</u>	ROOM / AREA IDENTITY
	EXISTING DOOR TO REMAIN		SECTION IDENTITY


$$1/4'' = 1'-0''$$
$$1/4'' = 1'-0''$$


CONSULTANT

PROJECT NAME
OVER THE TOP
ROOFING

PROJECT ADDRESS
W223N3481
Duplainville Road
Pewaukee, WI 53072

REVISIONS

[illegible]

SCHMIDT ARCHITECTS
PROJECT NUMBER
2022-07

DATE
April 08, 2022

COPYRIGHT ©
SCHMIDT ARCHITECTS
ALL INFORMATION CONTAINED ON THIS DRAWING INCLUDING, BUT NOT LIMITED TO, DESIGN CONCEPTS
AND DETAILS IS THE PROPERTY OF SCHMIDT ARCHITECTS. ALL IDEAS DOCUMENTED HEREIN
WERE CREATED AND DEVELOPED FOR THIS SPECIFIC PROJECT AND SHALL NOT BE REUSED IN ANY
OTHER PROJECT. THE INFORMATION IS THE PROPERTY OF SCHMIDT ARCHITECTS.

SHEET TITLE

SHEET NUMBER

A1.0

GENERAL NOTES:

1. SUB-CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
2. ALL WORK OF THE SUB-CONTRACTOR SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS, AND FEDERAL JURISDICTION INCLUDING THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
3. THE SUB-CONTRACTOR SHALL REPORT IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS, TO THE ARCHITECT.
4. DO NOT SCALE DRAWINGS.
5. VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT IN EQUIPMENT PRIOR TO PERFORMING WORK. NO CHANGE ORDERS SHALL BE APPROVED FOR SUB-CONTRACTOR'S FAILURE TO DO SO.
6. THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
7. REPETITIVE FEATURES IN THE CONSTRUCTION DOCUMENTS ARE OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
8. THE GENERAL CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR ANY WORK PERFORMED BY SUB-CONTRACTOR WHICH DEVIATES FROM THESE CONSTRUCTION DRAWINGS, UNLESS FIRST APPROVED BY THE ARCHITECT.

FLOOR PLAN LEGEND

NEW CONCRETE FOUNDATION WALL

EXISTING STUD WALL TO REMAIN

EXISTING WALL TO BE REMOVED

NEW WOOD STUD WALL W/ 1/2" DRYWALL BOTH SIDES

EXISTING DOOR TO BE REMOVED

EXISTING DOOR TO REMAIN

36 x 80

2'-8" x 5'-0"

BEDROOM

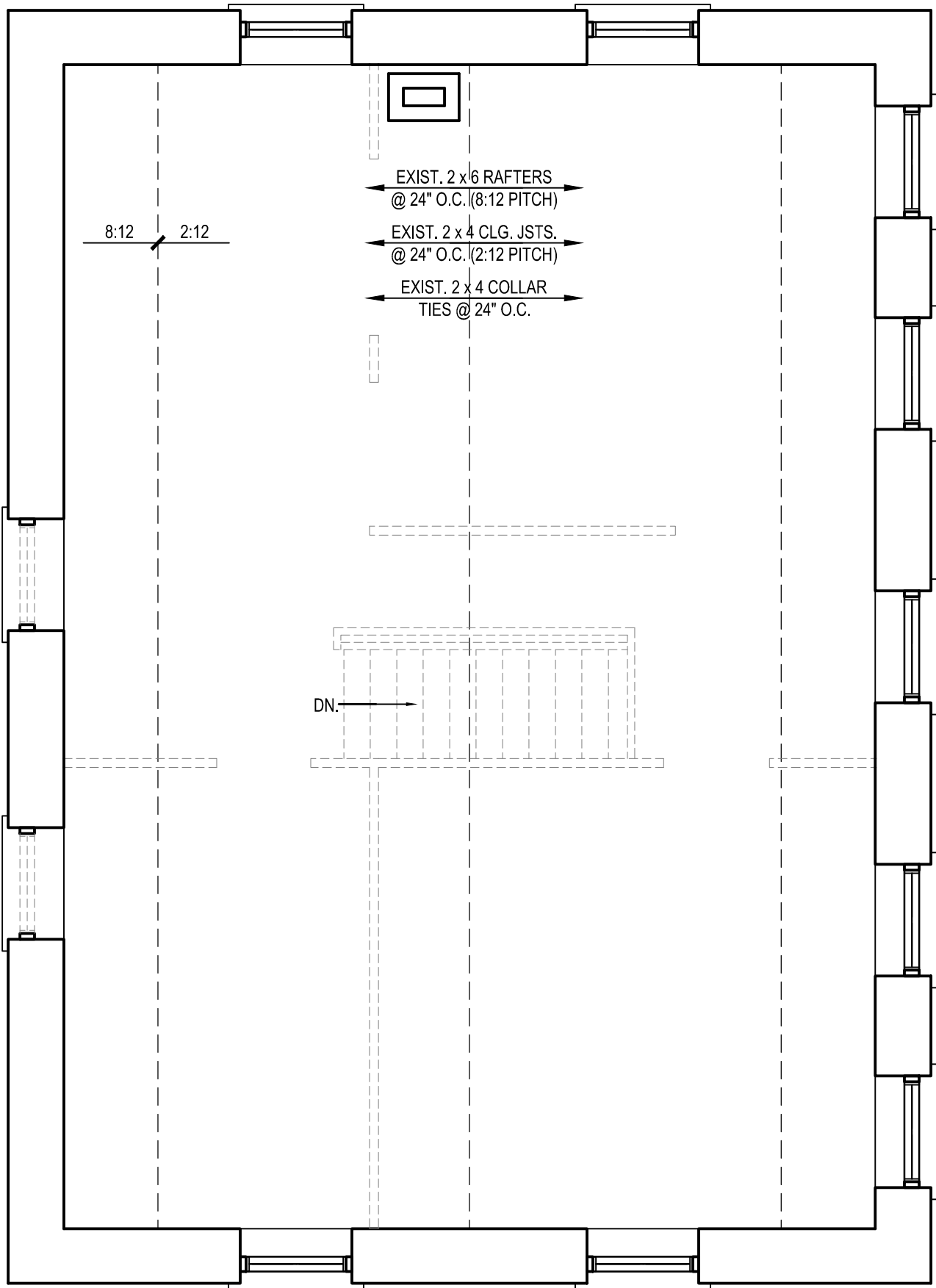
ROOM / AREA IDENTITY

0
A3.0

SECTION IDENTITY

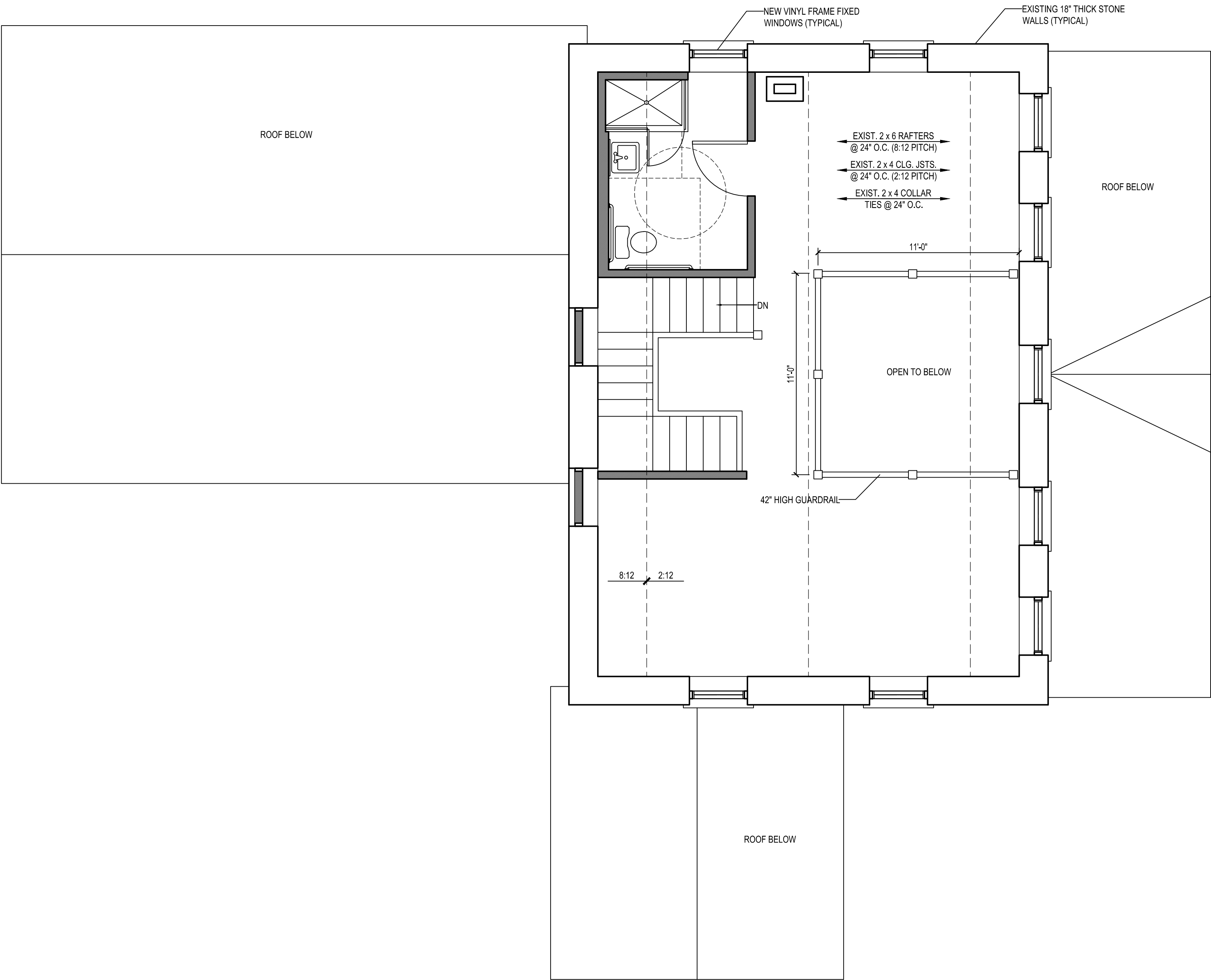
NEW DOOR & DOOR SIZE

NEW WINDOW, WINDOW FRAME & WINDOW SIZE



SECOND FLOOR DEMOLITION PLAN

1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



CONSULTANT

PROJECT NAME
OVER THE TOP
ROOFING

PROJECT ADDRESS
W223N3481
Duplainville Road
Pewaukee, WI 53072

REVISIONS		

SCHMIDT ARCHITECTS
PROJECT NUMBER
2022-07

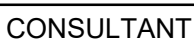
DATE
April 08, 2022

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SCHMIDT ARCHITECTS
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SHEET TITLE

