

Building Services

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-9107 Fax (262) 691-6039

ZONING BOARD OF APPEALS MEETING NOTICE AND AGENDA

Tuesday, June 11, 2024

6:00 PM

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road ~ Pewaukee, Wisconsin

1. Call to Order and Pledge of Allegiance
2. **PUBLIC HEARING**, Discussion and Possible Action Regarding the Petition of Shawn and Stephanie Ward for a Variance for the Existing Home Located at W278 N2697 Rocky Point Road (PWC 0934-045). The Applicants are Requesting a Variance from Sections 17.0409f.(1) and 17.0905 to Allow for the Construction of a Building Addition to the Existing Home with a 15-Foot Street Side Setback, Opposed to the Required Minimum Street Side Setback of 40-Feet.
3. Adjournment

Kelly Tarczewski
Clerk/Treasurer

May 29, 2024

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the Clerk/Treasurer, Kelly Tarczewski, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
ZONING BOARD OF APPEALS AGENDA ITEM 2.**

DATE: June 11, 2024

DEPARTMENT: Clerk/Treasurer

PROVIDED BY:

SUBJECT:

PUBLIC HEARING, Discussion and Possible Action Regarding the Petition of Shawn and Stephanie Ward for a Variance for the Existing Home Located at W278 N2697 Rocky Point Road (PWC 0934-045). The Applicants are Requesting a Variance from Sections 17.0409f.(1) and 17.0905 to Allow for the Construction of a Building Addition to the Existing Home with a 15-Foot Street Side Setback, Opposed to the Required Minimum Street Side Setback of 40-Feet.

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Ward ZBA Application

Ward Staff Report

March 25, 2024

Office of the Planner & Community Development Director
Variance Request
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

To the Honorable Mayor & Zoning Board of Appeals,

We are applying for a Residential Variance for a home addition for what is considered a 'corner' lot in our Rs-5 F District. We have owned this property for 23 years, and previously owned a home on Peninsula Drive for 10 years.

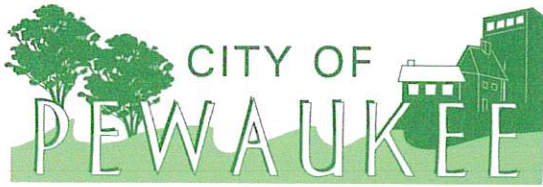
We are looking at adding a ground level single story bedroom and garage, as we are both retired and preparing for our senior years. We understand corner lots have a 40' setback requirement for both streets. We are requesting a 15' setback requirement on the lesser used dead-end side street - as all other residential lots enjoy in our neighborhood.

The addition would include a single-story bedroom and full bath, with a full height basement below it. It would also include a ground level single story 2-car attached garage. The addition would be placed 15' from the north side Milwaukee Avenue property line, 15' from the south side property line, 84' from the west side 100-year floodplain and 370' from the east side Rocky Point Road property line.

We raised our three children in this house, and would like to continue to use it as we age with a ground level bedroom and garage. We feel this current design is within all perimeters (except the corner lot setback) of all other zoning restraints for residential properties in our neighborhood.

Feel free to contact us with any questions. Thank you for your consideration.

Shawn & Stephanie Ward
W278 N2697 Rocky Point Road
Pewaukee, WI 53072
C 414-698-1000
shawnward@earthlink.net



Office of the Planner & Community Development Director
 W240 N3065 Pewaukee Road
 Pewaukee, Wisconsin 53072
 Phone (262) 691-0770
 Fax (262) 691-1798
fuchs@pewaukee.wi.us

APPLICATION FOR VARIANCE REQUEST

TO THE HONORABLE MAYOR AND ZONING BOARD OF APPEALS OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Zoning Board of Appeals of the City of Pewaukee, Waukesha County, Wisconsin requesting a variance from: Rs-5 F. District Setback & Yards, 17.0905 Corner Lots and 138-Lot Corner Requirements. This is a residential home on Rocky Point Road that we have owned for 23 years.

Legal description of property to be rezoned – Please attach. Included in attached Survey.

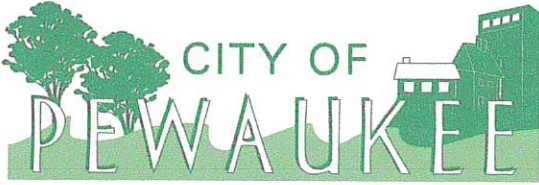
Common property description or name: Residential
Property Address: W278N2697 Rocky Point Road **Tax Key Number(s):** PWC 0934-045
Property owner(s) (Full Legal Name): Shawn Aaron and Stephanie Kay Ward
Owner's Address: W278N2697 Rocky Point Road **City/State/Zip:** Pewaukee Wi 53072
Phone: 414-698-1000 **Email:** shawnward@earthlink.net

Applicant (Full Legal Name):
Name: Shawn Aaron & Stephanie Kay Ward
Company: N/A
Address: W278N2697 Rocky Point Road
City/State/Zip: Pewaukee, WI 53072
Phone: 414-698-1000
Email: shawnward@earthlink.net

Contact Person (Full Legal Name):
Name: Same
Company: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Variance submittals must include and be accompanied by the following:

- This Application form accurately completed with original signatures.
- Application Filing Fee, payable to the City of Pewaukee:
 - \$400.00
 - Note costs for publication, notice and all attorney fees related to the project shall be paid by the applicant and will be invoiced separately
- Five (5) complete collated sets of Application materials to include:
 - A written project narrative detailing the request and site & building improvements.
 - Scaled drawings, as may be applicable, including, but not limited to; a site plan, building elevations, colored renderings, and natural resource delineations.
- Variance Findings Form
- All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to tarczewski@pewaukee.wi.us.
- Note twelve (12) additional sets of plans will be required for the Zoning Board of Appeals following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



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 W240 N3065 Pewaukee Road
 Pewaukee, Wisconsin 53072
 Phone (262) 691-0770
 Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

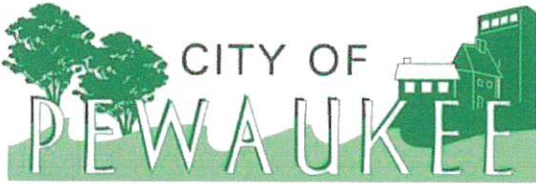
(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

PETITIONER'S/APPLICANT'S SIGNATURE: Shawn A Ward
NAME & TITLE (PRINT): SHAWN A. WARD OWNER
SIGN AND DATED this 28TH **day of** MARCH, 2024.

PROPERTY OWNER'S SIGNATURE: SAME
NAME & TITLE (PRINT): _____
SIGN AND DATED this _____ **day of** _____, _____.

PROPERTY OWNER'S SIGNATURE: _____
NAME & TITLE (PRINT): _____
SIGN AND DATED this _____ **day of** _____, _____.

City Staff-
RECEIVED at City Hall by: _____ on _____
 Fee paid: \$ _____ Date: _____.