SHEET NUMBER

A1.2



PROJECT ADDRESS
W223N3481
Duplainville Road
Pewaukee, WI 53072

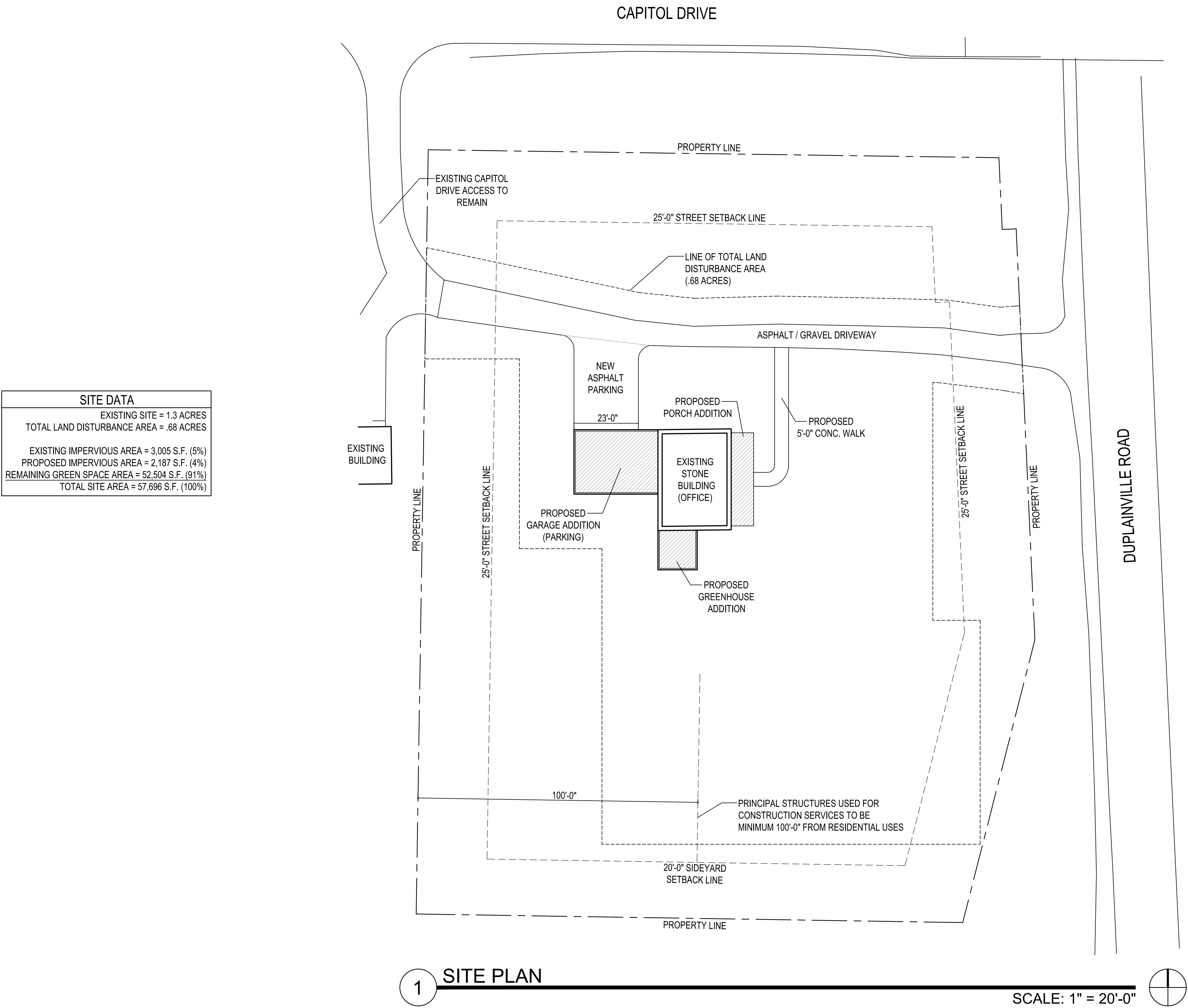
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SCHMIDT ARCHITECTS

SHEET TITLE

SHEET NUMBER

A1.0



**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 9.**

DATE: May 2, 2022

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

PUBLIC HEARING, Discussion and Possible Action Regarding a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee for Property Located at W225 N3131 Duplainville Road (PWC 0911-993-006 & PWC 0911-989) from Manufacturing/Fabrication/Warehousing and Floodplains, Lowland & Upland Conservancy and Other Natural Areas to Government/Institutional for the Purpose of Constructing an Access Drive, Salt Shed and Fuel Tanks for the New City of Pewaukee DPW Garage [Fuchs]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

DPW Garage staff report 4.21.22

DPW Garage comp plan amendment application

DPW Garage proposed future land use

DPW Garage deed

Resolution 22-05-14

Ordinance 22-11



Office of the Planning & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of April 21, 2022

Date: April 11, 2022

Project Name: Pewaukee DPW Garage and Recycling Yard Comprehensive Master Plan Amendment & Rezoning

Project Address/Tax Key No.: Approximately W225N3131 Duplainville Road/PWC 0911993006 & 0911989

Applicant: City of Pewaukee

Property Owner: City of Pewaukee

Current Zoning: M-2 Limited Industrial District

Current 2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing and Floodplains, Lowland & Upland Conservancy and Other Natural Areas

Use of Surrounding Properties: Agriculture to the north, single-family residential and industrial to the south, industrial to the east and institutional and single-family residential to the west

Project Description

The City of Pewaukee recently acquired a portion of the property to the east of the new DPW garage and recycling yard, formerly owned by Quad Graphics, Inc.

To incorporate this portion of land as shown on the attached maps, the future land use map designation and zoning must be amended. As such, attached are the needed applications and exhibits to amend the current future land use designation **from** Manufacturing/Fabrication/Warehousing and Floodplains, Lowland & Upland Conservancy and Other Natural Areas **to** Government/Institutional and to change the zoning **from** M-2 Limited Industrial District **to** I-2 Rural Institutional District.

Recommendation

A motion to approve the Comprehensive Master Plan Amendment and Rezoning for the City's DPW garage and recycling yard for property located at approximately W225N3131 Duplainville Road.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

PETITION FOR AN AMENDMENT TO THE COMPREHENSIVE MASTER PLAN

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to amend the City's Year 2050 Land Use/Transportation Plan land use designation for the following property

FROM Manufacturing/Fabrication/Warehousing and Floodplains, Lowland & Upland Conservancy and Other Natural Areas

TO Government/Institutional

Legal description of property to be rezoned – Please attach.

Common property description or name: _____

Property Address: W224N3297 Duplainville Road **Tax Key Number(s):** 0911989

Property owner(s) (Full Legal Name): Quad Graphics Inc.

Owner's Address: N61W23044 Harrys Way **City/State/Zip:** Sussex, WI 53089-3995

Phone: _____ **Email:** _____

This amendment to the zoning map is being proposed in order to construct a new access drive, salt shed and fuel tanks for
the City of Pewaukee

Applicant (Full Legal Name):

Name: Scott Klein, City Administrator

Company: City of Pewaukee

Address: W240N3065 Pewaukee Road

City/State/Zip: Pewaukee, WI 53072

Phone: 262-691-0770

Email: klein@pewaukee.wi.us

Contact Person (Full Legal Name):

Name: Same as applicant

Company: _____

Address: _____

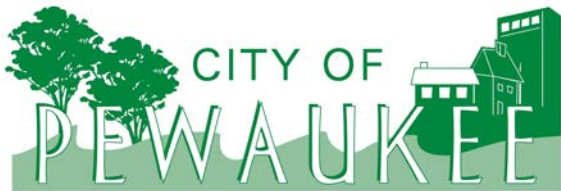
City/State/Zip: _____

Phone: _____

Email: _____

Comprehensive Master Plan Amendment submittals must include and be accompanied by the following:

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
 - o \$400.00, plus cost for publication, notice and all attorney fees related to Project
- ☐ Five (5) complete collated sets of Application materials to include:
 - o A written project narrative detailing the request and proposed amendment as well as any future development plans or any proposed site or building improvements.
 - o A Comprehensive Master Plan Amendment Exhibit that illustrates the property boundaries, areas to be changed and specifically notes the existing and proposed future land use designation.
 - o Building and Site Plans as may be applicable.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



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Pewaukee, Wisconsin 53072
Phone (262) 691-0770
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The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

PETITIONER'S/APPLICANT'S SIGNATURE: _____

NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____ Date: _____



LAND INFORMATION SYSTEMS DIVISION

Waukesha County GIS Map



Legend

- Civil Division Boundary
- Parks
- Assessment Data
- Parcels
- Plats
- Retired Parcels
- Retired Plats
- Municipal Boundary_2K
- FacilitySites_2K_Labels
- Lots_2K
- Lot
- Unit
- General Common Element
- Outlot
- SimultaneousConveyance
- Assessor Plat
- CSM
- Condominium
- Subdivision
- Cartoline_2K
- <all other values>
- EA-Easement_Line
- PL-DA
- PL-Extended_Tie_line
- PL-Meander_Line
- PL-Note
- PL-Tie
- PL-Tie_Line
- Road Centerlines_2K
- Railroad_2K
- TaxParcel_2K
- Waterbodies_2K_Labels
- Waterlines_2K_Labels
- Municipal Boundary_5K
- FacilitySites_5K_Labels
- Waterbodies_5K_Labels
- Waterlines_5K_Labels

0 272.60 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 7/7/2021



State Bar of Wisconsin Form 6-2003
SPECIAL WARRANTY DEED

WAUKESHA COUNTY, WI
REGISTER OF DEEDS
James R Behrend

Recorded On: 02/04/2022 3:40:06 PM

Total Fee: \$30.00 Page(s): 5

Transfer Tax: \$0.00

Exempt Type: 77.25(12)

The above recording information verifies that
this document has been electronically
recorded and returned to the submitter.

Document Number

Document Name

THIS DEED, made between QUAD/GRAPHICS, INC., a Wisconsin corporation

("Grantor," whether one or more), and CITY OF PEWAUKEE, a Wisconsin
municipal corporation

("Grantee," whether one or more).

Grantor for a valuable consideration, conveys to Grantee the following described real
estate, together with the rents, profits, and other appurtenant interests, in
Waukesha County, State of Wisconsin ("Property") (if more space is
needed, please attach addendum):

SEE LEGAL DESCRIPTION ON ATTACHED EXHIBIT A.

The sale of a portion of tax parcel PWC 0911989 is a lot line adjustment for the sale or
exchange of land between adjoining land owners pursuant to Wis. Stat. Section
236.45(2)(am)3 and such parcel shall not be sold or conveyed separately from PWC
0911993006.

This conveyance is exempt from real estate transfer taxes under Wis. Stat. 77.25(12)

Grantor warrants that the title to the Property is good, indefeasible, in fee simple and free and clear of encumbrances arising by, through,
or under Grantor, except: **municipal and zoning ordinances and agreements entered under them, recorded easements for the
distribution of utility and municipal services, recorded building and use restrictions and covenants, general taxes levied in the
year of closing, special assessments, and all Permitted Encumbrances listed on Exhibit B attached hereto and made a part hereof.**

Dated as of the 2 day of February, 2022

SEE ATTACHED SIGNATURE PAGE

_____(SEAL) _____(SEAL)

* _____ *

_____(SEAL) _____(SEAL)

* _____ *

AUTHENTICATION

Signature(s) _____

authenticated on _____

* _____

TITLE: MEMBER STATE BAR OF WISCONSIN

(If not, _____
authorized by Wis. Stat. § 706.06)

THIS INSTRUMENT DRAFTED BY:

Joia Sanders Wodarczyk of

Reinhart Boerner Van Deuren s.c.

ACKNOWLEDGMENT

STATE OF _____)

_____) ss.

_____ COUNTY)

Personally came before me on _____,

the above-named _____

to me known to be the person(s) who executed the foregoing
instrument and acknowledged the same.

* _____

Notary Public, State of _____

My commission (is permanent) (expires: _____)

(Signatures may be authenticated or acknowledged. Both are not necessary.)

NOTE: THIS IS A STANDARD FORM. ANY MODIFICATION TO THIS FORM SHOULD BE CLEARLY IDENTIFIED.

SPECIAL WARRANTY DEED

©2003 STATE BAR OF WISCONSIN

FORM NO. 6-2003

*Type name below signatures.

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**SIGNATURE PAGE TO SPECIAL WARRANTY DEED
BETWEEN
QUAD/GRAPHICS, INC.,
GRANTOR,
AND
CITY OF PEWAUKEE, GRANTEE**

GRANTOR:

QUAD/GRAPHICS, INC., a Wisconsin corporation

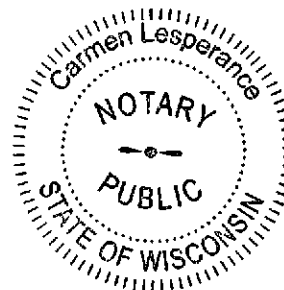
By: Sherilyn Whitmoyer (SEAL)
Name: Sherilyn Whitmoyer
Title: Assistant Secretary

ACKNOWLEDGMENT

STATE OF WISCONSIN)
) ss.
COUNTY OF WAUKESHA)

Personally came before me this 31st day of January, 2022, the above named Sherilyn Whitmoyer, as Assistant Secretary of Quad/Graphics, Inc., to me known to be the person who executed the foregoing instrument and acknowledged the same.

Carmen Lesperance
Name: Carmen Lesperance
Notary Public, State of Wisconsin
My Commission: 7/21/2024



**EXHIBIT A TO SPECIAL WARRANTY DEED
BETWEEN
QUAD/GRAPHICS, INC.,
GRANTOR,
AND
CITY OF PEWAUKEE, GRANTEE**

Being a part of Lot 1 CSM #8748 in the SW ¼ and the SE ¼ of Section 12, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin. Described as Follows:

Commencing at the SE corner of the SW ¼ of Section 12, T7N, R19E; Thence N87°22'06"W Along the South Line of said SW ¼ 418.36 Feet to a Point in the Center of Duplainville Road; Thence N28°45'20"E along the Centerline of Duplainville Road, 789.00 Feet; Thence N61°14'40"W 40.00 Feet to the SE Corner of Certified Survey Map #8748 Also being the point of beginning of new parcel; Thence N28°45'20"E Along the Westerly Right-of-Way Line of Duplainville Road 476.61 Feet; Thence N82°27'47"W, 582.38 Feet; Thence S 08°09'16" W 283.98 Feet, to the SW corner of CSM #8748; Thence S 61°14'40" E 442.98 feet to the point of beginning.

**EXHIBIT B TO SPECIAL WARRANTY DEED
BETWEEN
QUAD/GRAPHICS, INC.
GRANTOR,
AND
CITY OF PEWAUKEE, GRANTEE**

PERMITTED EXCEPTIONS

1. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflict in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Property.
2. Taxes, general and special for the year 2022, not now due and payable.

Tax Parcel No. PWC 0911989

3. Public or private rights, if any, in such portion of the subject premises as may be presently used, laid out or dedicated in any manner whatsoever for road and street purposes.
4. Permanent and temporary public utility easement as shown on Certified Survey Map No. 8748.
5. Rights of the public in so much of the subject premises as are affected by ordinance adopted by the Board of Supervisors of Waukesha County June 18, 1954 and approved by the various towns in said County, establishing the width of S.T.H. "164" as determined by purchase and ordaining that said highway be widened to the width so established; together with rights of the public in that portion of said premises lying within the limits of said road and not affected by said ordinance. A notice, plat and other documents in said matter were filed April 18, 1957, as No. 1.
6. Utility easement granted to The Milwaukee Electric Railway and Light Company recorded as Document No. 147535.
7. Utility easement granted to the Milwaukee Electric Railway and Light Company, recorded as Document No. 147536.
8. Utility easement granted to the Milwaukee Electric Railway and Light Company, recorded as Document No. 147539.
9. Utility easement granted to the Wisconsin Electric Power Company, recorded as Document No. 247492.
10. Utility easement granted to the Wisconsin Electric Power Company, recorded as Document No. 331659.

11. Utility easement granted to Wisconsin Electric Power Company and Wisconsin Telephone Company recorded as Document No. 381906.
12. Possible charges and/or assessments by reason of an order of the Town Board of the Town of Pewaukee establishing Sanitary District No. 3 of the Town of Pewaukee, Waukesha County, Wisconsin, as disclosed by resolution recorded December 6, 1976 on Reel 213, Image 323, as Document No. 977265.

RESOLUTION NO. 22-05-14

A RESOLUTION RECOMMENDING THE ADOPTION OF AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE/TRANSPORTATION PLAN OF A PORTION OF A PROPERTY LOCATED AT W224N3297 DUPLAINVILLE ROAD (TAX KEY NO. PWC 0911-989) FROM MANUFACTURING/FABRICATION/WAREHOUSING AND FLOOD PLAINS, LOWLAND & UPLAND CONSERVANCY, AND OTHER NATURAL AREAS TO GOVERNMENTAL/INSTITUTIONAL, PURSUANT TO WIS. STAT. § 66.1001(4)(b)

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, pursuant to Wis. Stat. § 66.1001(4)(b), the Plan Commission may recommend the amendment of the Comprehensive Master Plan to the Common Council by adopting a resolution by a majority vote of the entire Commission, which vote shall be recorded in the official minutes of the Plan Commission; and

WHEREAS, The City of Pewaukee has applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a portion of a property located at W224N3297 Duplainville Road from Manufacturing/Fabrication/Warehousing and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas to Governmental/Institutional, more particularly described as follows:

Being a part of Lot 1 CSM #8748 in the SW 1/4 and the SE 1/4 of Section 12, Township 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin. Described as Follows:

Commencing at the SE corner of the SW 1/4 of Section 12, T7N, R19E; Thence N87°22'06"W Along the South Line of said SW 1/4 418.36 Feet to a Point in the Center of Duplainville Road; Thence N28°45'20"E along the Centerline of Duplainville Road, 789.00 Feet; Thence N61°14'40"W 40.00 Feet to the SE Corner of Certified Survey Map #8748 Also being the point of beginning of new parcel; Thence N28°45'20"E Along the Westerly Right-of-Way Line of Duplainville Road 476.61 Feet; Thence N82°27'47"W, 582.38 Feet; Thence S 08°09'16"W 283.98 Feet, to the SW corner of CSM #8748; Thence S 61°14'40"E 442.98 feet to the point of beginning.