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VARIANCE FINDINGS FORM

It is recommended that this form be completed and submitted as part of all variance requests.

Date: 3/25/2024 Property Owner: Shawn & Stephanie Ward
 Property Address: W278N2697 Rocky Point Road

Section 17.1007 states, "No variance to the provisions of this Ordinance shall be granted by the Board unless it finds beyond a reasonable doubt that all the following facts and conditions exist and so indicates such in the minutes of its proceedings:

- a. Preservation of Intent: No variance shall be granted that is not consistent with the purpose and intent of the regulations for the district in which the development is located. No variance shall have the effect of permitting a use in any district that is not a stated permitted principle use, permitted accessory use, or permitted conditional use in that particular district.

We are requesting a variance to corner lot requirements - specifically the 40' regulation from the right-of-way of public streets. Our neighbors have 15' setback requirements from side property lines. If the corner lot regulation of 40' from lot line on streets is enforced (for both streets), with a 73' wide lot and a 15' setback on the opposite side, we would have only 18' of property width within to build. We can build our addition within the 75' water frontage setback/the 15' south side lot line setback/the 40' Rocky Point Road setback/the required maximum height of buildings/and the footprint maximum requirement of 20%. We are requesting a 15' setback from the side street(Milwaukee Ave) to build a single story bedroom and garage.

- b. Exceptional Circumstances: There must be exceptional, extraordinary, or unusual circumstances or conditions applying to the lot or parcel, structure, use, or intended use that do not apply generally to other properties or uses in the same district, and the granting of the variance should not be of so general or recurrent nature as to suggest that the Ordinance should be changed.

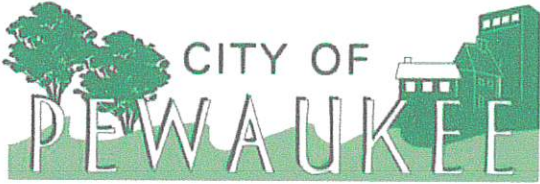
Over 120 years ago, fire lanes (Milwaukee Ave) were placed along Pewaukee Lake. When sewers were put in, Milwaukee Ave. was used for pumping stations for sewer lines. Our home was built in 1910 and has used Milwaukee Ave as an entrance since autos have been used for transportation. In the 1990s, when Milwaukee Ave was repaved, the owner we purchased the property from, was charged 1/2 of the repaving charge from the city, and he in turn charged us in the sale. Milwaukee Ave. is not a thru street, but a dead end only used by the Lake Pewaukee Sanitary District and us. In fact, the last 1/3 of the road closest to our home is steep and dangerous for autos or trucks in the winter, and young bikers in the summer (we have watched 3 kids crash when they forgot to brake). Our request for 15' setback from this side street is consistent with all properties within our district.

- c. Economic or Financial Hardship and Self-Imposed Hardship Not Grounds for Variance: No variance shall be granted on the basis of economic/ financial gain or loss. Self-imposed hardships shall not be considered as grounds for the granting of a variance.

We have no financial hardship. We simply would like to have a ground floor master bedroom and attached garage in preparation for our retirement years which have begun.

- d. Preservation of Property Rights: The variance must be necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same district and same vicinity.

Again, we are not requesting anything that all other property owners within our district currently enjoy. We aren't even requesting a garage that lines up with the side of our house. Our design would setback the addition 15' from the north side property line, the same requirement for all property owners within our district.



e. Absence of Detriment: No variance shall be granted that will create substantial detriment to adjacent property or that will materially impair or be contrary to the purpose and spirit of this Ordinance or the public interest.

The neighbor on our north side is the City of Pewaukee (Milwaukee Ave). The neighbor to the south side in Michael Raciti who has stated he is fine with the addition. The neighbor to our east in across Rocky Point Road and at 800 feet away, cannot even see our home down the hill from his.

f. Additional Requirements in Floodplain District: No variance in or related to a floodplain* shall be granted where:

- (1) A change in the boundaries or elevation of the base flood floodplain (F-1 District) would result.
- (2) A lower degree of flood protection than a point two (2) feet above the 100-year recurrence interval base flood for the particular area would result.
- (3) Any action contrary to the provisions of Chapter NR-116 of the Wisconsin Administrative Code would result. (See sub-section 17.0435 and WisDNR requirements)
- (4) The lot or parcel is larger than one-half acre and is not contiguous to existing structures constructed below the regional (base) flood elevation.
- (5) No good or sufficient cause can be shown; greater than a minimum relief is necessary; there is increased risk to public safety or nuisances; rescue and relief costs would be increased; and, it is contrary to the purposes of this ordinance.
- (6) Such variance would allow alteration of an historical structure and/or use.

The addition would be 88' from the lake edge and approximately 84' from the floodplain edge. The closest part of the addition would be 16' above the 100-year floodplain upper edge. There is no increased risk to pulic safety, rescues or relief costs with this addition. There is no historic structure this addition would alter.

g. When a floodplain variance is granted, the Board shall notify the applicant in writing that it may increase risks to life and property and flood insurance premiums could increase up to \$25.00 per \$100.00 per coverage. A copy shall be maintained with the variance record.

There is no floodplain variance required.

NA  DESIGN

414.731.2930
N BAY RIDGE AVE WHITEFISH BAY
WI 53217

**W278 N2697 ROCKY POINT ROAD,
PEWAUKEE, WI 53072**

**OPTION 02:
ONE STORY BEDROOM &
GARAGE ADDITION**

GENERAL NOTE: NOT CONSTRUCTION DRAWINGS

- 1) ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS FOR THIS PROJECT MUST CHECK AND VERIFY ALL DETAILS, FIELD CONDITIONS, DIMENSIONS, AND BE RESPONSIBLE FOR SAME.
- 2) CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION IS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL CODES.
- 3) ALL STRUCTURAL NOTATIONS ARE FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL STRUCTURAL ENGINEERING TO MEET ALL STATE AND LOCAL CODES AND IS APPROVED BY THE STATE INSPECTOR AND STRUCTURAL ENGINEER.
- 4) FIELD VERIFY ALL DIMENSIONS WITH OWNER BEFORE CONSTRUCTION.

DRAWING LIST	
-	COVER & INDEX
A.1-0	SITE PLAN
A.1-1	EXISTING PLAN
A.2-0 B	PROPOSED PLAN - BASEMENT
A.2-1 B	PROPOSED PLAN - OPTION 02
A.2-2 B	ROOF PLAN
A.3-0	EXISTING ELEVATIONS
A.3-1 B	PROPOSED ELEVATIONS - OPTION 02
A.3-2 B	PROPOSED ELEVATIONS - OPTION 02
9	

DESIGN DRAWINGS
(NOT FOR CONSTRUCTION)

03/27/2024

LEGEND

- SURVEYOR TRAVERSE POINT
- IRON PIPE FOUND
- RM
- WELL
- CLEAN DIRT
- 2x8x10 METER
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- AC UNIT
- POWER POLE
- GUY WIRE
- PEDESTAL
- 4" PVC PIPE
- SIGN
- OVERHEAD WIRE
- ENCROACHMENT
- (D) DESCRIPTION
- (S) SURVEY
- (R.A.) RECORDED AS
- (P) PLATTED

PLAT OF SURVEY

LEGAL DESCRIPTION: The North 72 6/7ths feet of Lot 5, Block A, Plat of BELLEVUE, a subdivision located in Section 16, Township 7 North, Range 19 East, in City of Pewaukee and in Section 13, Township 7 North, Range 18 East, in the Town of Delaford, Waukesha County, Wisconsin.