WHEREAS, the Plan Commission having determined that the proposed amendment in form and content as presented to the Commission on April 21, 2022, is consistent with

the Comprehensive Master Plan's goals, objectives and policies and in proper form and content for adoption by the Common Council as an amendment to the Comprehensive Master Plan, subject to such modifications the Common Council may consider reasonable and necessary, following public hearing, in order to protect and promote the health, safety and welfare of the City of Pewaukee.

NOW, THEREFORE, BE IT RESOLVED, by the Plan Commission of the City of Pewaukee, Wisconsin, that the application for and the proposed ordinance to amend the City of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a portion of a property located at W224N3297 Duplainville Road from Manufacturing/Fabrication/Warehousing and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas to Governmental/Institutional, such property bearing Tax Key No. PWC 0911-989, be and the same is hereby recommended for adoption and incorporation into the Comprehensive Master Plan by the Common Council.:

Passed and adopted this 21st day of April, 2022.

FOR THE PLAN COMMISSION OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

ORDINANCE NO. 22-11

AN ORDINANCE TO AMEND THE CITY OF PEWAUKEE 2035 COMPREHENSIVE MASTER PLAN AND NEIGHBORHOOD PLANS 2015-2050 TO CHANGE THE YEAR 2050 LAND USE/TRANSPORTATION PLAN OF A PORTION OF A PROPERTY LOCATED AT W224N3297 DUPLAINVILLE ROAD (TAX KEY NO. PWC 0911-989) FROM MANUFACTURING/FABRICATION/WAREHOUSING AND FLOOD PLAINS, LOWLAND & UPLAND CONSERVANCY, AND OTHER NATURAL AREAS TO GOVERNMENTAL/INSTITUTIONAL

WHEREAS, pursuant to Wis. Stat. §§ 62.23(2) and (3) and 66.1001(4), the City of Pewaukee is authorized to prepare and adopt and to amend a comprehensive plan as defined in Wis. Stat. §§ 66.1001(1)(a) and 66.1001(2); and

WHEREAS, The City of Pewaukee has applied for an amendment to the Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a portion of a property located at W224N3297 Duplainville Road from Manufacturing/Fabrication/Warehousing and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas to Governmental/Institutional; and

WHEREAS, the Plan Commission of the City of Pewaukee by a majority vote of the entire Commission on April 21, 2022, recorded in its minutes, has adopted a resolution recommending to the Common Council the adoption of the Ordinance to Amend the City of Pewaukee Comprehensive Master Plan to change the Year 2050 Land Use/Transportation Plan of a portion of a property located at W224N3297 Duplainville Road (Tax Key No. PWC 0911-989) from Manufacturing/Fabrication/Warehousing and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas to Governmental/Institutional; and

WHEREAS, the City of Pewaukee held a public hearing upon this proposed Ordinance, in compliance with the requirements of Wis. Stat. § 66.1001(4)(d); the Common Council having received input from the public at a duly noticed public hearing on May 2, 2022; and

NOW THEREFORE, the Mayor and Common Council of the City of Pewaukee, Wisconsin, do ordain as follows:

SECTION 1: Adoption

The City of Pewaukee Comprehensive Master Plan is hereby amended to change the Year 2050 Land Use/Transportation Plan of a portion of a property located at W224N3297 Duplainville Road (Tax Key No. PWC 0911-989) from Manufacturing/Fabrication/Warehousing and Flood Plains, Lowland & Upland Conservancy, and Other Natural Areas to Governmental/Institutional.

SECTION 2: Document Transmittal

The City Common Council hereby directs the City Clerk/Treasurer to transmit a copy of the amendment as well as a signed copy of both the Resolution No. PC 22-05-14 and this Ordinance No. 22-11 to the Wisconsin Department of Administration, the Southeastern Wisconsin Regional Planning Commission, the Waukesha Park and Land Use Department, the Pewaukee Public Library and to each town, village and city that abuts the City of Pewaukee.

SECTION 3: Severability

The several sections and portions of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a decision of a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of all other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

SECTION 4: Effective Date

This ordinance shall take effect immediately upon passage and posting of publication as provided by law.

Passed and adopted this 2nd day of May, 2022.

FOR THE COMMON COUNCIL OF THE CITY OF
PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

ATTEST:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 10.**

DATE: May 2, 2022

DEPARTMENT: Planning

PROVIDED BY:

SUBJECT:

Discussion and Possible Action Regarding **Ordinance 22-12** to Rezone Property Located at W225 N3131 Duplainville Road (PWC 0911-993-006 & PWC 0911-989) from M-2 Limited Industrial to I-2 Rural Institutional for the Purpose of Constructing an Access Drive, Salt Shed and Fuel Tanks for the New City of Pewaukee DPW Garage [Fuchs]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

DPW Garage rezoning application

DPW Garage proposed zoning

Ordinance 22-12



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

PETITION FOR A REZONING DISTRICT MAP AMENDMENT

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin to rezone the following property **FROM** M-2 Limited Industrial District zoning district(s) **TO** I-2 Rural Institutional District zoning district(s):

Legal description of property to be rezoned – Please attach.

Common property description or name: _____

Property Address: W224N3297 Duplainville Road **Tax Key Number(s):** 0911989

Property owner(s) (Full Legal Name): Quad Graphics Inc.

Owner's Address: N16W23044 Harrys Way **City/State/Zip:** Sussex, WI 53089-3995

Phone: _____ **Email:** _____

This amendment to the zoning map is being proposed in order to construct a new access drive, salt shed and fuel tanks for the City of Pewaukee

Applicant (Full Legal Name):

Name: Scott Klein, City Administrator

Company: City of Pewaukee

Address: W240N3065 Pewaukee Road

City/State/Zip: Pewaukee, WI 53072

Phone: 262-691-0770

Email: klein@pewaukee.wi.us

Contact Person (Full Legal Name):

Name: Same as applicant

Company: _____

Address: _____

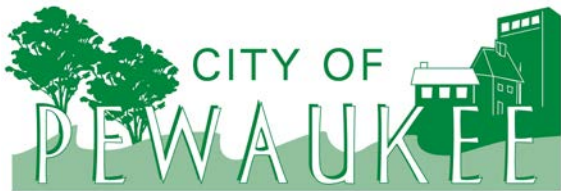
City/State/Zip: _____

Phone: _____

Email: _____

Rezoning submittals must include and be accompanied by the following:

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
 - ☐ \$400.00, plus cost for publication, notice and all attorney fees related to Project
- ☐ Five (5) complete collated sets of Application materials to include:
 - ☐ A written project narrative detailing the request and proposed zoning as well as any future development plans or any proposed site or building improvements.
 - ☐ A Rezoning Exhibit that illustrates the property boundaries, areas to be rezoned and specifically notes the existing and proposed zoning.
 - ☐ Building and Site Plans as may be applicable.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



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The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

PETITIONER'S/APPLICANT'S SIGNATURE: _____

NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____ Date: _____



Waukesha County GIS Map



Legend

- Civil Division Boundary
- Parks
- Assessment Data
- Parcels
- Plats
- Retired Parcels
- Retired Plats
- Municipal Boundary_2K
- FacilitySites_2K_Labels
- Lots_2K
- Lot
- Unit
- General Common Element
- Outlot
- SimultaneousConveyance
- Assessor Plat
- CSM
- Condominium
- Subdivision
- Cartoline_2K
- <all other values>
- EA-Easement_Line
- PL-DA
- PL-Extended_Tie_line
- PL-Meander_Line
- PL-Note
- PL-Tie
- PL-Tie_Line
- Road Centerlines_2K
- Railroad_2K
- TaxParcel_2K
- Waterbodies_2K_Labels
- Waterlines_2K_Labels
- Municipal Boundary_5K
- FacilitySites_5K_Labels
- Waterbodies_5K_Labels
- Waterlines_5K_Labels

0 272.60 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 7/7/2021



STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

ORDINANCE 22-12

**TO AMEND THE ZONING MAP OF
THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN**

The Common Council of the City of Pewaukee, Waukesha County, Wisconsin do ordain that the Zoning Map of the City of Pewaukee, Wisconsin is hereby amended to change the zoning classification of the property described below as follows:

FROM: **RS-1 Single-Family Residential**
TO: **B-3 General Business**

SECTION 1 - DESCRIPTION

Lot 1 Certified Survey #8748 Volume 77/309 recorded as Document #2447016 PT Southwest ¼ and Southeast ¼ Section 12 T7N R19E :: R562/1090 & Document # 2435450

Tax Key Number: PWC 0911-989

Property Address: W224 N3297 Duplainville Road

This Amendment to the Zoning Map (Change in zoning) is being proposed for the purpose of: constructing a new access drive, salt shed and fuel tanks for the City of Pewaukee.

SECTION 2 –SEVERABILITY

The several sections of this Ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Ordinance.

SECTION 3 - ACTION

This Ordinance shall take effect upon passage and posting.

Dated this 2nd day of May, 2022.

COMMON COUNCIL OF THE CITY OF PEWAUKEE

WAUKESHA COUNTY, WISCONSIN

Attest:

Steve Bierce, Mayor

Kelly Tarczewski, Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 11.**

DATE: May 2, 2022

DEPARTMENT: PW - Engineering

PROVIDED BY: Magdelene Wagner

SUBJECT:

Discussion and Possible Action for Railroad Quiet Zone Study for the Crossings Located at Weyer Road, Green Road, and Watertown Road [Wagner]

BACKGROUND:

Please find the attached memorandum regarding the Railroad Quiet Zone.

Currently we are only studying the Canadian National (North-South) railroad crossings. The Canadian Pacific (East-West) railroad has been completing some intersection improvements. Once these have been completed (which would assist in obtaining a Quiet Zone), we would pursue studying these crossings.

FINANCIAL IMPACT:

The 2022 Budget does not have funds designated for any additional quiet zone studies. To complete the study for Weyer Road is \$15,000 and the study for Green Road is \$33,010. To complete both studies, the City would need to fund \$48,010. This could be funded by the contingency fund or borrowed in the 2022 borrowing.

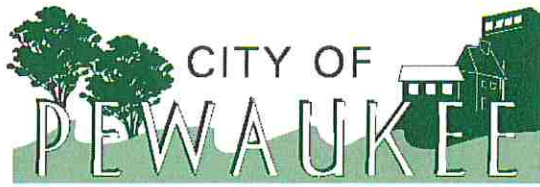
RECOMMENDED MOTION:

Council to determine if they wish to continue with the Quiet Zone studies and appropriate funding.

ATTACHMENTS:

Description

Railroad Quiet Zone Study



Department of Public Works

W240N3065 Pewaukee Road

Pewaukee, WI 53072

Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: publicworks@pewaukee.wi.us

Memorandum

To: Maggie Wagner

From: Michaelis Gabbey

Subject: Railroad Quiet Zones

Date: 01/12/2022

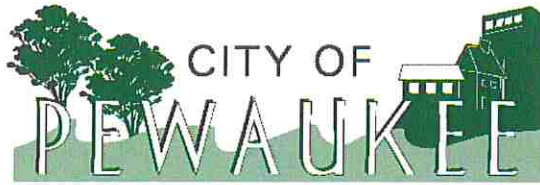
Interest has been expressed by the City of Pewaukee Common Council to establish Quiet Zones along the Canadian National (CN) railroad at the Green Road and Weyer Road intersections in the City of Pewaukee. The establishment of the quiet zones at these locations along the CN railroad would restrict locomotive horn sounding within this section of the community. All private and public grade crossings within the proposed quiet zones are required to be evaluated to establish the quiet zones. Along with Green Road and Weyer Road, two private crossings exist along this stretch of railroad; a driveway 500' North of Sunder Creek Drive and an access road on the Zignego Group property. Each of these crossings will be analyzed to evaluate what actions, if any, need to be taken to create a safe quiet zone crossing.

In 2013, engineering consulting firms provided preliminary reviews of the public railroad crossings within the area of interest. The City chose not to pursue the recommendations when the reviews were completed, however the consultants summarized their reviews in 2019. A summary of the findings of these initial reviews is provided below along with the status and next steps for each crossing.

Weyer Road Crossing

A preliminary quiet zone evaluation was prepared for the Weyer Road grade crossing by R.A. Smith National (raSmith) in 2013 and, at the request of the City of Pewaukee, a summary of the findings from this evaluation was prepared in 2019. This evaluation and subsequent summary established alternatives which would qualify the crossing for a Quiet Zone, presented the Federal Railroad Administration (FRA) recommended alternative, and established steps to establish the Quiet Zone.

The current railroad crossing at Weyer Road does not meet the criteria required to establish a quiet zone (Quiet Zone Risk Index (QZRI) > National Significant Risk Index (NSRI)). Two types of improvements could be implemented to lower the QZRI below the NSRI threshold. These types of improvements are Supplemental Safety Measures (SSMs) and Alternative Safety Measures (ASMs). SSMs are improvements "pre-approved" by the FRA which allow



Department of Public Works

W240N3065 Pewaukee Road

Pewaukee, WI 53072

Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: publicworks@pewaukee.wi.us

for a simpler approval process while ASMs require a more thorough review.

Existing conditions at the Weyer Road grade crossing result in a QZRI = 27,230.38 while the NRSI = 13,722.00. This intersection will require additional safety measures to be implemented to establish a quiet zone because QZRI > NRSI. The following safety measures were presented as alternatives for implementation at the Weyer Road grade crossing in the evaluation with approximate construction costs:

Safety Measure	Type	Cost
Temporary Closure	SSM	\$5,000
Four-Quadrant Gate System	SSM	\$100,000 - \$140,000
Wayside Horns	SSM	\$100,000
Three-Quadrant Gate System with Median Channelization	ASM	\$65,000 - \$85,000
Retractable Bollards	ASM	\$40,000 - \$60,000

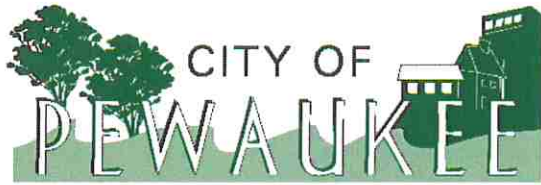
Additionally, a Two-Quadrant Gate System with Channelization and Full Closure were considered as alternatives but were initially determined to be either impractical or unfeasible.

A Weyer Road Quiet Zone Diagnostic Review meeting was held in 2014 following the results of the 2013 Quiet Zone Evaluation. At this meeting, the FRA identified that gates with medians would be the preferred alternative and would need to be submitted as an ASM because the 60' median could not be achieved west of the grade crossing. To move forward with implementation of this alternative, the following steps would need to be taken in order:

1. Host a Diagnostic Team Review meeting to re-evaluate any changes to conditions or policies since 2014.
2. Send formal Notice of Intent (NOI) of Quiet Zone Implementation to project stakeholders.
3. Apply to FRA for approval of raised median ASM on west side of crossing.
4. Apply to FRA for Quiet Zone (3-month review time)
5. Implement recommended Quiet Zone crossing improvements
6. Send Notice of Establishment (NOE) to stakeholders once improvements are complete.

The costs for implementation of this alternative are listed below:

Consultant's Fees (Application, Coordination, and Design) = \$15,000
Total Construction Fees = \$60,000
Total Cost (Weyer Road) = \$75,000



Department of Public Works

W240N3065 Pewaukee Road

Pewaukee, WI 53072

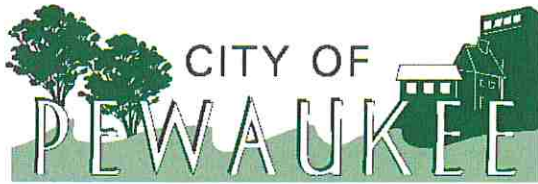
Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: publicworks@pewaukee.wi.us

Green Road Crossing

A summary of work for the creation of a quiet zone at the Green Road grade crossing was prepared by Ruekert & Mielke, Inc. in 2019. One major issue was identified in this summary of work. Canadian Pacific Railway (CP) owns railroad tracks approximately 600 feet south of the Green Road / Canadian National Railway intersection. CP requires that all railroad crossings within 1 mile are considered for a quiet zone designation. Two additional public and one private crossing exist within the one-mile buffer zone. These crossings are located 300' south of the Green Road / Springdale Road intersection along the CP railway (#1), 50' north of the Duplainville Road / Marjean Lane intersection along the CP railway (#2), and 450' south of the CN railway / CP railway intersection along the CP railway on the Zignego Company property (#3). In preliminary discussions with the CP railway it was also determined that an analysis of the Watertown at grade crossing (#4) would also be required for the establishment of a quiet zone due to the proximity to the other crossings. The figure below illustrates the locations of the crossing referenced above.





Department of Public Works

W240N3065 Pewaukee Road

Pewaukee, WI 53072

Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: publicworks@pewaukee.wi.us

Ruekert & Mielke has prepared a proposal to complete a quiet zone feasibility study, field surveys and traffic counts, final recommendations at each crossing, and Railroad Quiet Zone permit preparation and submittal. The total fee to complete the work outlined in the proposal would be \$33,010.

Recommendations

The NOI and application for the quiet zone at the Weyer Road grade crossing should be completed and submitted. raSMith provided a proposal to complete this work and the construction plans for improvements for \$15,000 on December 12, 2022. The City should request an updated cost which separates the coordination costs from the construction plans. Weyer road is currently in need of reconstruction and it would be more cost effective to address the improvements at the railroad crossing during reconstruction.

This location has a few potential roadblocks to achieving the Quiet Zone. Comments from the FRA regarding the preferred alternative were received in 2014 and design criteria may have changed since this time. Additionally, there is a single private crossing $\frac{3}{4}$ mile south of the crossing which may need to be evaluated. The preferred alternative utilizes an ASM and the review period for an ASM is longer than a typical quiet zone application review and may take 6 months or longer. Additionally, the Town of Lisbon will need to be involved in agreements due to the mutual ownership of Weyer Road. Construction could be postponed if the application is submitted and the City later determines this strategy is too expensive, but the process can't be sped up if this item becomes more urgent in the future. For this reason, it is recommended that the NOI and application be completed at this time.