REFERENCE BEARING: The west right of way line of Rocky Point Road, has a platted bearing of North 08° 15' 00" West.

BENCH MARK: 855.83 (U.S.G.S.) Top of concrete monument found at the West 1/4 corner of Section 16, T7N, R19E.

NOTES:
100 Year Flood Elevation falls within the lake and rip rap along with the Ordinary High Water Mark. (O.H.W.M.)

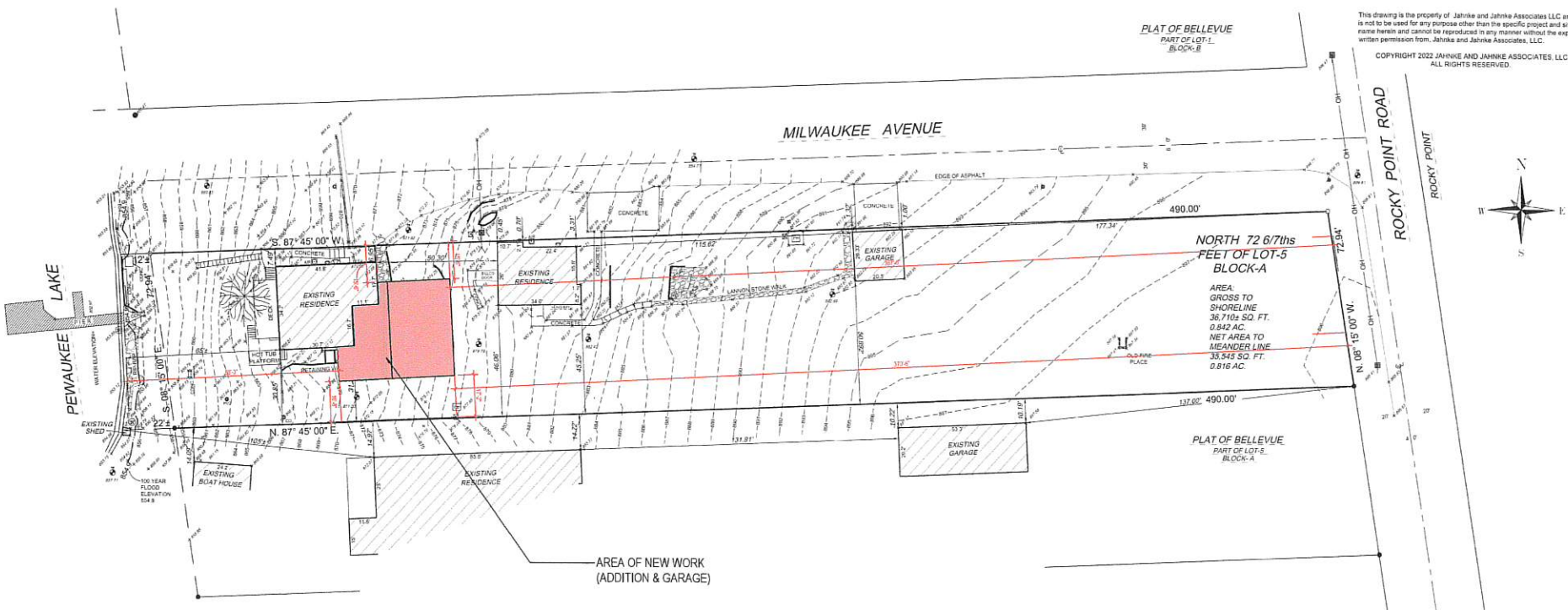
SURVEY NOTES:

- 1) Date of the Survey field work: June 17, 2022.
- 2) Building lines, Easements and other restrictions are not shown herein, should refer to Deed, title policy and local Zoning ordinances.
- 3) All dimensions shown are in decimal feet, US Survey units.
- 4) Review legal description and record measurements on this Plat and at once report any apparent difference to the surveyor.
- 5) Utilities have not been certified, therefore the location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but Jahnke & Jahnke Associates LLC does not guarantee their exact location or the location of others not shown. Contact DigSafe Hotline, Inc. Etc.
- 6) Reference bearing is assumed unless noted.
- 7) No measurements are to be assumed by scaling.
- 8) Any comments, modifications, alterations and revisions to this Survey must be brought to the attention of the PLS surveyor within 30 days from date of completion on this sheet.
- 9) Category of this Survey is based upon client's request.
- 10) To insure legitimacy of this Plat of Survey, it must carry the Embossed Corporate Seal of Jahnke & Jahnke Associates LLC.
- 11) No title policy furnished therefore completeness of legal description and easements are not warranted.

COPYRIGHT NOTICE

This drawing is the property of Jahnke & Jahnke Associates LLC and is not to be used for any purpose other than the specific project and site name herein and cannot be reproduced in any manner without the expressed written permission from Jahnke & Jahnke Associates, LLC.

COPYRIGHT 2022 JAHNKE AND JAHNKE ASSOCIATES LLC
ALL RIGHTS RESERVED.



1 Site Plan
FOR REFERENCE ONLY

STATE OF WISCONSIN ss
COUNTY OF WAUKESHA)
We, Jahnke & Jahnke Associates LLC, do hereby certify that we have made this survey and that the information as shown on the above Plat of Survey is a true and correct representation thereof.