The implementation of the Quiet Zone at Green Road is far more complicated due to the additional nearby railroad crossings. It is recommended that the City work with a consultant to study the feasibility of this quiet zone further and determine what measures each of the crossings would need to meet the requirements. Ruekert & Mielke has provided a proposal to complete this study for a fee of \$33,010. Once this study is complete, the City will have a construction cost associated with these improvements and will be able to perform the appropriate cost versus benefit analysis to determine if further action should be taken.

Sincerely,

Michaelis Gabbey

December 30, 2021

Ms. Magdelene J. Wagner, P.E.
Director of Public Works
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

Re: Green Road and Watertown Road Railroad Crossing – Quiet Zone

Dear Ms. Wagner:

We have reviewed your request to provide professional services estimate to perform a Quiet Zone analysis for the railroad crossing located on Green Road, approximately 500 feet east of Duplainville Road and at Watertown Road. The analysis of the Quiet Zone involves multiple factors. In order to accurately assess the railroad crossing, it must have lights and gates, which it currently has.

We will provide the following scope of services:

1. Perform a 7-day traffic count using two counters at the crossing. This service will include providing counters, set up and removal of the counters and downloading the data.
2. Create diagrams of the existing crossing conditions based on field measurements from gates and tracks to existing driveways and intersections, using the prior plans as created for Green Road and available aerial photography for both Green Road and Watertown Road.
3. Coordinate with railroads to obtain current data on train operations for updating the US DOT Grade Crossing Inventory Forms.
4. Prepare Grade Crossing Inventory Form updates and send them to the Wisconsin Department of Transportation and Office of Commission of Railroads for updating on the national system.
5. Create Quiet Zone scenarios for the FRA Quiet Zone Calculator and update grade crossing inventory information at the crossing.
6. Calculate the existing Quiet Zone Risk Index for the crossing and evaluate the recommended Supplementary Safety Measures if required to reduce the Quiet Zone Risk Index to acceptable levels.
7. Prepare a Summary Report documenting the existing conditions, recommended improvements to establish a Quiet Zone and estimated cost to perform improvements.
8. Present findings to your staff at a meeting to determine whether or not to pursue the Quiet Zone.
9. Prepare the Notice of Intent to create a Quiet Zone Notification with appropriate documentation to provide copies to the City of Pewaukee for signature. The City will then send the notification to the effective parties by Certified Mail.
10. Facilitate meetings with the railroad, City and Zignego Company for the private crossing located on the Zignego parcel. Design or analysis of safety measures on the Zignego parcel is not included. The Zignego crossing is located approximately 1,100 feet to the south of Green Road and impacts both Green Road and Watertown Road.

We propose to undertake the above work in a staged approach:

1. Initial meetings and study to determine project feasibility including initial meetings with the City, County, and affected railroads.
Estimated cost: \$4,310.00.

Ms. Magdelene J. Wagner, P.E.
City of Pewaukee
December 30, 2021
Page 2

2. Field surveys and traffic counts if it is determined to proceed with all the quiet zones.
Estimated cost: \$18,800.00.
3. Final recommendations and study report on improvements at each crossing.
Estimated cost: \$4,350.00.
4. Prepare final documents for Railroad Quiet Zone Permits with the railroad including review and approval. Any, and all permit fees are not included in our costs.
Estimated cost: \$5,550.00.

We are recommending the above phased approach so that if it is determined that a full study and report or permit is not feasible work may be halted. If it is determined that the Quiet Zone is feasible, additional services for the following items would then be quoted for implementation.

- Easement descriptions.
- Design of Quiet Zone items.
- Assist the City in applying for Municipal Grants and funding options.
- Final design and possible bidding of options.
- Preparation of the "Notice of Quiet Zone" notification to effective parties.

If you have any questions on the above, please contact this office.

Respectfully,

RUEKERT & MIELKE, INC.



Kenneth R. Ward, P.E. (WI)
Vice President/Office Manager
kward@ruekert-mielke.com

KRW:sjs

cc: Michaelis Gabbey, P.E., City of Pewaukee
Brian Leightner, City of Pewaukee
Greg R. Calhoun, P.E., Ruekert & Mielke, Inc.
DeLeah M. Willman, E.I.T., Ruekert & Mielke, Inc.



Ms. Magdelene J. Wagner, P.E.
City of Pewaukee
December 30, 2021
Page 3

CLIENT NAME:

City of Pewaukee

Signature: _____

Title: _____

Date: _____

ATTEST:

By: _____

Title: _____

Date: _____

Designated Representative:

Name: _____

Title: _____

Phone Number: _____

ENGINEER:

Ruekert & Mielke, Inc.

Signature: 
Kenneth R. Ward

Title: Vice President

Date: December 30, 2021

Designated Representative:

Name: Kenneth R. Ward, P.E.

Title: Vice President

Phone Number: (262) 542-5733

January 12, 2022

Mr. Michaelis Gabbey, P.E.
Chief Engineer – Streets and Development
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

Re: Proposal for Weyer Road Quiet Zone

Dear Mr. Gabbey:

Thank you for allowing raSmith to provide you with a proposal for professional services. We look forward to working with the City of Pewaukee on the Weyer Road Quiet Zone project. We strive to develop a long-term, mutually beneficial relationship with our clients and are committed to understanding your challenges and developing solutions that meet your needs.

Scope of Services

In December of 2019, we provided the City with a memorandum which summarized the work done in 2013 and 2014 related to this project. Based on that document, we propose the following scope of work.

- A. Meet with City staff to confirm the proposed direction city officials desire to take regarding the establishment of a Quiet Zone at Weyer Road and the Canadian National Railroad and to review the steps as indicated below.
- B. Prepare for and attend a Diagnostic Team Review meeting. This task will include creating an updated contact list, coordinating the meeting time and day, and running the meeting. Anticipated participants would include Wisconsin Department of Transportation (WisDOT), Federal Railroad Administration (FRA) staff, staff from City of Pewaukee and Town of Lisbon.
- C. Prepare and send Notice of Intent to Canadian National RR, FRA, WisDOT and other rail users. The NOI must include a resolution from the City Council (sample form will be provided), a completed U.S. DOT Crossing Form, and other railroad information (#of trains, control devices, signage, photos, pavement markings, physical characteristics of the crossing, AADT at the crossing and school bus use). There is a 60-day comment period for the NOI.
- D. Apply to the FRA for approval of a raised median ASM on the west side of the crossing.
- E. Prepare construction plans and specifications for crossing improvements. We assume that the City would bid out the work and perform contract award, contract preparation, construction coordination and inspection. Modifications to the gate and signals would be performed by the railroad.
- F. Once the improvements have been completed, prepare the Notice of Establishment and provide to all stakeholders. This task will include updating the U.S. DOT Crossing Form and providing photos of the crossing improvements and signage.



Mr. Michaelis Gabbey, Chief Engineer
Page 2 / January 12, 2022

Completion Schedule

We will establish a mutually beneficial project schedule at the initial meeting with the City.

Professional Fees

The above services will be provided for on a time-and-expense basis with an estimate of \$15,000. Services will be billed each month based on the work completed.

Usual and customary expenses such as mileage, printing, delivery, and postage are not included in the above fee and will be billed at cost as a reimbursable expense.

This proposal does not include any services beyond those described in the above scope of services. raSmith offers an array of supplemental services that are available at your request, as this proposal does not include any services beyond those described in the Scope of Services.

Client Responsibilities/Assumptions

- A. The terms and conditions set forth herein are valid for 60 days from the date of this proposal and are conditioned upon our completion of all services within 275 days.
- B. The hourly rates shown on the Professional Fees Rate Schedule are subject to change on an annual basis.
- C. The City shall provide any existing data relevant to the proposed project including but not limited to electronic AutoCAD base files of survey and utilities. Verification of information provided by others is not a part of the Scope of Services; therefore, any problems arising out of the use of such information shall not be the responsibility of raSmith.
- D. City shall pay for all project review and permit fees, and expenses related to sending out critical documents via Certified Mail Receipt Required. Payment of fees to various agencies for plan reviews and other reasons may be necessary throughout the course of this project. Timely remittance of these fees is very important since agencies will not accept review packages without the required fees. The project could be delayed significantly if submittals are not received when needed.
- E. After work has commenced, any revisions requested by the City, FRA, WisDOT or Railroad, or necessitated by conditions beyond our control, will be considered extra work requiring additional compensation.
- F. The Owner shall advertise and receive bids for the construction portion of the project.
- G. Public meeting attendance is not included and will be completed on a time and materials basis, if requested.
- H. Plans to be prepared based on base plans prepared in 2011 (no new survey data anticipated).



Mr. Michaelis Gabbey, Chief Engineer
Page 3 / January 12, 2022

If you would like to authorize raSmith to proceed with your project, please sign the attached Professional Services Agreement Between Client and Professional, and forward a signed copy of the entire Agreement to our office. Once received, we will execute and return a copy for your records. Should you have any questions related to this proposal, please contact me at (262) 317-3307 or tim.barbeau@rasmith.com. We look forward to working with you on this project.

Sincerely,
raSmith

A handwritten signature in blue ink that reads 'Timothy G. Barbeau'.

Timothy G. Barbeau, P.E., P.L.S.
Senior Project Manager

Enclosures: Professional Services Agreement
Rate Schedule

bth:W:\MKTG\Proposals by Division\Municipal\2022\Pewaukee - City Quiet Zone\EP 220112 Gabbey_Pewaukee Weyer Road Quiet Zone.docx



**PROFESSIONAL SERVICES AGREEMENT
BETWEEN CLIENT AND PROFESSIONAL**

THIS IS AN AGREEMENT effective as of _____ ("Effective Date") between City of Pewaukee ("Client") and R.A. Smith, Inc. ("Professional").

Client's Project, of which Professional's services under this Agreement are a part, is generally identified as follows:

Weyer Road Quiet Zone Establishment ("Project").

Professional's services under this Agreement are generally identified as follows:

Application and coordination related to establishing a quiet zone; preparation of plans and specifications. ("Services").

Client and Professional further agree as follows:

1.01 Basic Agreement and Period of Service

- A. Professional shall provide or furnish the Services solely for the benefit of Client as set forth in this Agreement and in the attached proposal. If authorized by Client, or if required because of changes in the Project, Professional shall furnish services in addition to those set forth above ("Additional Services").

2.01 Payment Procedures

- A. *Invoices:* Professional shall prepare invoices in accordance with its standard invoicing practices and submit the invoices to Client on a monthly basis. Invoices are due and payable within 30 days of invoice date. If Client fails to make any payment due Professional for Services, Additional Services, and expenses within 30 days after receipt of Professional's invoice, then (1) the amounts due Professional will be increased at the rate of 1.0% per month (or the maximum rate of interest permitted by law, if less) from said thirtieth day, and (2) in addition Professional may, after giving seven days written notice to Client, suspend Services under this Agreement until Professional has been paid in full all amounts due for Services, Additional Services, expenses, and other related charges. Client waives any and all claims against Professional for any such suspension.
- B. *Payment:* As compensation for Professional providing or furnishing Services and Additional Services, Client shall pay Professional as set forth in this agreement. If Client disputes an invoice, either as to amount or entitlement, then Client shall promptly advise Professional in writing of the specific basis for doing so, may withhold only that portion so disputed, and must pay the undisputed portion.

2.02 Basis of Payment

- A. Client shall pay Professional for Services in the amount and manner provided in the attached proposal.
- B. *Additional Services:* Unless specified in the attached proposal, for Additional Services, Client shall pay Professional an amount equal to the cumulative hours charged in providing the Additional Services by each class of Professional's employees, times standard hourly rates for each applicable billing class; plus reimbursement of expenses incurred in connection with providing the Additional Services and Professional's consultants' charges, if any.

3.01 Suspension and Termination

- A. The obligation to continue performance under this Agreement may be suspended:
1. *By Client:* Client may suspend the Project for up to 90 days upon seven days written notice to Professional.
 2. *By Professional:* Professional may, after giving seven days written notice to Client, suspend services under this Agreement if Client has failed to pay Professional for invoiced services and expenses, as set forth in this Agreement.
- B. The obligation to continue performance under this Agreement may be terminated:
1. For cause,
 - a. By either party upon 14 days written notice in the event of substantial failure by the other party to perform in accordance with the Agreement's terms through no fault of the terminating party. Failure to pay Professional for its services is a substantial failure to perform and a basis for termination.
 - b. By Professional:
 - 1) upon seven days written notice if Client demands that Professional furnish or perform services contrary to Professional's responsibilities as a licensed professional; or
 - 2) upon seven days written notice if the Professional's Services are delayed for more than 90 days for reasons beyond Professional's control, or as the result of the presence at the Site of undisclosed Constituents of Concern.
 - c. By Client, for convenience, effective upon Professional's receipt of written notice from Client

- d. Professional shall have no liability to Client on account of a termination for cause by Professional.
 - e. Notwithstanding the foregoing, this Agreement will not terminate as a result of a substantial failure under this section if the party receiving such notice begins, within seven days of receipt of such notice, to correct its substantial failure to perform and proceeds diligently to cure such failure within no more than 30 days of receipt of notice; provided, however, that if and to the extent such substantial failure cannot be reasonably cured within such 30 day period, and if such party has diligently attempted to cure the same and thereafter continues diligently to cure the same, then the cure period provided for herein shall extend up to, but in no case more than, 60 days after the date of receipt of the notice.
- C. In the event of any termination under this section, Professional will be entitled to invoice Client and to receive full payment for all Services and Additional Services performed or furnished in accordance with this Agreement, plus reimbursement of expenses incurred through the effective date of termination in connection with providing the Services and Additional Services, and Professional's consultants' charges, if any.
- 4.01 *Successors, Assigns, and Beneficiaries*
- A. Client and Professional are hereby bound and the successors, executors, administrators, and legal representatives of Client and Professional are hereby bound to the other party to this Agreement and to the successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
 - B. Neither Client nor Professional may assign, sublet, or transfer any rights under or interest (including, but without limitation, money that is due or may become due) in this Agreement without the written consent of the other party, except to the extent that any assignment, subletting, or transfer is mandated by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.
 - C. Unless expressly provided otherwise, nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Client or Professional to any Constructor, other third-party individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Client and Professional and not for the benefit of any other party.
- 5.01 *General Considerations*
- A. *Standard of Care*
The standard of care for all professional engineering and related services performed or furnished by Professional under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Professional makes no warranties, express or implied, under this Agreement or otherwise, in connection with any services performed or furnished by Professional. Subject to the foregoing standard of care, Professional and its consultants may use or rely upon design elements and information ordinarily or customarily furnished by others, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards.
 - B. *Design Without Construction Phase Services*
Professional shall not at any time supervise, direct, control, or have authority over any Constructor's work, nor shall Professional have authority over or be responsible for the means, methods, techniques, sequences, or procedures of construction selected or used by any Constructor, or the safety precautions and programs incident thereto, for security or safety at the Project site, nor for any failure of a Constructor to comply with laws and regulations applicable to such Constructor's furnishing and performing of its work. Professional shall not be responsible for the acts or omissions of any Constructor. Professional neither guarantees the performance of any Constructor nor assumes responsibility for any Constructor's failure to furnish and perform its work.
 - C. *Opinions of Cost*
Professional's opinions (if any) of probable construction cost are to be made on the basis of Professional's experience, qualifications, and general familiarity with the construction industry. However, because Professional has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, Professional cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from opinions of probable construction cost prepared by Professional. If Client requires greater assurance as to probable construction cost, then Client agrees to obtain an independent cost estimate. Professional shall not be responsible for any decision made regarding the construction contract requirements, or any application, interpretation, clarification, or modification of the construction contract documents other than those made by Professional or its consultants.
 - D. *Use of Documents*
All documents prepared or furnished by Professional are instruments of service, and Professional retains an ownership and property interest (including the copyright and the right of reuse) in such documents, whether or not the Project is completed. Client shall have a limited license to use the documents on the Project, extensions of the Project, and for related uses of the Client, subject to receipt by Professional of full payment due and owing for all Services and Additional Services relating to preparation of the documents and subject to the following limitations:
 - 1. Client acknowledges that such documents are not intended or represented to be suitable for use on the Project unless completed by Professional, or for use or reuse by Client or others on extensions of the Project, on any other project, or for any other use or purpose, without written verification or adaptation by Professional;

2. Any such use or reuse, or any modification of the documents, without written verification, completion, or adaptation by Professional, as appropriate for the specific purpose intended, will be at Client's sole risk and without liability or legal exposure to Professional or to its officers, directors, members, partners, agents, employees, and consultants;
3. Client shall indemnify and hold harmless Professional and its officers, directors, members, partners, agents, employees, and consultants from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from any use, reuse, or modification of the documents without written verification, completion, or adaptation by Professional; and
4. Such limited license to Client shall not create any rights in third parties.

E. **Liability**

To the fullest extent permitted by Laws and Regulations, and notwithstanding any other provision of this Agreement, the total liability, in the aggregate, of Professional and Professional's officers, directors, employees, and Consultants, to Client and anyone claiming by, through, or under Client for any and all injuries, claims, losses, expenses, costs, or damages whatsoever arising out of, resulting from, or in any way related to the Project, Professional's or its Consultants services or this Agreement from any cause or causes whatsoever, including but not limited to the negligence, professional errors or omissions, strict liability, breach of contract, indemnity obligations, or warranty express or implied of Professional or Professional's officers, directors, employees, or Consultants shall not exceed the total amount of \$100,000 or the total compensation received by Professional under this Agreement, whichever is less.

F. **Indemnification**

To the fullest extent permitted by Laws and Regulations, Client shall indemnify and hold harmless Professional and Professional's officers, directors, employees, and Consultants from and against any and all claims, costs, losses and damages (including but not limited to all fees and charges of Professionals, architects, attorneys, and other professionals, and all court, arbitration, or other dispute resolution costs) arising out of or relating to the Project, provided that any such claim, cost, loss, or damage is attributable to bodily injury, sickness, disease, or death or to injury to or destruction of tangible property (other than the Work itself), including the loss of use resulting therefrom, but only to the extent caused by any negligent act or omission of the Client or Client's officers, directors, members, partners, agents, employees, consultants, or others retained by or under contract to the Client with respect to this Agreement or to the Project.

G. **Dispute Resolution**

Client and Professional agree to negotiate each dispute between them in good faith during the 30 days after written notice of dispute. If negotiations are unsuccessful in resolving the dispute, then the dispute shall be mediated. If mediation is unsuccessful, then the parties may exercise their rights at law. The venue for all disputes shall be the state of Wisconsin. Attorney fees will be borne by the non-prevailing party.

H. **Governing Law**

This Agreement is to be governed by the law of the state of Wisconsin.