JOHN R. STIGLER Wis Reg No. 18220

Dated this _____ day of _____, 2022

W278 N2697 ROCKY POINT ROAD, PEWAUKEE, WI 53072

NOT FOR CONSTRUCTION

SITE PLAN A-1-0



03/27/2024

SCALE IN FEET
1 OF 1

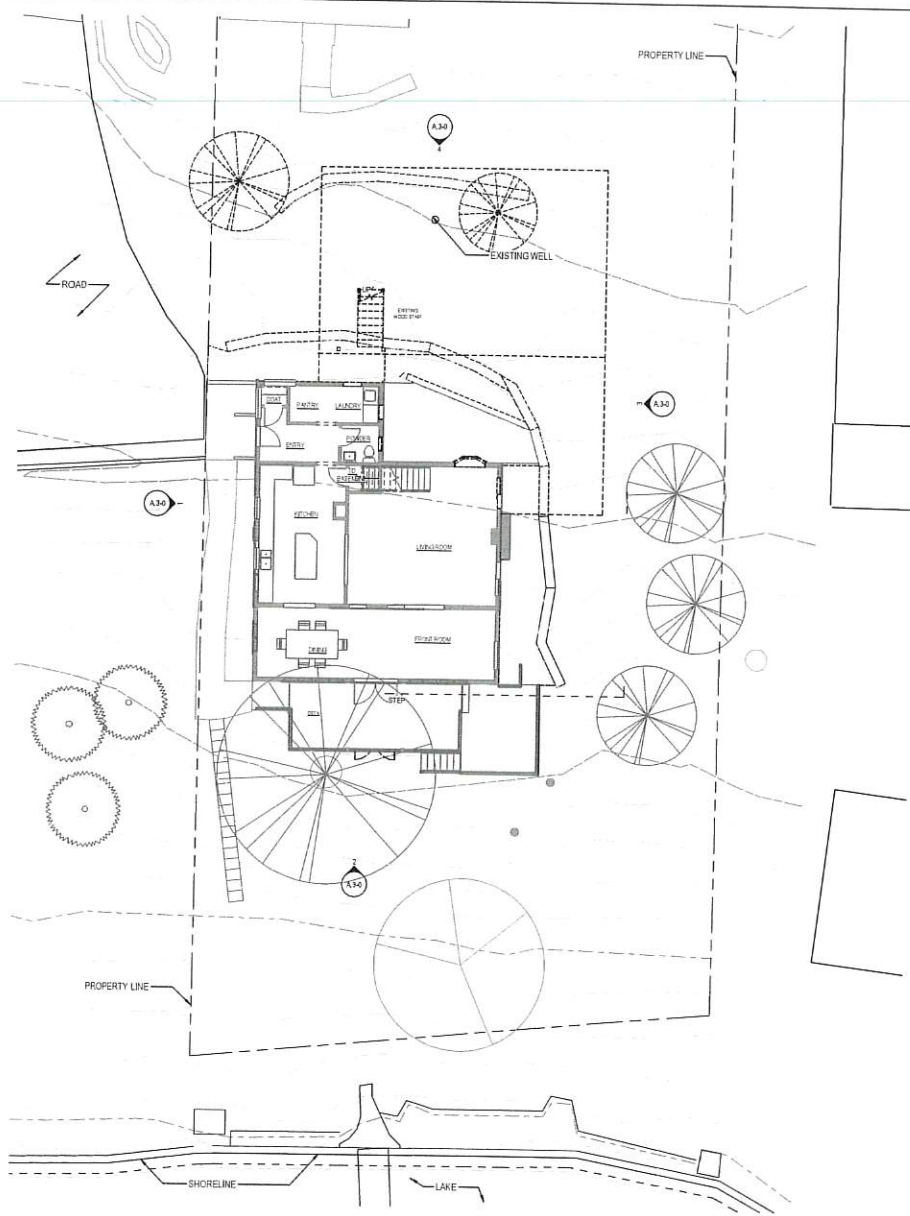
FOR: SHAWN WARD
DRAWN BY: J.P. JAHNKE
CHECKED BY: J.P. JAHNKE
DATE: JUNE 30, 2022
JAHNKE & JAHNKE ASSOCIATES, LLC
354 MILWAUKEE ROAD, WAUKESHA, WISCONSIN 53188
PHONE #: (262) 542-5787, EMAIL: jpl@jahnkeandjahnke.com
WEBSITE: JAHNKEANDJAHNKE.COM



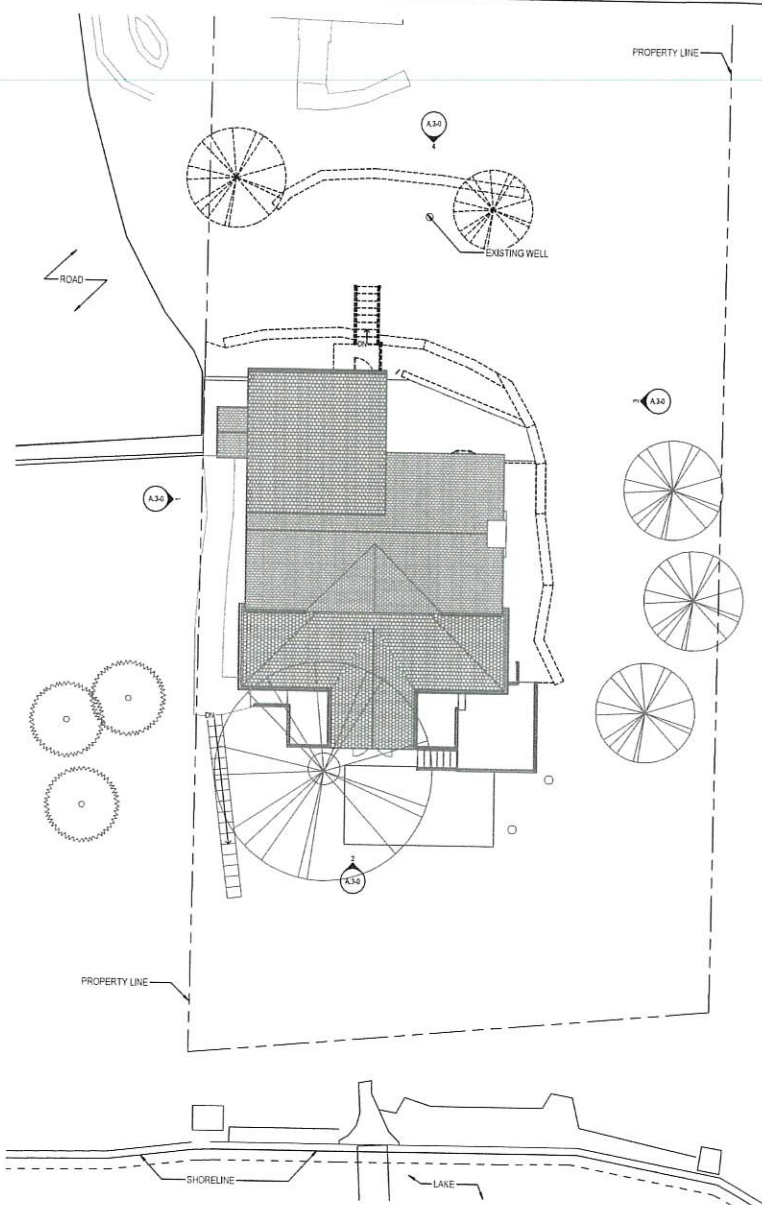
PLAT OF SURVEY
NORTH 72 6/7 FEET OF LOT 5 BLOCK-A
PART OF BELLEVUE
TOWN OF DELAFORD
WAUKESHA COUNTY, WISCONSIN

REVISIONS
6-22 (REK DIMENSION)
3-18-23 (ADDED DECK WITH HOT TUB)





1 1ST FLR - Existing Plan
1/8" = 1'-0"



2 Roof - Existing & Demo
1/8" = 1'-0"

#	DEMOLITION NOTES
1	REMOVE EXISTING ROOF STRUCTURE
2	REMOVE EXISTING ROOF STRUCTURE
3	REMOVE EXISTING ROOF STRUCTURE
4	REMOVE EXISTING ROOF STRUCTURE
5	REMOVE EXISTING ROOF STRUCTURE



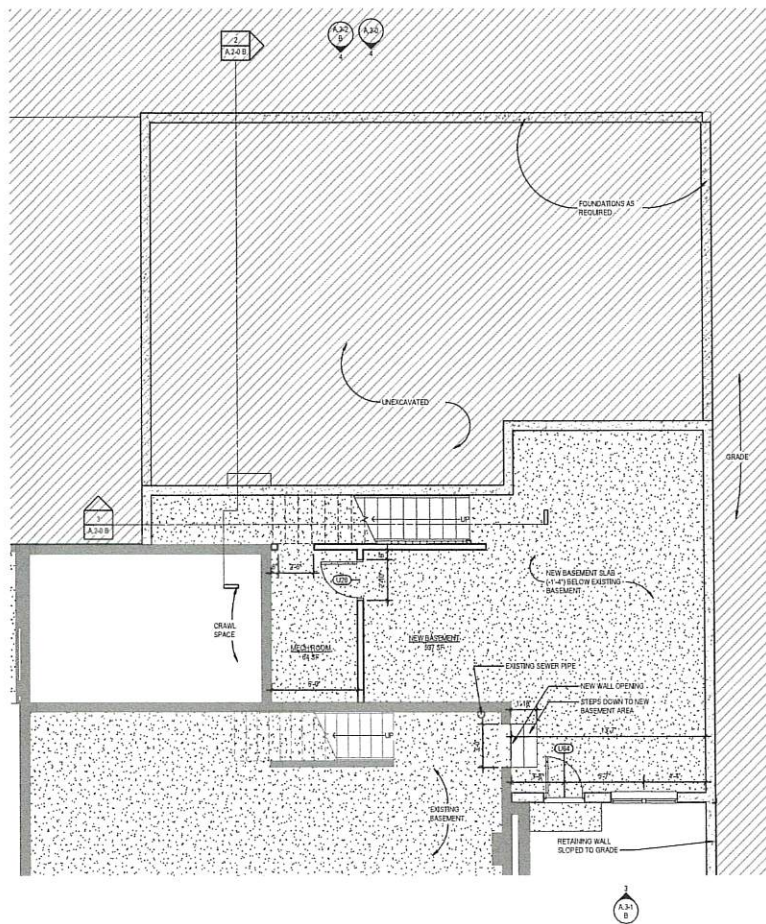
W278 N2697 ROCKY POINT ROAD, PEWAUKEE, WI 53072
NOT FOR CONSTRUCTION

EXISTING PLAN
A.1-1

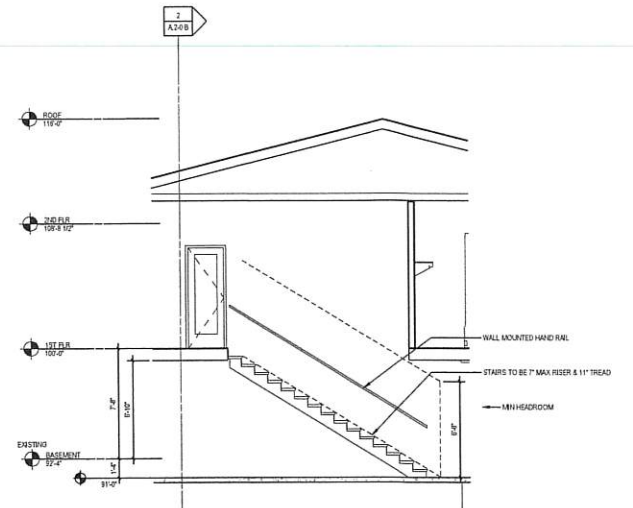
SHEET 24"x36"
03/27/2024

#	GENERAL NOTES
1	CONCRETE WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.
2	ALL CONCRETE SHALL BE 3000 PSI STRENGTH UNLESS OTHERWISE NOTED.
3	CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
4	ALL REINFORCING SHALL BE #4 UNLESS OTHERWISE NOTED.
5	CONCRETE SHALL BE FINISHED WITH A BROOM FINISH UNLESS OTHERWISE NOTED.
6	CONCRETE SHALL BE CURED WITH A MOISTURE CURING AGENT UNLESS OTHERWISE NOTED.
7	CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.
8	CONCRETE SHALL BE PROTECTED FROM DAMAGE DURING OPERATION UNLESS OTHERWISE NOTED.

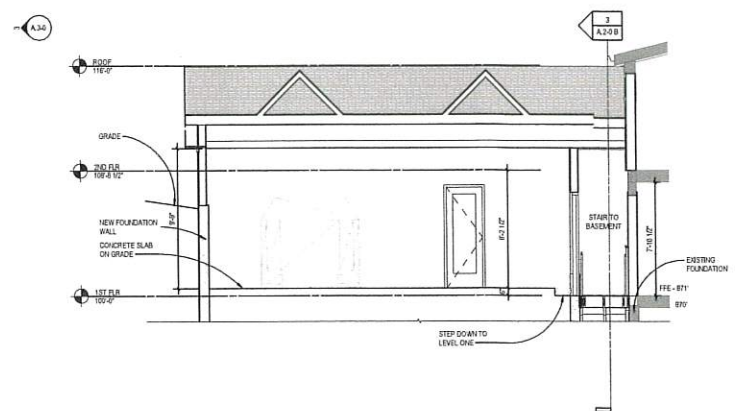
#	BASEMENT NOTES
1	FOUNDATION SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
2	FOUNDATION SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION UNLESS OTHERWISE NOTED.
3	FOUNDATION SHALL BE PROTECTED FROM DAMAGE DURING OPERATION UNLESS OTHERWISE NOTED.



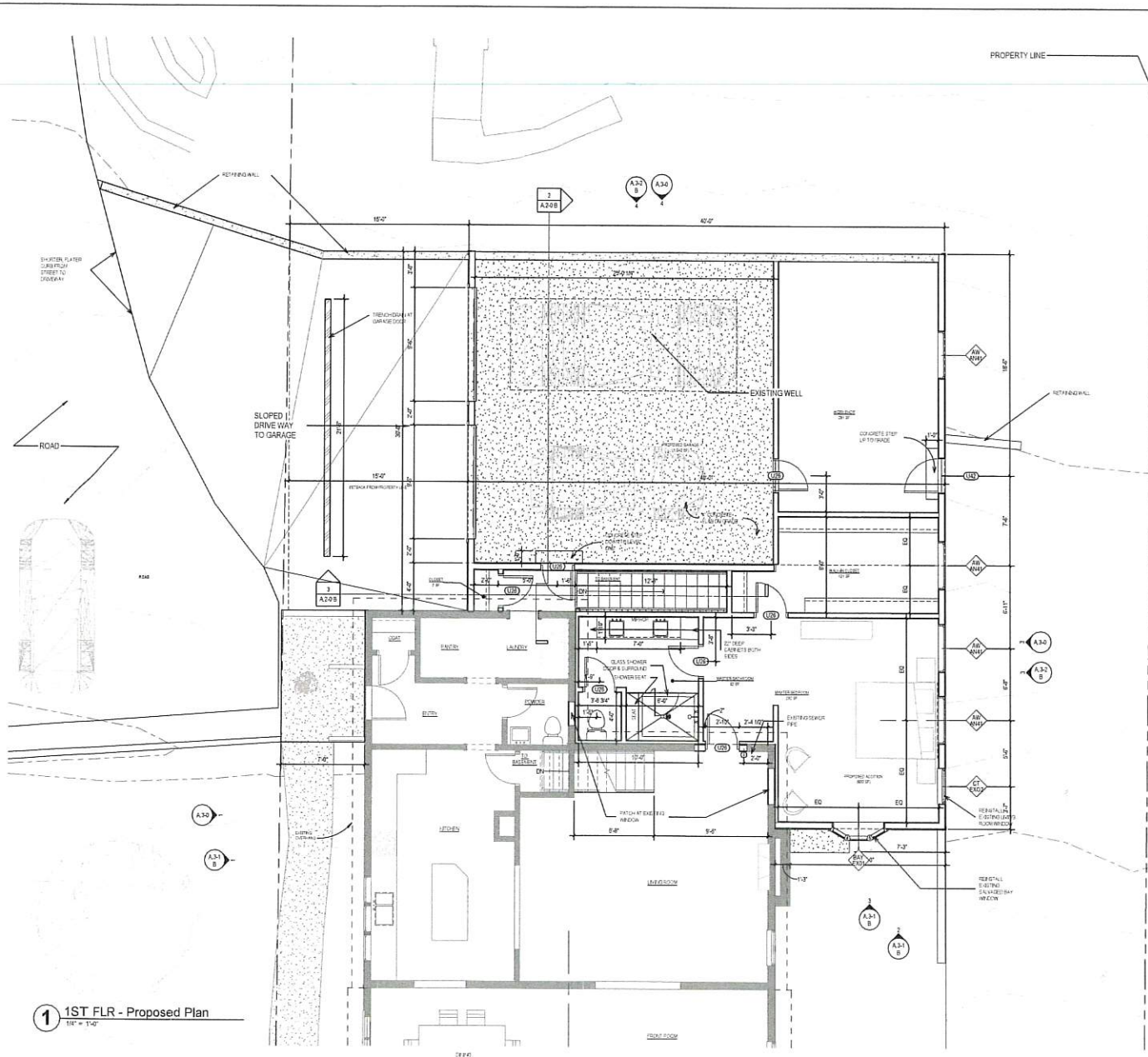
1 Basement Floor - Proposed Plan
1/4" = 1'-0"



3 Stair Section - New
1/4" = 1'-0"



2 Wall Section
1/4" = 1'-0"



GENERAL NOTES	
1	OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
2	CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3	CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4	CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5	CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

BASEMENT NOTES	
1	CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
2	CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3	CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

WINDOW SCHEDULE						
NUMBER	SIZE			DEPTH	STYLE	Type Comments
	WIDTH	HGT	FRAME SASH			
W418	2'-0"	1'-6"	13 1/2"		CASSETTE	
W421	4'-6"	2'-6"	13 1/2"		CT	
W421	4'-6"	1'-6"	13 1/2"		FB	
W421	4'-6"	2'-6"	13 1/2"		BAY	SALVAGE EXISTING
W422	2'-0"	2'-6"	13 1/2"		CT	SALVAGE EXISTING

DOOR SCHEDULE						
NUMBER	DOOR SIZE			OPENING WIDTH	REMARKS	
	LEAF QTY	WDT	HGT			
U28	1	2'-0"	7'-2"	SR	INTERIOR	
U42	1	2'-10"	6'-4"	O	INTERIOR	
U44	1	2'-4"	6'-4"	FB	INDOOR PATIO/PAVILION	

SR = STILE & RAIL DOOR
 O = GLAZED PANEL DOOR
 FB = FULL GLAZED PANEL

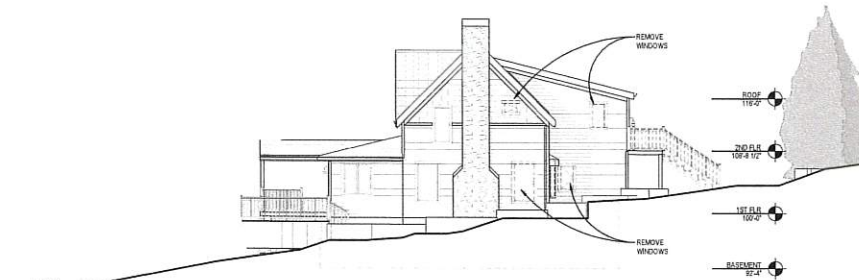
INSULATION REQ.	
Roof Attic	<ul style="list-style-type: none"> Min. R-49 High-Density Fiberglass Insulation 5" board of spray foam insulation at eaves
Exterior Walls	<ul style="list-style-type: none"> Min. R-21 High-Density Fiberglass Cavity Insulation
Basement Wall	<ul style="list-style-type: none"> Interior: Formed Wall Min. R-19 Continuous Mineral Wool Insulation OR Min. R-19 Continuous High-Density Fiberglass Insulation (Unfaced on vapor barrier) Cavity
Exterior Wall	<ul style="list-style-type: none"> Min. R-7.5 (1.5) Rigid Insulation on the exterior of the basement wall

1 1ST FLR - Proposed Plan
 1/8" = 1'-0"

#	DEMOLITION NOTES
1	REMOVE ALL EXISTING ROOFING TO EXPOSE ROOF STRUCTURE
2	REMOVE ALL EXISTING EXTERIOR WALLS AND FOUNDATION
3	REMOVE ALL EXISTING INTERIOR WALLS AND PARTITIONS
4	REMOVE ALL EXISTING FLOORING, CEILING, AND LIGHT FIXTURES
5	REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS
6	REMOVE ALL EXISTING LANDSCAPING AND Hardscape



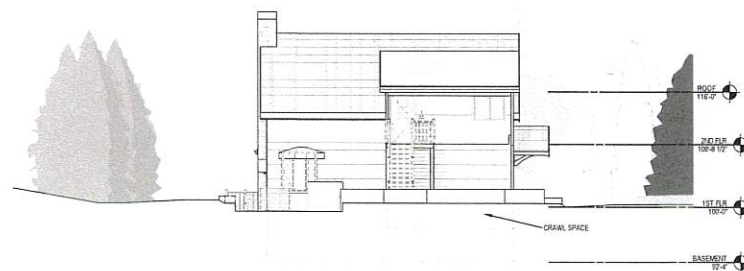
1 Existing Elevation - NORTH
1/8" = 1'-0"



3 Existing Elevation - SOUTH
1/8" = 1'-0"



2 Existing Elevation - WEST
1/8" = 1'-0"



4 Existing Elevation - EAST
1/8" = 1'-0"

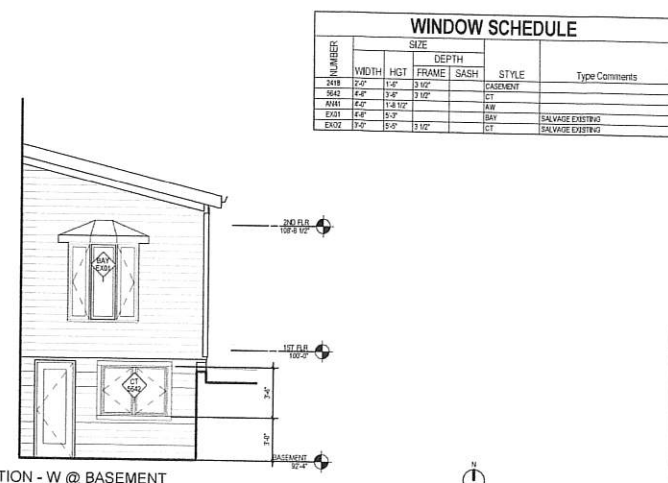




1 ELEVATION - N
1/4" = 1'-0"



2 ELEVATION - W
1/4" = 1'-0"



3 ELEVATION - W @ BASEMENT
1/4" = 1'-0"

NUMBER	SIZE				STYLE	Type Comments
	WIDTH	HGT	DEPTH	FRAME SASH		
W119	7'-0"	1'-0"	3'-10"	CAJUMENT		
W121	4'-0"	3'-0"	3'-10"	CT		
W111	6'-0"	1'-8 1/2"	3'-0"	TR		
EX11	4'-0"	5'-3"		BAY		SALVAGE EXISTING
EX02	7'-0"	5'-0"	3'-10"	CT		SALVAGE EXISTING

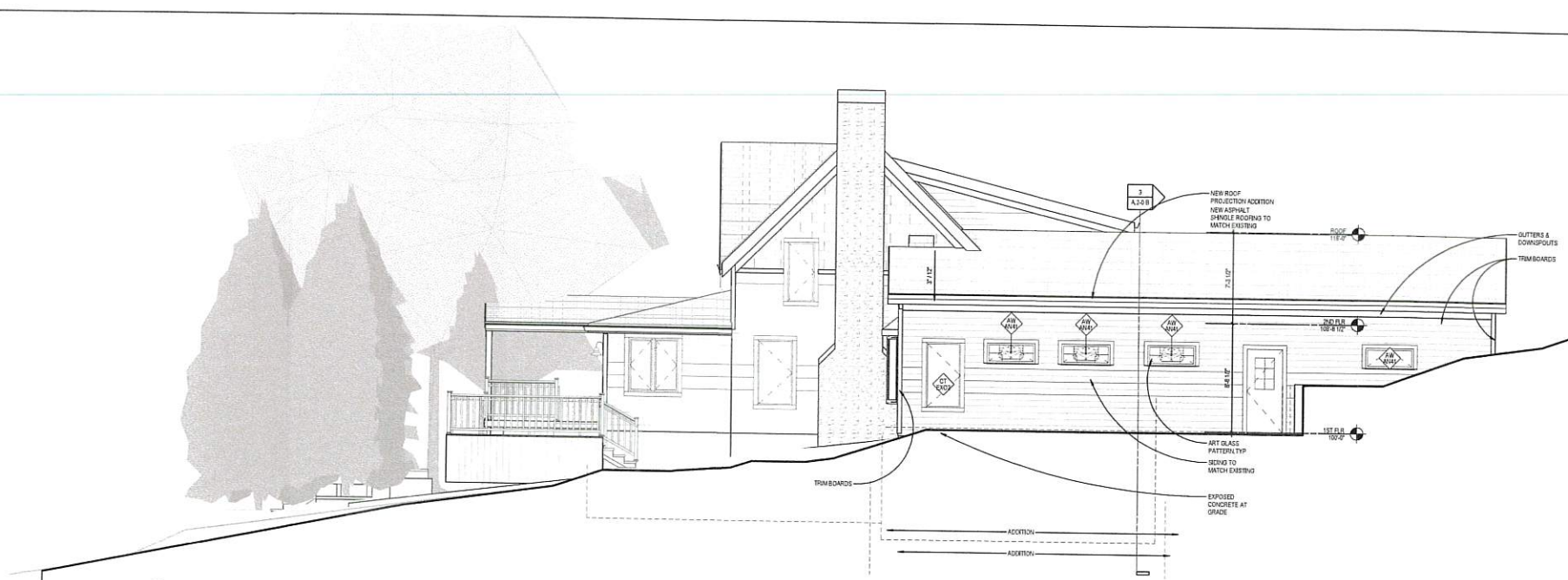
W278 N2697 ROCKY POINT ROAD, PEWAUKEE, WI 53072

NOT FOR CONSTRUCTION

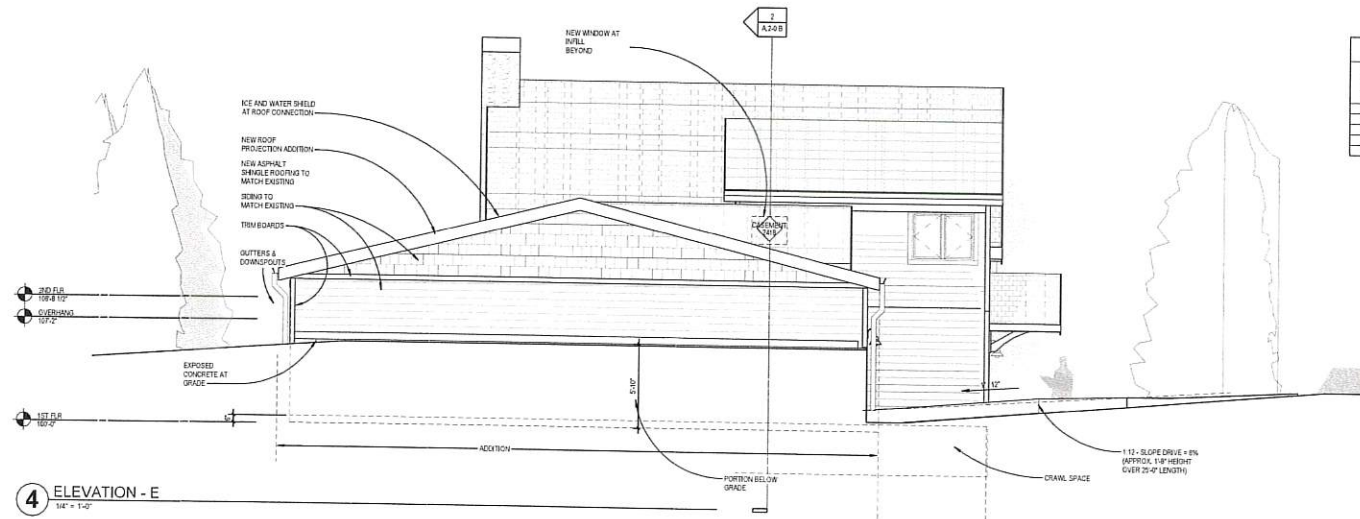
PROPOSED ELEVATIONS - OPTION 02
A.3-1 B

SHEET 24"x36"

03/27/2024



3 ELEVATION - S
1/4" = 1'-0"



4 ELEVATION - E
1/4" = 1'-0"

NUMBER	SIZE				STYLE	Type	Comments
	WIDTH	HGT	FRAME	SASH			
WH8	2'-0"	14'-6"	3 1/2"		CAJEMENY		
SH2	4'-6"	3'-6"	3 1/2"		CT		
AN4	4'-0"	11'-8 1/2"			AN		
EN1	4'-8"	5'-3"			BAY		SALVAGE EXISTING
EX2	1'-2"	5'-0"	3 1/2"		CT		SALVAGE EXISTING

shawnward@earthlink.net

From: Michael Raciti <racitim@gmail.com>
Sent: Tuesday, March 26, 2024 8:58 AM
To: shawnward@earthlink.net
Subject: Re: FW: Proposed Addition

SOUTH SIDE NEIGHBOR

Hi Shawn,

Sounds like an exciting project! Thank you for your consideration and for sharing the elevation ideas. Of course, Michelle and I will not oppose and we hope all goes well with the city. Thank you for your consideration of water flow as well.

Best,
Mike

On Sat, Mar 23, 2024 at 12:16 PM <shawnward@earthlink.net> wrote:

Hi Mike,

Steph and I are going to ask the city for a permit to build an addition to our house. Since the lot is only 73' wide, the only place we can build it is partially in back and partially to the side of our house. Our desire is to build a single-story ground floor master bedroom and garage, to help us ease into our senior years better from a single floor. After 23 years, we would like to have an attached garage too.

So, we wanted you and Michelle to see this as well. I have attached the survey of our property, with a superimposed drawing of the footprint of the addition and garage. Also included is a 3D drawing and some elevation views.

We would also insure that the route for water coming down our hill, would stay on our property. Most of the water goes out to Milwaukee Avenue. The water that comes from the other side of the cottage would continue to come down the hill and stay on our property, down to the lake. We would landscape to insure that.

Let me know if you have any questions or concerns.

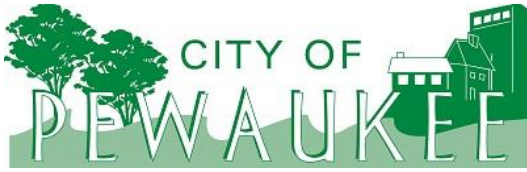
Thanks Shawn

From: Shawn Ward <shawnward@earthlink.net>
Sent: Friday, February 19, 2021 8:52 AM









Office of the Planner & Community Development Director
 W240 N3065 Pewaukee Road
 Pewaukee, Wisconsin 53072
 Phone (262) 691-0770, Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE BOARD OF ZONING APPEALS

Meeting of June 11, 2024

Date: May 30, 2024

Project Name: Ward Variance Application

Project Address/Tax Key No.: W278N2697 Rocky Point Road / PWC 0934045

Applicant: Shawn and Sephanie Ward

Property Owner: SHAWN A WARD AND STEPHANIE K WARD

Zoning: Rs-5 Single Family Residential District, F-1 Floodplain District, and SO Shoreland Overlay District

2050 Land Use Map Designation: 2050: Low-Medium Density Residential (1/2 Ac. - 2 Ac. / D.U.)

Use of Surrounding Properties: Single-family residential to the north, south, and east and Pewaukee Lake to the west.

Project Description/Analysis

The applicant, Shawn and Stephanie Ward, filed a Variance Application requesting approval of a variance from Sections 17.0409f.(1) and 17.0905 to allow for the construction of a building addition to the existing home located at W278NN2697 Rocky Point Road with a 15-foot street side setback, opposed to the required minimum street side setback of 40-feet.

The subject property is a corner lot. Below is the definition of a corner lot and Section 17.0905, which states that a corner lot is considered to have two street yards and two sides (no rear yard) in consideration of setbacks. As such, the subject property is required to have a minimum 40-foot setback from Rocky Point Road and Milwaukee Avenue.

138 - Lot, Corner

A lot abutting two (2) or more streets at their intersection provided that the corner of such intersection shall have an angle of 135 degrees or less, measured on the lot side.

17.0905 CORNER LOTS

Lots having frontage on two or more intersecting public streets shall be considered ‘corner lots’ and shall have street or ‘front’ yards on that side of principal structures abutting a street and any other yard on such corner lot shall be designated a "side" yard. Structure and use setbacks from streets or property boundaries on such corner lots shall be regulated as set forth in subsection 17.0209.

This property is zoned Rs-5 Single-Family Residential District, F-1 Floodplain District and SO Shoreland Overlay District. Below are Rs-5 District setbacks for review.

f. Setback and Yards

- (1) There shall be a minimum building (or street) setback of 40 feet from the right-of-way of all public streets, roads, or highways.
- (2) There shall be a side yard on each side of all structures not less than 15 feet in width.
- (3) There shall be a rear yard of not less than 35 feet.
- (4) There shall be a minimum building setback of 75 feet from the designated 100 year recurrence interval (base flood) floodplain of all streams and bodies of water and 25 feet from any designated wetland. (Also see subsection 17.0435)

The proposed addition to the home consists of a master bedroom with a walk-in closet, master bathroom, and a 2-car attached garage. The addition is approximately 1,634 square feet.

The Board of Zoning Appeals must review the application materials provided as well as Section 17.1007 of the City's Zoning Code, which outlines the factors the Board must consider in determining whether to grant or deny a variance request. The applicant has provided responses to these findings for review.

Recommendation:

Staff recommends approval of the proposed variance request considering the historical development and location of existing structures on this lot and that Milwaukee Avenue is not a typical right-of-way or street as it is only utilized by the Ward's and Lake Pewaukee Sanitary District and dead ends at Pewaukee Lake. As such, staff finds that there are unique circumstances present and there are no adverse impacts to the adjacent properties or surrounding area.

It is recommended that the Board discuss the proposed home addition and applicant's findings and consider any public comment to determine whether to grant or deny the variance request.