6.01 **Agreement**

- A. This Agreement (including any expressly incorporated attachments), constitutes the entire agreement between Client and Professional and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument. Nothing in this Agreement between Professional and Client shall create a contractual relationship between either Professional and Client and an outside third party.

7.01 **Lien Notice**

- A. As required by the Wisconsin construction lien law, Professional hereby notifies Client that persons or companies performing, furnishing, or procuring labor, services, materials, plans, or specifications for the construction on Client's land may have lien rights on Client's land and buildings if not paid. Those entitled to lien rights, in addition to the undersigned Professional, are those who contract directly with the Client or those who give the Client notice within 60 days after they first perform, furnish, or procure labor, services, materials, plans or specifications for the construction. Accordingly, Client probably will receive notices from those who perform, furnish, or procure labor, services, materials, plans, or specifications for the construction, and should give a copy of each notice received to the mortgage lender, if any. Professional agrees to cooperate with the Client and the Client's lender, if any, to see that all potential lien Professionals are duly paid.



IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1.

Project Name: Weyer Road Quiet Zone

Client: City of Pewaukee

Professional: R.A. Smith, inc.

By: _____

By: _____

Print name: _____

Print name: Timothy G. Barbeau, P.E., P.L.S.

Title: _____

Title: Senior Project Manager

Date Signed: _____

Date Signed: _____

Address for Client's receipt of notices:

Address for Professional's receipt of notices:

City of Pewaukee

R.A. Smith, Inc.

W240 N3065 Pewaukee Road

16745 West Bluemound Road

Pewaukee, WI 53072

Brookfield, WI 53005

Client's Phone:

Professional's Phone: 262-317-3307

Client's Email:

Professional's Email: tim.barbeau@rasmith.com

**PROFESSIONAL FEES RATE SCHEDULE
GENERAL 2022 RATES**

ENGINEERING SERVICES

2022 PER HOUR

Principal-In-Charge.....	\$245
Division Director	\$219
Senior Project Consultant.....	\$198
Senior Project Manager.....	\$179
Project Manager	\$163
Senior Project Engineer.....	\$163
Project Engineer	\$155
Civil Engineer	\$109 - \$146
Engineering Technician	\$ 79 - \$140
Planner	\$116 - \$163
Landscape Architect.....	\$150 - \$175
Landscape Technician.....	\$123
Irrigation Designer	\$160
Ecologist	\$124 - \$150
Senior Structural Engineer	\$148 - \$182
Structural Engineer.....	\$108 - \$137
Structural CAD Technician	\$ 90 - \$108

SURVEYING SERVICES

Survey Director.....	\$172
Senior Project Manager.....	\$161
Project Manager	\$147
2-Member Field Crew GPS/Robotics	\$218
Field Person GPS/Robotics	\$150
GPS Equipment.....	\$ 29
Project Surveyor	\$124
Survey Technician	\$ 90 - \$121
3D Laser Scan Project Manager	\$147
3D Laser Scan Technician	\$108
2-Member Field Crew w/Scanner.....	\$244
3-Member Field Crew w/Scanner.....	\$420

CONSTRUCTION SERVICES

Construction Services Manager	\$177
Construction Technician	\$ 94 - \$153

GIS & VISUALIZATION SERVICES

GIS Project Manager	\$147 - \$166
GIS Technician	\$ 90 - \$130
Visualization Services Manager	\$141
Visualization Technician	\$119 - \$132

IT & ADMINISTRATIVE SERVICES

Computer Services	\$191
Grants Specialist	\$130
Project Technician	\$ 89
Litigation/Expert Witness	\$289 - \$314

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 12.**

DATE: May 2, 2022

DEPARTMENT: Public Works

PROVIDED BY: Magdelene Wagner

SUBJECT:

Discussion and Possible Action Regarding **Ordinance 22-13** Amending Chapter 5 - Traffic, to Remove Lindsay Road from Redford Boulevard (CHT F) to Duplainville Road from and to Add Hughes Trail to Section 5.05(3)(b) (*First Reading*) [Wagner]

BACKGROUND:

Lindsay Road is currently Heavy Weight Restricted year round to 6 Tons. With the upcoming Duplainville Road Reconstruction, the intersection improvements at Redford Boulevard (CHT F) and Lindsay Road, and development plans for the remaining land in this corridor, Staff is recommending removing the 6 Ton Heavy Weight Restriction between Redford Boulevard (CHT F) and Duplainville Road.

Lindsay Road west of Redford Boulevard would remain heavy weight restricted as this area is largely residential and plans to remain this zoning.

The Public Works Committee is recommending this change and the Common Council reviewed this item and concurred on April 18, 2022.

The second change which has not been discussed before is adding Hughes Trail to the year round weight restriction. There has been reports of trucks using Hughes Trail to turn around when it appears they miss the entrance to the Pewaukee Industrial Park Development just south of this roadway. Hughes Trail was not constructed to handle the loading from these trucking operations on a regular basis. Therefore, Staff is requesting adding a 6 Ton year round heavy weight restriction to the roadway.

This is the first reading of amending the Chapter 5.05(3)(b) reflecting both changes discussed above.

FINANCIAL IMPACT:

RECOMMENDED MOTION:

Common Council adopt the amendment to Ordinance Chapter 5.05(3)(b)

ATTACHMENTS:

Description
Ordinance 22-13

ORDINANCE NO. 22-13

**AN ORDINANCE TO AMEND SECTION 5.05(3)(b)
OF THE CITY OF PEWAUKEE CODE OF ORDINANCES
CONCERNING SPECIAL AND SEASONAL WEIGHT LIMITS**

WHEREAS, Section 349.16 of the Wisconsin Statutes grants the City authority to impose special and seasonal weight limitations to prevent injury to the roadway of any highway, bridge or culvert within the jurisdiction of the City or for the safety of users of such highway, bridge or culvert; and

WHEREAS, Section 349.16(3) of the Wisconsin Statutes further grants the City the authority to exempt or set different weight limitations for vehicles that are carrying certain commodities specified by the City or that are used to perform certain services specified by the City from the special weight limitations which are imposed under Section 349.16(1)(a) of the Wisconsin Statutes if the exemption or limitation is reasonable and necessary to promote the public health, safety, and welfare; and

WHEREAS, the City of Pewaukee has acted in Section 5.05(3)(a) of the City of Pewaukee Code of Ordinances to prohibits vehicles having a gross weight of more than 12,000 pounds are prohibited from traveling on any highway except as authorized by Section 349.17(1) of the Wisconsin State Statutes; and

WHEREAS, the City of Pewaukee has further acted in Section 5.05(3)(b) of the City of Pewaukee Code of Ordinances to designate streets in which Heavy Traffic is prohibited; and

NOW, THEREFORE, the Common Council of the City of Pewaukee, Wisconsin do ordain as follows:

SECTION 1. Chapter 05, entitled “Traffic”; Section 5.05, entitled “Vehicular Weight Limitations”, subsection (3), entitled “Regulations of Heavy Traffic”, subsection 9b), entitled “Main Heavy Traffic Routes” is amended as follows:

5) Lindsay Road from Ryan Road (CTH KF) to Redford Boulevard (CTH F).

SECTION 2: SEVERABILITY.

The several sections of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of any other provisions, sections or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

SECTION 3: EFFECTIVE DATE.

This ordinance shall take effect immediately upon passage and publication as provided by law.

Passed and adopted at a regular meeting of the Common Council of the City of Pewaukee this 16th day of May 2022.

CITY OF PEWAUKEE

Steve Bierce, Mayor

ATTEST:

Kelly Tarczewski, City Clerk/Treasurer

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 13.**

DATE: May 2, 2022

DEPARTMENT: PW - Streets

PROVIDED BY: Magdelene Wagner/Matthew Stevens

SUBJECT:

Discussion and Possible Action Regarding the 2022 and 2023 Truck Purchase

BACKGROUND:

Staff has been reviewing and getting quotes for the Plow Truck replacement for 2022. In discussion with the suppliers, supply chain issues will affect the availability and delivery dates of the trucks. These supply chain issues are anticipated to impact availability of trucks for 2023 as well.

The truck body and set up have been ordered for the 2022 truck replacement and we have placed 50 percent down to reserve this order. Unfortunately, the cab and chassis is not available, but we can reserve this with an intent of purchase. This will allow us to get in the queue and receive this truck in 2023, one year later than the current City replacement schedule.

Looking forward, we discussed the anticipated 2023 truck replacement with our vendors. We have been told that if the 2023 truck is not reserved in 2022, it is not anticipated to be available until 2025 for delivery. If we reserve this truck now, we would anticipate a delivery in 2023.

In order to keep our truck replacement schedule on track, we are proposing to place body and setup order and pay 50 percent down for the 2023 truck in 2022 (recall we have already completed this step for the 2022 truck). We would also reserve order the cab and chassis for the 2022 and 2023 trucks in 2022, but payment would not be until 2023.

FINANCIAL IMPACT:

As of 12/31/2021, we have approximately \$172,000 (2022 truck) and \$152,180 (2023 truck) in the Capital Equipment Fund for these truck replacements so there is sufficient funds in the Fund to complete this proposal.

RECOMMENDED MOTION:

Common Council authorize the body and setup order with down payment for the 2023 truck one year early and authorize the notice of intent to purchase the cab and chassis for the 2022 and 2023 trucks.

**CITY OF PEWAUKEE
COMMON COUNCIL AGENDA ITEM 14.**

DATE: May 2, 2022

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

Discussion and Possible Action for No Mow May [Mayor Bierce]

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION: