

Planning Department

W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0770 Fax (262) 691-1798

PLAN COMMISSION MEETING NOTICE AND AGENDA Thursday, July 19, 2018 7:00 PM

Common Council Chambers ~ Pewaukee City Hall
W240 N3065 Pewaukee Road, Pewaukee, WI 53072

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1. Call to Order and Pledge of Allegiance
 2. Discussion and Action Regarding Approval of Meeting Minutes Dated May 17th, 2018 and June 21st, 2018
 3. Discussion and Action Regarding a Petition for a Conditional Use Public Hearing for Aspire Dance, LLC Located at W238 N1700 Rockwood Drive in Order to Operate a Dance Studio with Dance Instruction for Children and Adults (PWC 0954998016)
 4. Discussion and Action Regarding a Certified Survey Map for Property Owned by Dawn Myers Located at N37 W26773 Kopmeier Drive and N37 W26783 Kopmeier Drive for the Purpose of Combining the Two Properties (PWC 0894016 & PWC 0984017)
 5. Discussion and Action Regarding the Site and Building Plans and Plan of Operation for Christ Evangelical Lutheran Church Located at W240 N3103 Pewaukee Road for a Building Addition (PWC 0904994001 & PWC 0904994002)
 6. Discussion and Action Regarding the Submittal of Blue Ribbon Management, LLC for Approval of the Interior Door Colors and Branding at their New Self Storage Facility Located at the Northwest Corner of Springdale Road and Johnson Drive (PWC 0961996006)
 7. Adjournment

Harlan Clinkenbeard
City Planner

7/12/2018

NOTICE

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It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum. At the above stated meeting, no action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner, Harlan Clinkenbeard, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 2.**

DATE: July 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding Approval of Meeting Minutes Dated May 17th, 2018 and June 21st, 2018

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

5.17.18 Plan Commission minutes

6.21.18 Plan Commission minutes

In Attendance:

Mayor S. Bierce, Alderman B. Bergman, T. Janka, D. Linsmeier, K. Salituro and C. Wunder.

Also in attendance:

City Planner H. Clinkenbeard, Administrator S. Klein, Department of Public Works Director J. Weigel, Community Services Director K. Woldanski and Deputy Clerk A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 7:00PM and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Meeting Minutes Dated April 19th, 2018

A motion was made and seconded (C. Wunder, D. Linsmeier) to approve the April 19th, 2018 meeting minutes. Motion Passed: 6-For, 0-Against.

8. Discussion and Action Regarding Applications for Outdoor Activity on Premises Where Alcoholic Beverages are Consumed

8.1 5 O'Clock Club

Mr. Knutson stated there were no changes to his permit.

A motion was made and seconded (T. Janka, C. Wunder) to approve the outdoor activity permit for the 5 O'Clock Club. Motion Passed: 6-For, 0-Against.

8.2 Andrea's Red Rooster

Mr. Clinkenbeard stated there were no changes to this permit.

A motion was made and seconded (C. Wunder, D. Linsmeier) to approve the outdoor activity permit for Andrea's Red Rooster. Motion Passed: 6-For, 0-Against.

8.3 Aqua Beauty Lounge

The owner of Aqua Beauty Lounge stated the patio would be a place for customers to sit while they are waiting for their hair to be done. There will be two speakers on the patio. Business hours are Monday thru Thursday 9am to 9pm, Friday 9am to 5pm, and Saturday 8am to 4pm.

Mr. Bergman noted that the application only shows one speaker and he requested that the speakers be angled at the building instead of out towards the lake. The second speaker will be on the side near the middle door, angled straight down.

A motion was made and seconded (B. Bergman, T. Janka) to approve the outdoor activity permit for Aqua Beauty Lounge. Motion Passed: 6-For, 0-Against.

8.4 Boomers Sports Pub & Grill

Mr. Pasdera stated there were no changes to his permit.

A motion was made and seconded (C. Wunder, B. Bergman) to approve the outdoor activity permit for Boomers. Motion Passed: 6-For, 0-Against.

8.5 Curly's Waterfront

Mr. Clinkenbeard stated there were no changes to this permit.

Mr. Bergman felt the application was incomplete as there was no site plan or drawing, although they were not going to have music outside.

A motion was made and seconded (K. Salituro, D. Linsmeier) to approve the outdoor activity permit for Curly's Waterfront. Motion Passed: 6-For, 0-Against.

8.6 Edgewater

Mr. Kook stated there were no changes to his permit.

Mr. Bergman questioned if there would be six additional speakers as noted on the application, and Mr. Kook noted everything was exactly the same as the last three summers.

Chairman Bierce stated he received a phone call regarding the trees that were never put in as a sound block. Mr. Kook stated he would put some trees up.

A motion was made and seconded (T. Janka, B. Bergman) to approve the outdoor activity permit for Edgewater with the addition of trees. Motion Passed: 6-For, 0-Against.

8.7 Gina's Sports Dock

Ms. Schwister stated there were no changes to the permit.

A motion was made and seconded (T. Janka, B. Bergman) to approve the outdoor activity permit for Gina's Sports Dock. Motion Passed: 6-For, 0-Against.

8.8 Point Burger Bar

Mr. Clinkenbeard stated there were no changes to the permit.

A motion was made and seconded (K. Salituro, C. Wunder) to approve the outdoor activity permit for Point Burger Bar. Motion Passed: 6-For, 0-Against.

8.9 Smokey's Musky Shop

Ms. Laimon stated there were no changes to the permit.

A motion was made and seconded (D. Linsmeier, C. Wunder) to approve the outdoor activity permit for Smokey's Musky Shop. Motion Passed: 5-For, 1-Against (Janka).

8.10 The Station Pub & Grill

Ms. Zinda stated there were no changes to the permit.

A motion was made and seconded (C. Wunder, D. Linsmeier) to approve the outdoor activity permit for The Station Pub & Grill. Motion Passed: 6-For, 0-Against.

8.11 Waukesha Gun Club

Mr. Clinkenbeard stated there were no changes to the permit.

A motion was made and seconded (C. Wunder, D. Linsmeier) to approve the outdoor activity permit for Waukesha Gun Club. Motion Passed: 6-For, 0-Against.

8.12 Wonderland Tap

Mr. Boehnen stated there were no changes to the permit.

A motion was made and seconded (T. Janka, C. Wunder) to approve the outdoor activity permit for the Wonderland Tap. Motion Passed: 6-For, 0-Against.

3. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for B & G Realty LLC/Marcus Consid LLC/Marcus Cinemas of Wisconsin LLC to Rezone Property Located at the Northwest Corner of Springdale Road and Johnson Drive From M-2 Limited Industrial to M-1 General Wholesale Business In Order to be Developed as a Self-Storage Facility (PWC 0961996006)

Mr. Clinkenbeard stated there were concerns about the building and how it laid on the lot, as well as the access on the west side of the building. They also wanted to see the façade look more like an office building rather than a storage building. Changes have been made to the property and the building has been moved somewhat.

The petitioner then described the changed that were made. A fire lane was added along the east side of the building according to the Fire Chief's request. There was also an issue with the setbacks of the access

road, and they will be tearing up that road and moving it 11 feet to the east. The main change with the elevation was that they brought the loading dock from the south façade to the west façade. They also skinnied up the building to fit the access road onto the site. The third story was made shorter and they also added more windows to the east side of the building. They eliminated the storefront spandrel look on the north elevation and did a window breakup to now make it punched openings. Windows were added on the south elevation of the third story.

Mr. Clinkenbeard questioned what would be seen at night. The hallways will be lit for safety and accessibility and you will be able to see a metal-paneled storage locker with doors. Mr. Clinkenbeard mentioned tinting the glass and the petitioner stated they could discuss it depending on what kind of tint it was and what color it would be.

Mr. Klein stated the City has been resistant to storage buildings with colored doors. He questioned what assurance the City had that the doors would not be orange. The petitioner stated the doors would not be orange but they have not yet selected a color. Mr. Clinkenbeard noted again that they wanted it to look like an office building. The petitioner suggested a milder tone such as a blue or gray, but Mr. Klein felt we would still have issues aesthetically with that.

Mr. Klein then referred to the height of building and noted it was over what the ordinance allows. The three stories are needed to make the project financially feasible and they need the density. It is the same price to do two stories as it is to do three stories. The height can be waived by the Plan Commission if the building is sprinkled, which it will be.

The petitioner stated this is the design that they want to move forward with. If the third floor was moved to the south and made as a second story addition, the building would again need to be thinned out because of the collapse zone requirements. The petitioner noted that they have the coverage right now with one story at 16 feet and the Fire Chief was comfortable moving forward with the design.

Mr. Klein felt the building looked awkward from the east elevation. There is a two-story drop and then a long wall. The petitioner suggested there may be room to lower the height of the three story a bit.

The petitioner noted they wanted to have a 100 foot distance from every entrance to get to your unit. They are currently able to meet that the way the building is currently designed with the two loading zones and where the elevator is placed.

Chairman Bierce stated he was not thrilled about the three stories. He felt they would need an agreement on the color of everything.

Chairman Bierce also questioned if there would be neon lighting. It was noted there would be no neon and there will be a box sign on north façade based on the branding.

Discussion then took place regarding the exterior building material and the color.

Mr. Bergman referred to the parking spaces and questioned if the size had been addressed as related to the plan showing six spaces but the legend noting eight. The petitioner noted that would be cleaned up. In a typical day they expect to get about 30 visitors in a ten hour period.

Discussion then took place regarding the lighting within the interior of the storage area. Typically the locker system is white and the owner works with the City to pick a color for the actual doors. The petitioner stated they would not do orange, but suggested a light gray or a blue to give it a contrast. He suggested including something in the conditional use permit that says the doors will never be orange. Mr. Klein's concern was that the building gets built and the petitioner is gone, and something else could be done if the City doesn't catch it.

Chairman Bierce opened the public hearing at 7:39PM.

Dan Livine (N7 W22081 Johnson Drive) stated he was a property owner across the street. He was concerned about the greenspace and the storm water. He wanted to make sure the same requirements were in place for this as there were for his requirements when he put an addition on last year. Mr. Clinkenbeard stated it was being rezoned to a warehouse operation so this is allowed in the M-1 district. All of the greenspace issues have been addressed and there will not be a traffic problem.

Chairman Bierce closed the public hearing at 7:45PM.

A motion was made and seconded (D. Linsmeier, C. Wunder) to rezone the property from M-2 Limited Industrial to M-1 General Wholesale Business contingent upon the other items on the agenda being approved, and to be sunseted so that it fits only this proposal. Motion Passed: 5-For, 1-Against (Bierce).

4. Discussion and Action Regarding a Petition for a Conditional Use Public Hearing for Blue Ribbon Management LLC to Allow for Property Located at the Northwest Corner of Springdale Road and Johnson Drive to be Developed as a Self-Storage Facility (PWC 0961996006)

Mr. Bergman stated he was more comfortable with the materials for the building since the last meeting. He felt it comes down to three-story versus a two-story larger building and how it looks, especially on the north elevation. He felt approval would have to be conditioned as far as the color goes. Mr. Klein stated they could condition it to have the petitioner bring in some options and the Plan Commission approve the interior color. If someone would want to change that color at some point they would need to come back and do the same. The glass color can be included in that as well if they can show that it has an impact on the inside of the building.

Chairman Bierce mentioned that the size of the building falls outside of the normal parameters for height. Mr. Clinkenbeard stated if it is over 35 feet, it must be sprinkled in order to have the height waived. The petitioner noted that the Fire Chief has signed off on this.

The rooftop units will be screened with a pre-fabricated, metal roof screen colored to the building. The petitioner noted that they may not need the screening because it may be set back far enough. Mr. Clinkenbeard stated it must be screened somehow so that it looks like it is part of the building.

Mr. Weigel referred to the height of the building and cautioned that if the building or cranes exceed 1,048 feet they may need a County airport construction permit.

Ms. Salituro questioned how someone would access the building and the petitioner noted that they have a loading dock on the west side of building and they have skinned up the building. There is no drive thru facility.

Typical on-site staff is 9:00AM to 6:00PM. Some facilities may open before work around 7:00Am and would have a key code to access the building. Sometimes they may go later in the evening, such as 8:00PM or 9:00PM. The site would then be monitored remotely.

Chairman Bierce opened the public hearing at 7:59PM. No one in the audience wished to speak so Chairman Bierce then closed the public hearing at 7:59PM.

Ms. Salituro stated she likes the materials but she was concerned about the height of the building with the proximity to the highway. She felt the massing was a bit weird with one-story and three-story.

Glass, internal color, screening of HVAC, all as conditions.

A motion was made and seconded (S. Bierce, K. Salituro) to approve the conditional use conditioned on the petitioner coming for approval on the glass, the inside color, the screening, any time there is a color change inside or outside of the building it must be approved by the City, no outside storage, correction of the parking spaces, approval by City staff of the storm water and engineering, approval by the Fire Department and the Fire Chief must sign off that it is going to be fully sprinkled otherwise they cannot go over 35 feet, and including Wrayburn Consulting's planning review comments, and any change in color must go thru the entire process of City staff, Plan Commission and Common Council. Motion Passed: 6-For, 0-Against.

5. Discussion and Action Regarding the Site and Building Plans and Plan of Operation for the Blue Ribbon Self Storage Building Located at the Northwest Corner of Springdale Road and Johnson Drive (PWC 0961996006)

The hours listed on the Plan of Operation were 6:00AM to 10:00PM, and the petitioner stated that was ideally the time that someone could come to the facility and access their unit. The key pad would not work during non-business hours. Staff hours are typically 9:00Am to 6:00Pm six days a week. Sundays are not staffed but accessible, so it would be seven days a week.

A motion was made and seconded (B. Bergman, K. Salituro) to approve the site and building plans and Plan of Operation. Motion Passed: 6-For, 0-Against.

6. Discussion and Action Regarding a Petition for a Conditional Use Public Hearing for 814 Development LLC to Construct a New Rainbow Child Care Center Located at N35 W23770 Capitol Drive (PWC 0906999008)

Mr. Clinkenbeard stated this property was accessed from Highfield Court, not Capitol Drive.

Very few changes were made and the building itself has stayed the same since the last meeting, as have the elevations. The comments were regarding the chain link fence and that has been changed to a white vinyl fence. The fence in the back will be black coated chain link but the fence seen from Highfield Court will be white.

The playgrounds have been shrunk down to get rid of some of the retaining walls.

Mr. Clinkenbeard noted the neighbor to the east has a turnaround on this property, but the petitioner stated they were showing to remove it. It was suggested that they contact the neighbor.

The petitioner then showed on the map where the white vinyl fence would be as compared to the chain link fence.

Mr. Klein questioned if the petitioner checked with the State regarding their setback on Capitol Drive. The concern is it may change things if they have to meet a 50 foot setback for more than just the building. The City's setback is 30 feet from the property to the parking but only 20 feet is shown on the plan.

The petitioner noted that they will sprinkle building, which would eliminate any of the Fire Chief's concerns.

Chairman Bierce then read a letter into the record from a City resident (see file).

Chairman Bierce then questioned if there was a rule as to how many children there can be per square foot. Mr. Linsmeier noted it was 35 square feet of usable space for each child. They will have to meet state licensing requirements.

Mr. Bergman still had a concern about the chain link fence and preferred to see a vinyl fence. The petitioner stated they could do the vinyl all around if that's what the Plan Commission preferred to see.

Chairman Bierce opening the public hearing at 8:24PM.

Tim Keeley (N34 W23879 Grace Avenue) reiterated the traffic concerns because he felt it was next to impossible to access Capitol Drive during rush hour in the morning and late afternoon, which is when parents will be dropping off and picking up children. He suggested traffic control at that intersection, but it was noted that that would be up to the State and County in this case. Mr. Klein noted the City could ask the State and County to take a look at it but it was very unlikely that another light would be put in.

Chairman Bierce then closed the public hearing at 8:30PM.

A motion was made and seconded (D. Linsmeier, T. Janka) to approve the conditional use with the conditions that the chain link fence is changed to all vinyl, sprinkling the building, contingent on no DOT and City setback problems, and 180 square feet overall parking stalls. Motion Passed: 6-For, 0-Against.

7. Discussion and Action Regarding the Site and Building Plans and Plan of Operation for the Rainbow Child Care Center Located at N35 W23770 Capitol Drive (PWC 0906999008)

Mr. Weigel noted the storm water would be under the parking lot.

A motion was made and seconded (T. Janka, D. Linsmeier) to approve the site and building plans and Plan of Operation. Motion Passed: 6-For, 0-Against.

9. Further Consideration of the Petition for a Conditional Use for Skydance Pet Lodge to Build and Operate a Pet Daycare Facility Located at W229 N2633 Duplainville Road (PWC 0915992)

The petitioners noted the new building design is a weathered gray stained cedar. There are two different options; the tan is a semi-transparent stain and the other is a more weathered gray. It is two different applications of the semi-transparent stains. Mr. Clinkenbeard thought it was going to look like a lodge in northern Wisconsin.

One area of concern on the site plan was the dumpster enclosure in the north corner, and it has been moved to the southwest corner of parking lot. A six foot cedar privacy fence was added to the north property line, and three windows were added above the garage door to help break up the building. The petitioner was interested in the weathered gray look, but was not opposed to the natural stained cedar.

A privacy fence was added along the length of the residential boundary. There are currently some trees along that area.

Mr. Weigel noted he had the normal storm water management and sewer and water requirements.

Mr. Bergman referred to the masonry on the east elevation and questioned if there was consideration on carrying that to the other four elevations. The petitioner stated the masonry was strictly to the columns and it was a way to dress up the canopy over the entry way.

Discussion took place on the building and the petitioner noted they originally proposed an LP smart side, which is a more durable product than a stained or natural cedar. They are now proposing the stained cedar because of the comments at the last meeting. Mr. Klein pointed out that the comments were based on photos of different weathered and non-weathered looks and colors and that's when cedar was brought up. The petitioner felt going with a natural LP smart side is the most effective way of keeping something low maintenance and more durable than a natural cedar. Mr. Klein felt it would then not read as wood.

Mr. Clinkenbeard asked if there was a chance to do something on the lower three to four feet. The petitioner felt adding stone would get quite costly. Mr. Clinkenbeard was thinking about a faux stone. He was concerned about an annual maintenance need for the lower three feet of the building.

The only difference between the brown and the gray was that the brown would be transparent stain and the gray would be a gray tint spray that would give a more weathered look. They were acceptable to whichever color the Plan Commission prefers.

Additional discussion took place regarding the color of the building.

Ms. Salituro felt the gray color was reading a little better because the trim is a different color. The windows seem a lot smaller on the one with the warmer color because the trim is the same color. She felt either color would work as long as the windows have contrast.

It was questioned how many dogs there would be per day. They would start out with 30 to 50 and would probably have 80 to 85 after a year.

A gentleman in the audience stated the traffic on Duplainville Road is backed up between 6:30AM and 8:00AM. He questioned if the State could reconfigure the traffic lights in that area. Mr. Clinkenbeard stated the City can ask the State to take a look at it to do a count.

Mr. Klein suggested doing the same with this conditional use and putting a condition on the exterior color. If they want to change it, they have to come in and get approval.

Mr. Bergman felt it was a massive siding and was not a lodge look. He felt it was the same as it was before with a lot of long, expansive siding.

A motion was made and seconded (D. Linsmeier, C. Wunder) to approve the conditional use with either color with an accenting trim using the natural cedar. Motion Passed: 5-For, 1-Against (Bergman).

10. Discussion and Action Regarding the Site and Building Plans and Plan of Operation for the Skydance Pet Lodge Located at W229 N2633 Duplainville Road (PWC 0915992)

A motion was made and seconded (T. Janka, C. Wunder) to approve the site and building plans and Plan of Operation. Motion Passed: 5-For, 1-Against (Bergman).

11. Discussion and Possible Action Regarding the Conceptual Plan for the Pewaukee Golf Course Redevelopment Known as Lake Country Commons by Diamond Club Entertainment Located at N12 W26506 Golf Road (PWC 0944994)

Sonny Bando introduced himself and his team and described the project.

Mr. Bando stated of the 144 acres, only 28 acres are buildable, which is less than 20 percent. The south end of the site is the Lake Country Recreation Trail and they would like to explore the connection from their site to the trail. There would be a farmers market or a public market. There would also be a year-round baseball stadium with 2,500 seats. The stadium would also be designed for lacrosse, soccer, football and hockey. The northern section of the site would remain a nine-hole golf course. There would also be a residential component to the concept consisting of senior housing.

Mr. Janka questioned if it would be built in stages. The stadium structure is minimal with the infrastructure being first, the stadium second and the two housing components would be built third. They have not decided on style or sizing of the housing units yet, but one structure would be built first, leased out, and then the second structure would be built.

Chairman Bierce stated his biggest concern was the senior housing. He felt it was a fairly remote area to put senior housing, as there is not a lot of access to stores. He also mentioned that the City is ahead of its multi-family percentage with 28 percent when we were trying to stay around 25 percent. There is enough room for about 400 units, but the City cannot use all of their future multi-family here and then fight off every other proposal for the next few years. Chairman Bierce liked the idea of the baseball stadium and the park-like setting.

Mr. Bando clarified that the housing would be age 55 plus. He stated they would come down in density.

Mr. Bergman noted there would be a lot of construction and use in the floodplain. He questioned what the chance was that they would get anything on the other nine holes. The only thing outside of that area is the senior housing. Mr. Bergman also questioned if the petitioner had ever developed a project like this before. He also had an issue with the access and felt the road would have to be widened.

Mr. Jim Kelenic, a member of the development team, stated the roadway would have to be built to City standards. The floodplain has not been determined with elevations yet, but there is talk that the exact locations could be identified.

Mr. Klein added that the play fields and parking lots can be in floodplain, but the elevations cannot be changed. In regards to the access, the City would require a secondary, emergency access out of the development.

A gentleman named Rod from Meadowbrook Road felt this was a great idea but a bad spot. He moved here to get away from this type of thing and he can drive within minutes to find another field. He stated the traffic is a disaster in that area and he did not believe the lake country area needed this.

A woman named Diane from Spice Creek stated this was lake country for a reason. She mentioned a baseball facility already being built in Waukesha. She was concerned about the lights and speakers and the cheering of the people.

A gentleman named Mark stated his view of the nature will be interrupted by this. He felt the developer's should find a better location as this was the wrong spot.

A woman named Barbara from Golf View Lane questioned if they would be asking for a TIF district. Mr. Bando stated they will ask for a TIF district. They do not have a final number yet but they will be asking for an infrastructure TIF that they forecast to pay back in five to six years.

A woman named Christine Howard felt it was a great idea but it would have been nice to have a conversation with the residents first.

Mr. Bando noted that one of their partners, Mary Claire Lanser, will be holding an open house on June 21st in Meadowbrook Village. Notices will be delivered to all residents within a half mile radius.

A gentleman named John Zigler from Princeton Place stated the entire Meadowbrook area should be included in the meetings, as they back up to the golf course.

A gentleman named Bob Lorier stated there are drainage issues in the area. He also mentioned that he is familiar with TIF districts and was willing to work with anyone if they want information.

A gentleman named Tom from Spice Creek questioned if there was a limit on the number of rental units in a certain area. There is a large complex of renters on the north end of East Fieldhack Drive, and he was more favorable to homeowners than renters because homeowners take better care of their property. Mr. Klein stated it is more City-wide and we try to keep it at 25 percent of the overall housing.

A woman named Gina from Meadowbrook Circle stated the wells are not that great and she questioned if the City would have to dig a new well to supply all of these people with safe drinking water. Mr. Weigel did not believe this would cause the City to get a new well all by itself but it will contribute.

A gentleman in the audience questioned if the baseball would be a nightly thing and he questioned the water usage. Mr. Kelenic stated this would be an artificial turf field so they would not use any water to maintain the field. He did not know right now how many games there would be.

Discussion then took place regarding the lighting of the fields and the type of lights used.

A woman named Debbie from Spice Creek questioned if the fields would be practice fields also or just fields for games. Mr. Kelenic did not know what the public and private time usage would be. A woman named Julie from Spice Creek stated she did not want to hear baseball in her backyard or from her patio.

A woman named Margie from Spice Creek felt the idea sounded exciting, but not in her backyard. She noted the area is often under water. She added that there is already a large amount of multi-housing in that area and the traffic cannot handle it. She suggested doing a feasibility study.

Mr. Clinkenbeard stated this would more than double the multi-family in the Meadowbrook area. He felt it would be at least a year or more before we find out if we can get sewer to the area. The City would probably have to go to the other five communities that own the sewage treatment plant to try to buy some capacity from them. He also pointed out that the City would not normally allow a public street even half the length of that with that kind of traffic and that number of people on it from a safety standpoint.

Mr. Janka felt the multi-family was the real deal breaker. He was also concerned about the traffic.

Mr. Linsmeier was concerned about the noise from the large stadium.

Mr. Kelenic stated they would be willing to do a developer's agreement up front as to what can be allowed and what can't. He felt they would definitely have to have a traffic study done and there will have to be improvements made to that road because of the development.

Chairman Bierce suggested the developers come back with another proposal.

Mr. Clinkenbeard felt the two biggest issues were the multi-family and the City financing the project with a TIF district.

12. Discussion and Action Regarding the Mitigation Plan for Tim Youngbauer for Property Located at N28 W27580 Peninsula Drive (PWC 0933064)

Mr. Clinkenbeard stated Assistant City Engineer Maggie Wagner recommended approving the proposal conditioned upon her recommendations.

A motion was made and seconded (T. Janka, D. Linsmeier) to approve the mitigation plan conditioned upon the Assistant City Engineer's recommendations. Motion Passed: 6-For, 0-Against.

13. Adjournment

A motion was made and seconded (D. Linsmeier, C. Wunder) to adjourn the meeting at 10:40PM. Motion Passed: 6-For, 0-Against.

Respectfully Submitted,

Ami Hurd
Deputy Clerk

In attendance:

Mayor S. Bierce, Alderman B. Bergman, T. Janka, D. Linsmeier and C. Wunder.

Also in attendance:

City Planner H. Clinkenbeard, Administrator S. Klein, Department of Public Works Director J. Weigel, Community Services Director K. Woldanski and Deputy Clerk A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 7:00PM and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Meeting Minutes Dated May 17th, 2018

The minutes were not available for approval.

3. Discussion and Action Regarding the Shoreland Mitigation Plan for the Michael Maynard Property Located at N28 W26906 Woodland Drive (PWC 0930060)

Mr. Weigel stated Assistant City Engineer Maggie Wagner has signed off on the plan with three contingencies; the down spout on the south side of the house must be directed to the rain gardens, the drainage swales along the east and west property lines are maintained as shown on the approved plan, and that the Plan Commission minutes are recorded with Waukesha County.

Discussion took place on how mitigation occurs.

A motion was made and seconded (T. Janka, C. Wunder) to approve the shoreland mitigation plan contingent on the recommendations of the Engineering Department. Motion Passed: 5-For, 0-Against.

4. Discussion and Action Regarding a Proposed Certified Survey Map for Jeffrey Moser for the Purpose of Combining Two Adjacent Properties Located at N39 W27051 Glacier Road at the Intersection of Glacier Road and Armour Lane (PWC 0889998001)

Mr. Moser stated he wanted to take two lots and combine them into one. There is an outbuilding southwest of the house and the combination would make the outbuilding legal but it is now illegal on a vacant lot.

Mr. Klein stated there was a report from Nick Fuchs that a few things need to be changed. Discussion took place regarding the notation of Armour Lane on the CSM.

A motion was made and seconded (D. Linsmeier, B. Bergman) to approve the CSM with the recommendations. Motion Passed: 5-For, 0-Against.

5. Discussion and Action Regarding a Proposed Certified Survey Map for Neumann Development, Inc. for the Purpose of Combining Three Small Parcels Totaling 2.16 Acres Located on the West Side of Bluemound Road 315 Feet South of Morris Street Into One Lot and Combining Three Large Parcels Totaling 19.66 Acres Located on the East Side of Bluemound Road 315 Feet South of Morris Street Into One Lot (PWC 0925993, PWC 0925990, PWC 0925992)

Mr. Neumann stated this CSM combines the properties on the east and west sides of Bluemound Road. Right now there are three parcels north to south and they include land on the east and west side of Bluemound. All they are doing is combining the east side of the road all into one parcel, which they are then dividing into two lots with the next CSM on the agenda, and the west side of the road into one parcel. This makes it easier to further divide.

Mr. Weigel noted that there are significant special assessments levied for the number of lots and units for the next CSM that would kick in if it were to be recorded before a certain date. If this is passed, assessments kick in for one unit on each of these lots and if there is a desire to transfer land that can be done.

The reason they chose to do the CSM in two steps is because the three parcels all spread across Bluemound Road and they are not owned by the same people, so they are combining the three and splitting them in half. They will retain and develop lot 1 and lot 2 will be some other use unrelated to this.

A motion was made and seconded (B. Bergman, T. Janka) to approve the CSM as presented with the condition that the Engineering requirements and Nick Fuchs' comment are met, contingent on the rezoning and development plans that are proposed and tied only to this development so that if it doesn't take place, it will revert back.

Mr. Neumann felt they would like to do this CSM alone regardless of the rezoning. Mr. Klein agreed and stated the motion and second should take away the contingency that it has to be tied to zoning. The first and second agreed. Motion Passed: 5-For, 0-Against.

6. Discussion and Action Regarding a Proposed Certified Survey Map for the 19.66 Acre Neumann Development, Inc. Property Located on the East Side of Bluemound Road and 315 Feet South of Morris Street for the Purpose of Dividing the Property Into Two Lots (PWC 0925993, PWC 0925990, PWC 0925992)

Mr. Clinkenbeard stated this was simply taking lot 1 from the previous CSM and dividing it into two lots with a proposed public street for the future development.

Mr. Weigel stated because of the number of units being proposed, they will have to deal with that density at the access in one of three ways. They will either have to provide a road connection to the south so that there would be two entrances, or if all of the buildings are sprinkled then the entrance road would be sufficient as its right-of-way, or the entrance road would have to be widened to two 26 foot wide pavement streets, like a boulevard. One of these three would meet the fire code.

It was noted that these would be for the portion called street A. Mr. Neumann felt they would choose alternate three to widen the entrance.

Mr. Janka stated he would prefer the third option. It was noted that the Fire Chief prefers option two to have the buildings sprinkled.

Mr. Clinkenbeard questioned if the easements need to be listed for the water line to the south and Mr. Weigel replied that it would be required, as well as for any other public facilities outside the right-of-way.

Mr. Neumann mentioned that the County may ask them to slide the entrance one way or another, potentially north, based on the topography of Bluemound Road and the curvature of the road. They may have to discuss the building placement because of this.

Mr. Neumann mentioned that they would be fine providing a paved surface to get from their development to the intersection, but he requested some flexibility in finding the best manner in which to do that with the County. Chairman Bierce questioned if that would need to be included on the CSM. Mr. Weigel stated the discussion would be in the minutes.

Mr. Klein noted this CSM approval would be contingent upon approval of the development.

A motion was made and seconded (T. Janka, D. Linsmeier) to approve the preliminary CSM contingent on the Engineer's requirements, Nick Fuchs' comments, and upon approval of the development. Motion Passed: 5-For, 0-Against.

7. Discussion and Action Regarding a Petition for a Rezoning Public Hearing for Neumann Development, Inc. to Rezone Their 19.66 Acre Property Located on the East Side of Bluemound Road from Rs-1, Single-Family Residential to Rm-1, Multi-Family Residential for the Purpose of Creating a Condominium Plat (PWC 0925993, PWC 0925990, PWC 0925992)

Mr. Clinkenbeard stated they are proposing 56 units in four-unit buildings and two duplexes, so it is a mixed use. The City normally does not allow mixed use so they will be coming back at the next meeting with a conditional use PUD. It allows the City to be less restrictive for a mixed-use development, which is what this is. The petitioners will bring back the preliminary CSM next month as well.

Chairman Bierce questioned why this was considered a mix use, and Mr. Clinkenbeard stated there were two-family and multi-family units and the City zones differently for two-family than we do for multi-family.

Mr. Klein commented that because they have to do some reconfiguring of where the road comes in, the extra right-of-way and extra easement could affect the layout and possibly the density. They may lose a building or two.

Mr. Clinkenbeard stated any approvals made on the rezoning should be contingent upon the PUD conditional use and the final CSM at a future meeting.

Discussion took place regarding the other developments similar to what this will look like and Chairman Bierce questioned if everything would look exactly the same in the development. Mr. Neumann stated there is a curvature to the streets and the buildings will be turned so they are not all in one row. The garages will be hidden in the middle and the aesthetics will be more desirable around the outside of the building.

Chairman Bierce opened the public hearing at 7:48PM.

Sheldon Lemke from Bluemound Road questioned what the average sale price would be. He was concerned about the police activity down the road in the Village and he did not want it growing. The

petitioners estimated an average sale price of \$375,000 per unit. These will be owner occupied and not rental units.

Chairman Bierce closed the public hearing at 7:50PM.

Chairman Bierce referenced the petitioner's letter regarding the variances, and Mr. Clinkenbeard stated that is what gives us the PUD. Chairman Bierce felt some of the variances were not close and questioned why every single developer after this one would not request a PUD to do whatever they want. Mr. Klein noted that going to a PUD was not breaking the rules and it is in the ordinance.

Mr. Clinkenbeard stated approval should be contingent upon the conditional use permit being approved and the preliminary CSM being approved at a future meeting, and the proposed layout and zoning would revert back if the project does not go forward.

A motion was made and seconded (T. Janka, D. Linsmeier) to approve the rezoning contingent upon the PUD conditional use permit and final CSM being approved at a future meeting, and the proposed layout and rezoning would revert back if the project does not go forward. Motion Passed: 4-For, 1-Against (Bierce).

8. Discussion and Action Regarding a Pre-Preliminary Residential Plat for the Approximately 17 Acre Andritsos Property Located on the West Side of Bluemound Road (PWC 0928980)

Mr. Clinkenbeard stated this was land on Bluemound Road north between Bluemound Road & Highway 16. It is approximately 17 acres. It is a conceptual plan and they would come back at future meeting with a preliminary plat.

The development is all single family and lot sizes are about a third of an acre. They will also have to come back with a rezoning.

John Donovan with Bielinski stated there will be 24 lots on the property. He stated they have wetland delineation and soil borings scheduled. They will come back in August or September with the rezoning and preliminary plat.

A motion was made and seconded (C. Wunder, T. Janka) to approve the conceptual pre-preliminary plat. Motion Passed: 5-For, 0-Against.

9. Discussion and Action Regarding a Conceptual Plan by Erickson Enterprise for a Car Wash Facility Located in the Northeast Quadrant of Nancy's Court and CTH F (PWC 0958986009)

Chairman Bierce stated this development has been withdrawn.

10. Adjournment

A motion was made and seconded (C. Wunder, T. Janka) to adjourn the meeting at 8:04PM. Motion Passed: 5-For, 0-Against.

Respectfully Submitted,

Ami Hurd, Deputy Clerk

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 3.**

DATE: July 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Petition for a Conditional Use Public Hearing for Aspire Dance, LLC Located at W238 N1700 Rockwood Drive in Order to Operate a Dance Studio with Dance Instruction for Children and Adults (PWC 0954998016)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Aspire Dance conditional use

Aspire Dance Plan of Operation

Aspire Dance staff report

STATE OF WISCONSIN

CITY OF PEWAUKEE

WAUKESHA COUNTY

- NOTICE OF CONDITIONAL USE PUBLIC HEARING -

PLEASE TAKE NOTICE THAT THERE WILL BE A PUBLIC HEARING ON THE PETITION OF ASPIRE DANCE LLC FOR A **CONDITIONAL USE PERMIT ON THE FOLLOWING PROPERTY IN THE CITY OF PEWAUKEE:**

Legal description of property:

PARCEL 1 CERT SURV 5308 VOL 42/651 REC AS DOC# 1446088 PT NW1/4 SEC 23 T7N R19E :: DOC# 4154723

Common Description or name: W238 N1700 Rockwood Drive

Tax Key Number(s): PWC 0954998016 **Current zoning:** M-2 Limited Industrial District

This conditional use permit is requested in order to operate a dance studio with dance movement instruction for children and adults.

THE PUBLIC HEARING will be held at a meeting of the City Plan Commission in the City Hall Common Council Chambers on **Thursday, July 19th, 2018** at or after **7:00 PM**.

Dated this 26th day of June, 2018.

Kelly Tarczewski
Clerk/Treasurer

W240 N3065 Pewaukee Rd Pewaukee, WI 53072 Building Services Office - 262-691-9107 City Hall Main Office - 262-691-0770 Fax - 262-691-1798		BUSINESS PLAN OF OPERATION APPLICATION CITY OF PEWAUKEE			Permit No. Parcel/Tax Key No.	
NAME OF PROPOSED BUSINESS: <u>Aspire Dance LLC</u>					SUITE#:	
SITE ADDRESS: <u>W238 N1100 Rockwood Dr.</u>				City <u>Pewaukee</u>	State <u>WI</u>	Zip <u>53072</u>
Business / Operator's Name (Please Print) ***IF SOLE PROPRIETOR-PLEASE SEE page 2 of 4 pages***	Mailing Address		City	State	Zip	Phone#
	Email Address		FEIN#			
Tenant's Name: (Please Print) <u>Aspire Dance LLC</u>	Mailing Address		City	State	Zip	Phone#
	Email Address <u>aspiredance@gmail.com</u>		FEIN# <u>27-0777331</u>			
DESCRIPTION OF BUSINESS OPERATION: <u>Dance Studio</u>						
TYPE of BUSINESS: Please Check the appropriate Box for type:				Description		
☐ Retail ☐ Wholesale ☐ Office ☐ Institutional ☐ Warehouse/Storage ☒ Other? <u>Dance Studio</u> ☐ Industrial				<u>Dance movement instruction for children ages 3-18</u>		
NEW USE?: Yes or No?		or EXPANSION OF EXISTING USE?: Yes or No?		or OTHER?		
HOURS of OPERATION: From: <u>3:00pm</u> to <u>10:00pm</u>			DAYS of OPERATION: <u>Mon-Fri and Sat. morning 9am-2pm</u>			
MAXIMUM NUMBER OF EMPLOYEES		How many Full Time? <u>1</u> How many Part Time? <u>0</u>		CURRENT ZONING:		
Expected Customers per day: <u>50</u>			Number of Trucks per day: <u>0</u> Number of Autos per day: <u>30, mostly drop-off</u>			
PARKING Available Parking/Parking Lot Spaces # <u>15+</u> Loading Spaces # _____ Is there Overnight Parking? Yes or No Where? _____			STORAGE Any Outside Storage? Yes or <u>(No)</u> Please list type of Storage? _____			
SEWAGE DISPOSAL BY: Public Sewer _____ Septic Tank _____ Holding Tank _____ Storm Water Retention/Detention: Yes? or No?		WATER SUPPLY BY: Public Water Main _____ Private Well _____ Other _____		SOLID WASTE (trash) DISPOSAL BY: Contract: _____ Self: _____ Any flammable substances? Yes or <u>(No)</u> If Yes, where Stored? _____		
Any Special Equipment/Facilities/Requirements? Yes or <u>(No)</u> What?						
APPLICANT'S SIGNATURE <u>[Signature]</u>		APPLICANT'S PRINTED NAME <u>Finanza German</u>		DATE SIGNED <u>6/14/18</u>		
PROPERTY OWNER'S SIGNATURE <u>[Signature]</u>		PROPERTY OWNER'S PRINTED NAME <u>John Schlueter</u>		DATE SIGNED <u>6/15/2018</u>		
APPROVAL CONDITIONS Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of City Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the City Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.						
For City Staff ONLY Submitted for Review on: _____ Date: _____ Approval by Zoning Administrator: _____ Date: _____ Approval by City Planner: _____ Date: _____ SPECIAL REQUIREMENTS/COMMENTS: _____						



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: July 12, 2018

To: City of Pewaukee Plan Commission
Scott Klein, City Administrator

From: Nick Fuchs, Wrayburn Consulting, LLC

RE: Aspire Dance Conditional Use and Business Plan of Operation

Project Description

The applicant, Aspire Dance filed a Conditional Use Permit and Business Plan of Operation Applications requesting approval to locate within an existing tenant space at W238N1700 Rockwood Drive.

The property is zoned M-2 Limited Industrial District and is designated as Manufacturing / Fabrication / Warehousing on the City's 2035 Future Land Use Map. The proposed use may be allowed within the M-2 District as a Conditional Use.

Aspire Dance provides dance instruction to children and adults. The applicant is not proposing any exterior site or building modifications.

Recommendation

Although the proposed use is not industrial in nature, it is allowed as a Conditional Use per the M-2 District, and the use does not have any anticipated adverse impacts on the surrounding properties. Furthermore, similar service type uses are located within the area, such as Dogtopia and Marillian Massage. Therefore, approval of the Conditional Use and Business Plan of Operations Applications is recommended.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 4.**

DATE: July 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding a Certified Survey Map for Property Owned by Dawn Myers Located at N37 W26773 Kopmeier Drive and N37 W26783 Kopmeier Drive for the Purpose of Combining the Two Properties (PWC 0894016 & PWC 0984017)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Myers CSM

Myers CSM staff report

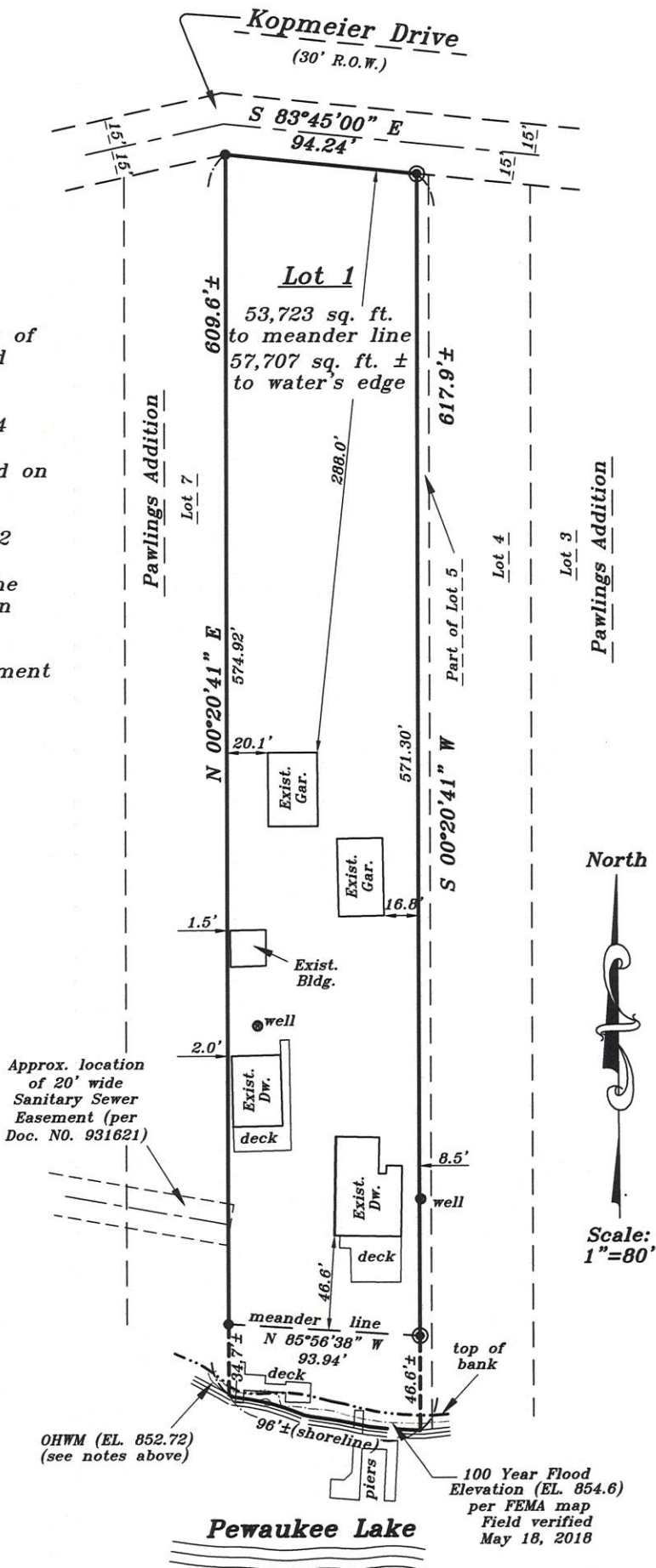
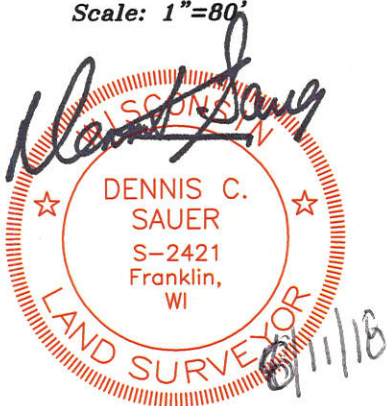
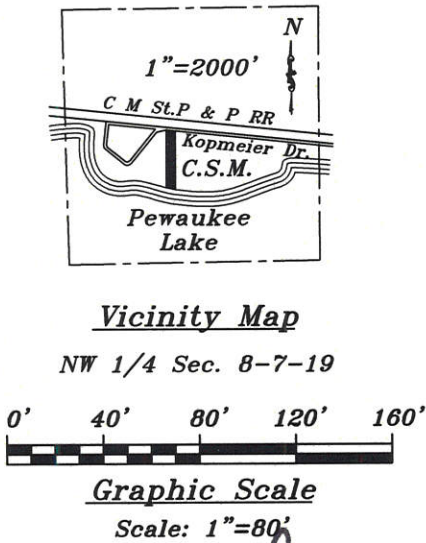
Myers CSM staff report #2

CERTIFIED SURVEY MAP NO. _____

Being a combination of the West 44 feet of Lot 5 and all of Lot 6 in Pawlings Addition, being a part of the Northwest 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 8, Town 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

Notes:

- ⊙ Denotes iron pipe found and accepted.
 - Denotes 1"x24" iron pipe set.
- Map bearings refer to the recorded plat of Pawlings Addition.
- This entire property is within the jurisdiction of the Waukesha County Shoreland and Floodland Protection Ordinance.
- The 100 year elevation of 854.6 NGVD29 (854.4 NAVD88) as shown on this map was obtained from FEMA FIRM Map No. 55133C0179H, revised on Nov. 5, 2014.
- An Ordinary High Water Mark elevation (852.72 NGVD 29) was established for this portion of Pewaukee Lake, base on a staking done by the Wisconsin Department of Natural Resources, on July 8, 2004 at W290N3070 Hillcrest Dr,
- See sheet 2 regarding high groundwater basement restriction.



CERTIFIED SURVEY MAP NO. _____

Being a combination of the West 44 feet of Lot 5 and all of Lot 6 in Pawlings Addition, being a part of the Northwest 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 8, Town 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a combination of the West 44 feet of Lot 5 and all of Lot 6 in Pawlings Addition, being a part of the Northwest 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 8, Town 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

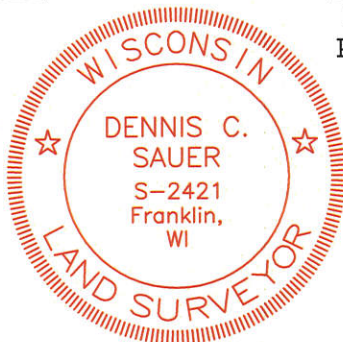
That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have made such survey, land division and map by the direction of Dawn M Myers, owner of said land.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the requirements of the City of Pewaukee in surveying, dividing and mapping of the same.

June 11, 2018
Date


Dennis C. Sauer
Professional Land Surveyor S-2421



BASEMENT RESTRICTION - GROUNDWATER

This Certified Survey Map is located in an area with mapped soils known to have seasonal high groundwater. The Waukesha County Shoreland and Floodland Protection Ordinance currently requires that the lowest level of any residence must be at an elevation that is at least one (1) foot higher than the highest seasonal groundwater level, unless a variance from that requirement is obtained from the Waukesha County Board of Adjustment. Therefore, additional soil testing in the vicinity of any proposed residence or addition will be required to ensure compliance with this requirement. If the requirement regarding vertical separation distance from the highest seasonal groundwater level is modified by a future amendment to the Waukesha County Shoreland and Floodland Protection Ordinance, the requirement at the time of construction shall apply. All groundwater separation requirements set forth by the City of Pewaukee must also be complied with.

CERTIFIED SURVEY MAP NO. _____

Being a combination of the West 44 feet of Lot 5 and all of Lot 6 in Pawlings Addition, being a part of the Northwest 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 8, Town 7 North, Range 19 East, in the City of Pewaukee, Waukesha County, Wisconsin.

OWNER'S CERTIFICATE

Dawn M Myers, as owner, does hereby certify that he/she has caused the land described on this map to be surveyed, divided, and mapped as represented on this map in accordance with Chapter 236.34 of the Wisconsin State Statutes, and the Subdivision Regulations of the City of Pewaukee.

IN WITNESS WHEREOF, the hand and seal of said owner this 18 day of June, 2018.

Dawn M Myers
Dawn M Myers, Owner

STATE OF WISCONSIN)
Waukesha COUNTY) SS

PERSONALLY came before me this 18th day of June, 2018, Dawn M Myers, Owner, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Ami Hurd
Print Name: Ami Hurd
Notary Public-State of Wisconsin
My Commission Expires: 1/18/19



PLAN COMMISSION APPROVAL

APPROVED by the Plan Commission of the City of Pewaukee on this _____ day of _____, 20____.

Steve Bierce, Chairman
City of Pewaukee

Brandon Bergman, Secretary
City of Pewaukee

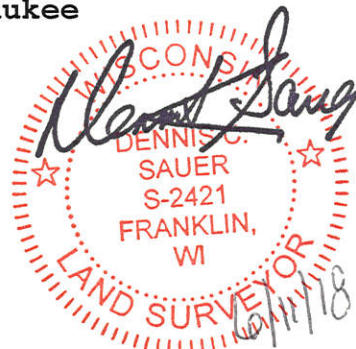
COMMON COUNCIL APPROVAL

APPROVED by the Common Council of the City of Pewaukee on this _____ day of _____, 20____.

Steve Bierce, Mayor
City of Pewaukee

Kelly Tarczewski, Secretary
City of Pewaukee

THIS INSTRUMENT WAS DRAFTED BY:
Dennis C. Sauer, P.L.S. S-2421





Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: June 25, 2018
To: Scott Klein, City Administrator
From: Nick Fuchs, Wrayburn Consulting, LLC
RE: N37W26773 and N37W26783 Kopmeier Drive Certified Survey Map (Land Combination)

Review Comments

Below are comments following review of the proposed certified survey map (land combination) for properties located at N37W26773 and N37W26783 Kopmeier Drive.

1. According to the Waukesha County GIS mapping, the property located at N37W26773 Kopmeier Drive (Lot 5) is owned by Dawn Myers; however, the property at N37W26783 Kopmeier Drive (Lot 6) is owned by Arnold and Sandra Moncada. If correct, Mr. and Mrs. Moncada must sign the CSM as owners as well.
2. The existing interior lot line must be shown as a dashed or dotted line and labeled as “original lot line – to be removed” or “previous lot line – to be removed.”
3. The 8.5-foot remnant part of Lot 5 must be included and combined to the subject properties as part of this CSM.
4. The buildings to be removed must be labeled “to be razed.” Furthermore, Section 17.0208b. allows only one principal structure per lot. As such, it is recommended that the buildings be torn down and the CSM revised accordingly, prior to recording the CSM. Alternatively, a bond or letter of credit in the amount to demolish the buildings may be provided.
5. Per Section 18.0603b., the information below shall be shown on Sheet 1 of the proposed certified survey map.
 - a. Setbacks or Building Setback Lines required by the Plan Commission or other City or County Ordinances.
 - b. Date of the CSM
 - c. Name and address of the owner, subdivider, and surveyor
 - d. The elevation at each lot
6. The setback from the deck to the meander line and the existing dwelling to the east side property line must be shown.



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: July 12, 2018

To: City of Pewaukee Plan Commission
Scott Klein, City Administrator

From: Nick Fuchs, Wrayburn Consulting, LLC

RE: N37W26773 and N37W26783 Kopmeier Drive Certified Survey Map (Land Combination (Land Combination))

Project Description

The applicant, Dawn Myers, filed an application for a Certified Survey Map (CSM) requesting approval to combine two existing parcels located at N37W26773 and N37W26783 Kopmeier Drive.

The subject parcels are zoned Rs-7 Single-Family Residential District. Each lot currently contains an existing dwelling and a detached garage. Lot 6 also contains a second detached accessory building. The combined area of both lots is 57,707 square feet.

Recommendation

Approval of the proposed Certified Survey Map (Land Combination) is recommended, subject to the following conditions:

1. All legal owners of the subject properties shall be included and sign the Certified survey Map, prior to recording.

According to the Waukesha County GIS mapping, the property located at N37W26773 Kopmeier Drive (Lot 5) is owned by Dawn Myers; however, the property at N37W26783 Kopmeier Drive (Lot 6) is owned by Arnold and Sandra Moncada.

2. The existing interior lot line shall be shown as a dashed or dotted line and labeled as "original lot line – to be removed" or "previous lot line – to be removed."
3. The 8.5-foot remnant part of Lot 5 shall be included and combined to the subject properties as part of this CSM.
4. The buildings to be removed shall be labeled "to be razed." Furthermore, Section 17.0208b. allows only one principal structure per lot. As such, the buildings shall be torn down and the CSM revised accordingly, prior to recording the CSM. Alternatively, a bond or letter of credit in the amount to demolish the buildings may be provided.
5. Per Section 18.0603b., the information below shall be shown on Sheet 1 of the proposed certified survey map.
 - a. Setbacks or Building Setback Lines required by the Plan Commission or other City or County Ordinances.
 - b. Date of the CSM

- c. Name and address of the owner, subdivider, and surveyor
 - d. The elevation at each lot
- 6. The setback from the deck to the meander line and the existing dwelling to the east side property line shall be shown.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 5.**

DATE: July 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Site and Building Plans and Plan of Operation for Christ Evangelical Lutheran Church Located at W240 N3103 Pewaukee Road for a Building Addition (PWC 0904994001 & PWC 0904994002)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Christ Lutheran Church site & building plans

Christ Lutheran Church Plan of Operation

Christ Lutheran Church staff report

Christ Lutheran Church staff report #2



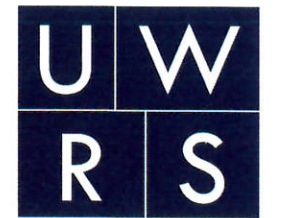
CHRIST EVANGELICAL LUTHERAN CHURCH

PROPOSED ADDITION

CITY OF PEWAUKEE PLAN COMMISSION SUBMITTAL
06/21/2018 (REVISED 7/11/2018)

DRAWING INDEX

1	SURVEY
C1.1	SITE DEMOLITION PLAN
C1.2	SITE LAYOUT PLAN
C1.3	SITE GEOMETRIC & TRAFFIC CONTROL PLAN
C1.4	SITE GRADING PLAN
C1.5	SITE UTILITY PLAN
C1.6	SITE EROSION CONTROL PLAN
L1.1	SITE LANDSCAPE PLAN
L2.1	SITE LANDSCAPE DETAILS
E001	SITE LIGHTING PLAN
E002	SITE LIGHTING FIXTURES
A001	GENERAL SITE PLAN
A100	LOWER LEVEL PLAN
A101	UPPER LEVEL PLAN
A102	ROOF PLAN
A200	ELEVATIONS



UIHLEIN | WILSON
RAMLOW | STEIN
ARCHITECTURE DESIGN PLANNING

322 East Michigan Street
Milwaukee, WI 53202

414.271.8899
office@uihlein-wilson.com
www.uihlein-wilson.com

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REVISIONS		
No.	Date	Description

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
Christ Lutheran
Church

PEWAUKEE
SHEET

DATE
06/21/2018

PROJECT NO.
17-112

SHEET NO.

A001

ALTANSPS LAND TITLE SURVEY

A PARCEL OF LAND BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

LEGAL DESCRIPTION

A PARCEL OF LAND BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

LOTS 1 & 2 OF CERTIFIED SURVEY MAP 8673 RECORDED IN WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 76 OF RECORDS, AT PAGE 316 AS DOCUMENT 2387749 AND BEING IN THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 7 NORTH, RANGE 19 EAST, CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

EXCEPT THAT PORTION SOLD TO WAUKESHA COUNTY FOR HIGHWAY PURPOSES, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 10; THENCE N 88°36'36" W ALONG THE SOUTHERLY LINE OF SAID SOUTHEAST 1/4 79.50 FEET TO A POINT IN THE EXISTING WESTERLY RIGHT OF WAY LINE OF S.T.H. 1647; SAID POINT ALSO BEING THE POINT OF BEGINNING OF LANDS HEREIN DESCRIBED, THENCE CONTINUING N 88°36'36" W ALONG SAID SOUTHERLY LINE 88.28 FEET, THENCE N 34°27'18" E, 45.78 FEET, THENCE N 88°54'44" E, 61.63 FEET TO A POINT IN SAID EXISTING RIGHT OF WAY LINE, THENCE SOUTHERLY ALONG SAID EXISTING WESTERLY RIGHT OF WAY LINE, ALONG THE ARC OF A CURVE TO THE RIGHT, CHORD BEARING S 01°01'16" E, CHORD 41.06 FEET, RADIUS 11,409.16 FEET TO THE POINT OF BEGINNING.

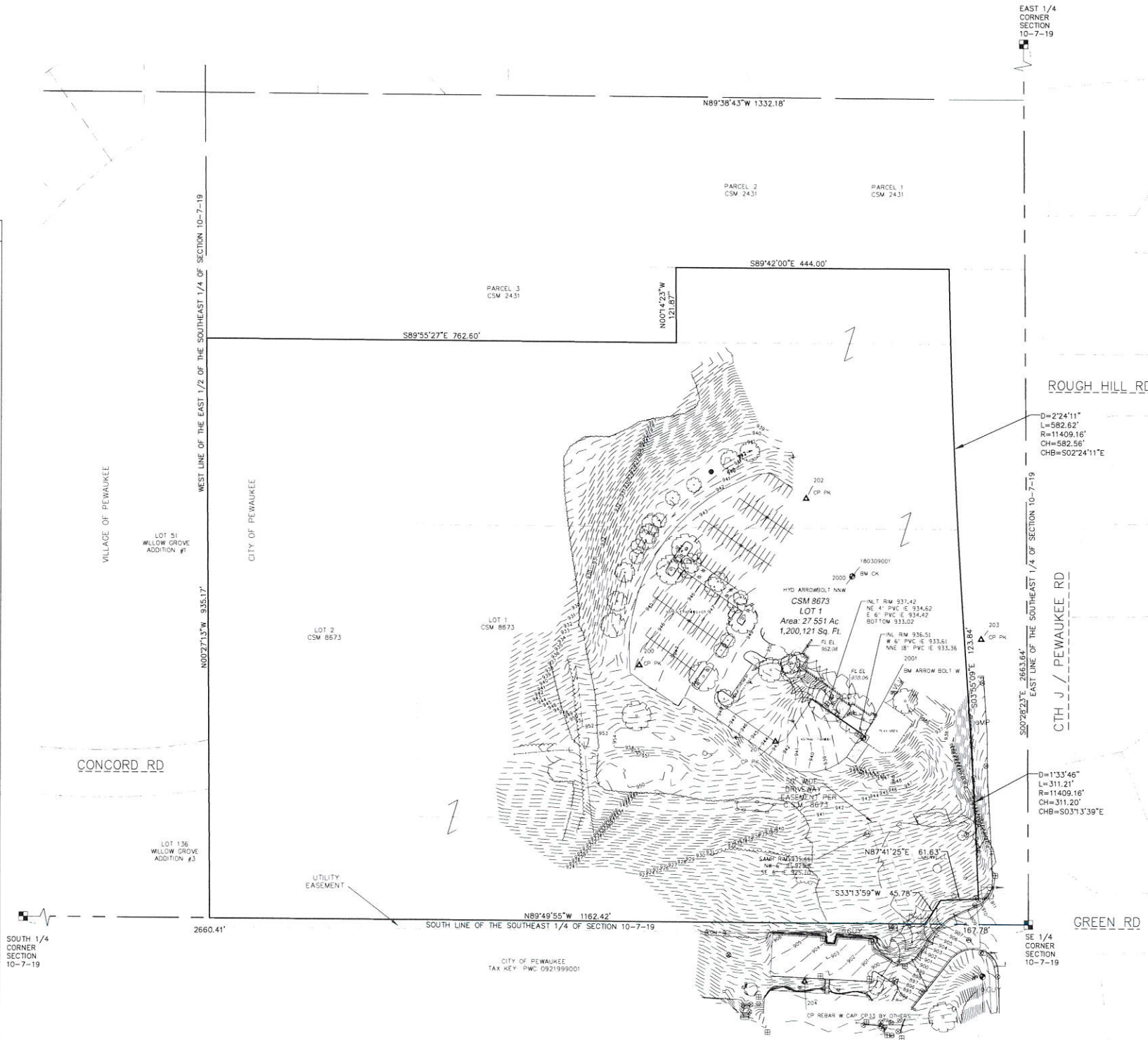
ALL THAT PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, IN TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT A POINT ON THE EAST LINE OF THE SAID SOUTHEAST 1/4, DISTANT SOUTH 396.00 FEET FROM THE NORTHEAST CORNER OF THE SAID SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THENCE WEST AND PARALLEL WITH THE 1/16TH LINE OF THE SAID SOUTHEAST 1/4 567.00 FEET, THENCE NORTH 121.75 FEET, THENCE EAST 567.00 FEET TO SECTION LINE, THENCE SOUTH 121.75 FEET TO THE POINT OF BEGINNING.

TAX KEY: PWC 0904994001 & PWC 0904994002
PROPERTY ADDRESS: W240N3103 PEWAUKEE RD

LEGEND

- = BENCH MARK
- ▲ = CONTROL POINT
- ⊠ = CHISELED MARK FOUND
- ✕ = OUT CROSS SET
- = 1 1/4" IRON PIPE O.D. FOUND OR AS NOTED
- = 1-1/4" O.D. x 18" LONG IRON PIPE SET, WEIGHING 1.68 LBS./FT.
- = 5/8" O.D. REBAR FOUND, UNLESS OTHERWISE INDICATED
- = SECTION CORNER MON.
- △ = FOUND MAG./PK.
- ▲ = SET MAG. NAIL
- (R.A.) = RECORDED AS
- O.D. = OUTSIDE DIAMETER
- ⊗ = WATER VALVE
- ⊙ = FIRE HYDRANT
- ⊕ = SOIL BORING
- 970.90 = SPOT ELEVATION
- ⊙ = BUSH, SHRUB
- = POLE/POST/BOLLARD
- = BOULDER
- ⊙ = WINDMILL
- ⊙ = PULLBOX
- ⊙ = MANHOLE TYPE NOTED
- ⊙ = SANITARY SEWER MANHOLE
- ⊙ = STORM SEWER MANHOLE
- ⊙ = ELECTRIC MANHOLE
- ⊙ = TELEPHONE MANHOLE
- ⊙ = WATER MANHOLE
- ⊙ = UTILITY METER
- ⊙ = SPRINKLER
- ⊙ = GUY WIRE POLE
- ⊙ = LIGHT POLE
- ⊙ = PEDESTAL
- ⊙ = POWER POLE
- ⊙ = POWER/LIGHT POLE
- ⊙ = TRAFFIC SIGNAL
- ⊙ = CURB STOP
- ⊙ = INLET
- ⊙ = CURB INLET
- ⊙ = GAS VALVE
- ⊙ = LIGHT POLE WITH MAST
- ⊙ = TREE (CONIFEROUS) DRIP LINE SCALABLE
- ⊙ = TREE (DECIDUOUS) DRIP LINE SCALABLE
- = FOUND REBAR
- ⊙ = CLEANOUT
- ⊙ = FLAG POLE
- ⊙ = UTILITY MARKER POST
- ⊙ = WELL
- ⊙ = MONITORING WELL
- ⊙ = SIGN ON POST
- ⊙ = PARKING METER
- ⊙ = UTILITY CONTROL BOX
- ⊙ = UNKNOWN UTILITY VALVE
- FL EL. = FIRST FLOOR ELEVATION
- = BUILDING OUTLINE
- = MINOR CONTOUR
- = MAJOR CONTOUR
- = FENCE
- = BEAM GUARD
- = CHAINLINK FENCE
- = WOODED AREA/SHRUB EDGE
- = WATER MAIN
- = STORM SEWER
- = SANITARY SEWER
- = COMBINED SEWER
- = NATURAL GAS MAIN
- = UNDERGROUND TELEPHONE
- = UNDERGROUND ELECTRIC
- = OVERHEAD UTILITY LINES
- = UNDERGROUND FIBER OPTIC
- = UNDERGROUND CABLE TV
- = BUREAU OF ELEC. SERV. CL. ML.
- = STEAM LINE
- = COMMUNICATION CONDUIT
- = ASPHALT SURFACE
- = CONCRETE SURFACE
- = WETLANDS



SOUTH 1/4 CORNER SECTION 10-7-19

CITY OF PEWAUKEE
TAX KEY: PWC 0921999001

SE 1/4 CORNER SECTION 10-7-19

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
200	397585.61	2473630.181	946.17	CP PK
201	397463.652	2473651.574	943.29	CP PK
202	397856.111	2473900.878	945.20	CP PK
203	397629.93	2474186.451	929.07	CP PK
204	397077.699	2473900.617	901.65	CP REBAR W CAP CP33 BY OTHERS

SURVEYOR'S CERTIFICATE:

I, Brian Sandberg do hereby certify that that under My direction and control the above described property was surveyed on X/XX/2018 in accordance with AE-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

Brian Sandberg
March 15, 2018



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MILWAUKEE, WISCONSIN 53217
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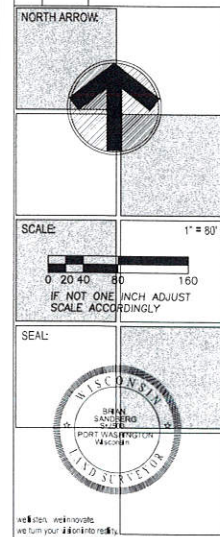
PROJECT:
BANK MUTUAL

LOCATION:
W240N3103
PEWAUKEE RD
PEWAUKEE, WI 53072

CLIENT:
CHRIST
EVANGELICAL
LUTHERAN
CHURCH OF
PEWAUKEE INC

RELEASE:
DRAFT

#	DATE	DESCRIPTION



SHEET:
ALTANSPS
LAND TITLE
SURVEY

DRAWN BY: IM
CHECKED BY:
APPROVED BY: BS
PROJECT NUMBER: 18.0166.01

SHEET NUMBER:

1



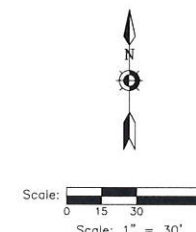
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[illegible]

REVISIONS

No.	Date	Description
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www.DiggersHotline.com

DEMOLITION LEGEND

- | | |
|---|--|
|  | VEGETATION TO BE REMOVED AND DISPOSED OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED, UNUSED AND UNSUITABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT OR FIELD VERIFY FULL DEPTH IF GEOTECHNICAL REPORT NOT AVAILABLE. |
|  | ASPHALT PAVEMENT AND BASE MATERIAL TO BE REMOVED TO SUB-BASE AND DISPOSED OFFSITE. PAVEMENT AND BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT. |
|  | CONCRETE AND BASE MATERIAL TO BE REMOVED TO SUB-BASE AND DISPOSED OFFSITE. CONCRETE AND BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT. |
|  | CLEAR AND GRUB VEGETATION, REMOVE ROOTS AND STUMPS. REMOVE AND DISPOSE OF OFFSITE. |
|  | SAWCUT FULL DEPTH |
|  | TREES AND STUMPS TO BE REMOVED |
|  | DENOTES UTILITIES TO BE ABANDONED AND REMOVED. |
|  | KNOWN UTILITY AND POTENTIAL CONFLICT EXIST |
|  | DENOTES EXISTING STORM INLETS TO BE REMOVED. ALL STORM SEWER INLETS SHALL HAVE INLET PROTECTION UNTIL REMOVED. SEE DETAIL ____/C.2.2 |

DEMOLITION NOTES

1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WOOD, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND/OR RELOCATION OF ALL EXISTING UTILITIES FROM EXISTING BUILDINGS AND WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL/FIBER OPTIC/TELEPHONE/CABLE/GAS/WATER/SANITARY/STORM. DEMOLITION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, & LOCAL REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES, AND INCLUDING IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.
8. ALL EXISTING UTILITY LINES SHALL BE FULLY PROTECTED AND SUPPORTED/SHORED DURING CONSTRUCTION TO KEEP LINES IN SERVICE AND TO PREVENT DAMAGE. WHERE NEW UNDERGROUND UTILITIES ARE TO BE INSTALLED BELOW EXISTING UTILITIES, SURFACING SHALL BE DONE IN ACCORDANCE WITH THE RESTRICTION OF BOTH HORIZONTAL AND VERTICAL MOVEMENT OF UTILITY. AFTER NEW UTILITIES HAVE BEEN INSTALLED, EXISTING UTILITIES SHALL BE BACKFILLED IN SAME MANNER AS THAT SPECIFIED FOR NEW UTILITIES. PROVIDE FLOWABLE CONCRETE FILL DIRECTLY BENEATH EXISTING UTILITIES TO PREVENT COMPACTION REQUIREMENTS CANNOT BE AVOIDED.



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PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
Christ Lutheran
Church

PEW ALKFE

SHEET

SITE DEMOLITION
PLAN

DATE: 06/21/2018

PROJECT NO
17-112

SHEET NO. _____

C1.1



CTH J / PEWAUKEE RD

Scale: 0 15 30 60
Scale: 1" = 30'

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HATCH LEGEND

[Pattern]	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP.). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
[Pattern]	NEW ASPHALTIC CONCRETE (LIGHT DUTY) SEE DETAIL C2.3
[Pattern]	NEW ASPHALTIC CONCRETE (HEAVY DUTY) SEE DETAIL C2.3
[Pattern]	NEW CONCRETE SLAB SEE DETAIL C2.3
[Pattern]	NEW HEAVY DUTY CONCRETE SLAB SEE DETAIL C2.3
[Pattern]	DELINEATES 4' GRASS SHOULDER WITH 4.0% CROSS-SLOPE
[Pattern]	NEW 18" BARRIER HIGH-SIDE CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED SEE DETAIL C2.3
[Pattern]	NEW 18" BARRIER LOW-SIDE CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED SEE DETAIL C2.3

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Milwaukee, WI 53202

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No.	Date	Description
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PROJECT
Christ Lutheran Church

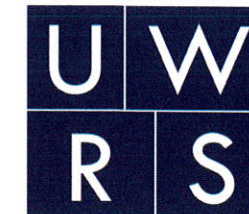
PEWAUKEE

SHEET
SITE LAYOUT PLAN

DATE:
06/21/2018

PROJECT NO.
17-112

SHEET NO.
C1.2



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PROJECT
**Christ Lutheran
Church**

PEW VOLUME

SHEET
**SITE GEOMETRIC
& TRAFFIC
CONTROL PLAN**

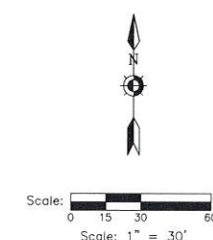
DATE
06/21/2018

PROJECT NO.
17-112

SHEET NO.

C1.3

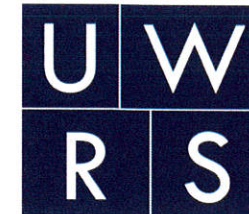
CTH J / PEWAUKEE RD



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PAVEMENT MARKING LEGEND

- [A] PAVEMENT MARKING ARROWS, LATEX PAVEMENT MARKING PAINT, WHITE (SEE WOOT PAVEMENT MARKING S.D.D.)
- [B] PAVEMENT MARKING WORDS, LATEX PAVEMENT MARKING PAINT, WHITE (SEE WOOT PAVEMENT MARKING S.D.D.)
- [C] PAVEMENT MARKING STOP LINE, LATEX PAVEMENT MARKING PAINT, WHITE (SEE WOOT PAVEMENT MARKING S.D.D.)
- [D] PAVEMENT MARKING MAINLINE, LATEX PAVEMENT MARKING PAINT, 4" YELLOW (DOUBLE) (SEE WOOT PAVEMENT MARKING S.D.D.)
- [E] PAVEMENT MARKING INTERSECTION, LATEX PAVEMENT MARKING PAINT, 4" WHITE (SEE WOOT PAVEMENT MARKING S.D.D.)
- [F] PAVEMENT MARKING CROSSWALK, LATEX PAVEMENT MARKING PAINT, WHITE, 4-INCH WIDE DIAGONAL STRIPING, 3' O.C. SPACING



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ARCHITECTS, INC.
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STUDIOS: RAMLOW, STEIN ARCHITECTS, INC. is a full-service architectural and interior
design firm. The firm's services include conceptual design, schematic design, design
development, construction documents, construction administration, and interior
design. The firm's design philosophy is to create spaces that are functional, beautiful,
and sustainable.

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PROJECT
**Christ Lutheran
Church**

PEWAUKEE
SHEET
**SITE GRADING
PLAN**

DATE:
06/21/2018
PROJECT NO.
17-112
SHEET NO.

C1.4

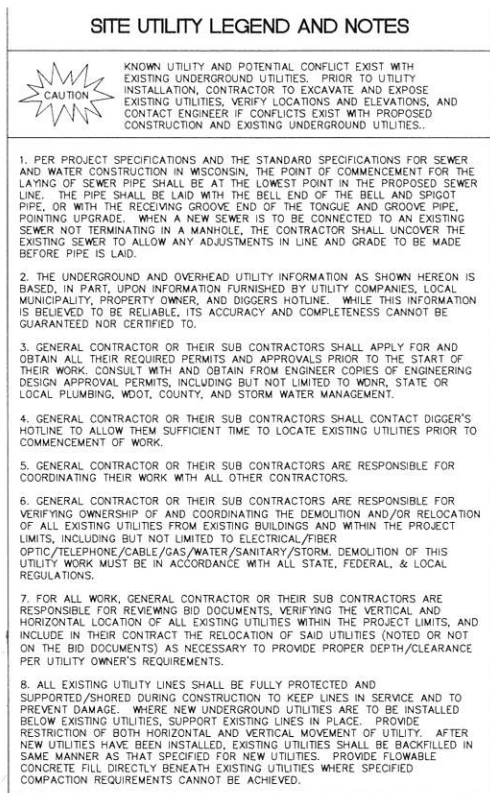


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Scale: 1" = 30'

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GRADING LEGEND

---	EXISTING CONTOUR MINOR
---	EXISTING CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
+	PROPOSED SPOT GRADE
+	MATCH EXISTING SPOT GRADE
+	PROPOSED TOP OF CURB
+	PROPOSED BOTTOM OF CURB
+	MATCH EXISTING TOP OF CURB
+	MATCH EXISTING BOTTOM OF CURB



Scale:  0 15 30 60
Scale: 1" = 30'

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PROJECT

Christ Lutheran
Church

PEWAUKEE.

SITE UTILITY PLAN

DATE: 06/21/2018

PROJECT NO.
17-112

SHEET NO. _____

C1.5



CTH J / PEWAUKEE RD

Scale: 0 15 30 60
Scale: 1" = 30'

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POINTS OF CONTACT

LAND OWNER:
----- PRESIDENT
----- STREET
----- WI -----
PHONE: (-----) -----
PROJECT ENGINEER:
THOMAS PEREZ, P.E.
KAPUR & ASSOCIATES, INC.
7711 NORTH PORT WASHINGTON
ROAD
MILWAUKEE, WI 53217
PHONE: (414) 351-6668
CONSTRUCTION MANAGER:
----- PROJECT MANAGER
----- CONSTRUCTION
----- STREET
----- WI -----
PHONE: (-----) -----

EROSION CONTROL LEGEND

- FILTER FABRIC FENCE
SEE DETAIL -----
- DESIGNATES PROPOSED INLETS THAT MUST BE
PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.
SEE DETAIL -----
- DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED
SEE DETAIL -----
- INSTALL EROSION MAT ON ALL SLOPES GREATER THAN
4:1 AND ALL DRAINAGE SWALES
USE CLASS I, TYPE A FROM WSDOT
PRODUCT APPROVED LIST FOR ALL SIDE SLOPES
USE CLASS II, TYPE B FOR ALL DRAINAGE SWALES.
INSTALL EROSION MAT ON THE BOTTOM OF AND A
MINIMUM OF 2 FEET VERTICALLY UP THE SIDE SLOPES OF
ALL DRAINAGE SWALES. CLASS I, TYPE A MAY BE USED
FOR THE REMAINDER OF THE SIDE SLOPES IN DRAINAGE
SWALES EXCEEDING 2 FEET VERTICALLY.
- INSTALL CLASS III TRM, TYPE B FROM WSDOT
PRODUCT APPROVED LIST. CLASS I, TYPE A MUST
ALSO BE INSTALLED IN THIS AREA PER WDR
TECHNICAL BULLETIN 1053
- DRAINAGE SWALE
- TRIANGULAR SILT DIKES SEE DETAIL -----

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR
OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED
WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER.
IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT
CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER
CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH
PRECIPITATION REPORTS, APPROVED PLANS AND PERMITS PERMIT A CHAPTER 30 PERMIT
SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.
AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED
WITHIN 25 FEET OF ANY WATERWAY OR 25 FEET OF ANY CHURCH OR OTHER SENSITIVE AREA.

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PROJECT
Christ Lutheran Church

PEWAUKEE
SHEET
SITE EROSION CONTROL PLAN

DWIT.
06/21/2018
PROJECT NO.
17-112
SHEET NO.

C1.6



CTH J / PEWAUKEE RD

GREEN ROAD

UW
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PRELIMINARY
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PROJECT
Christ Lutheran Church

PEWAUKEE
SHEET
SITE LANDSCAPE PLAN

DATE
06/21/2018

PROJECT NO.
17-112

SHEET NO.

L1.1

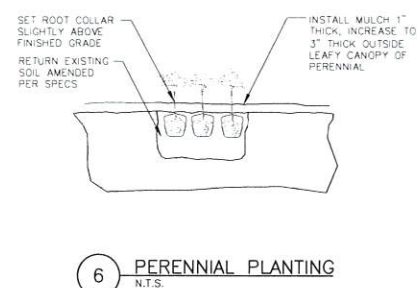
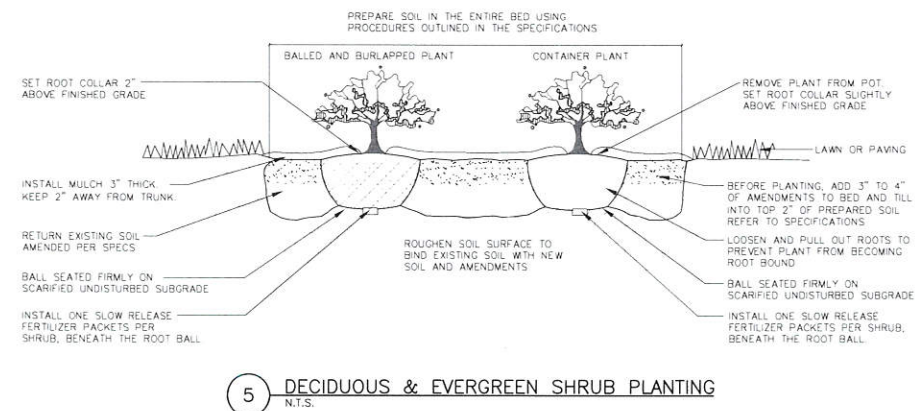
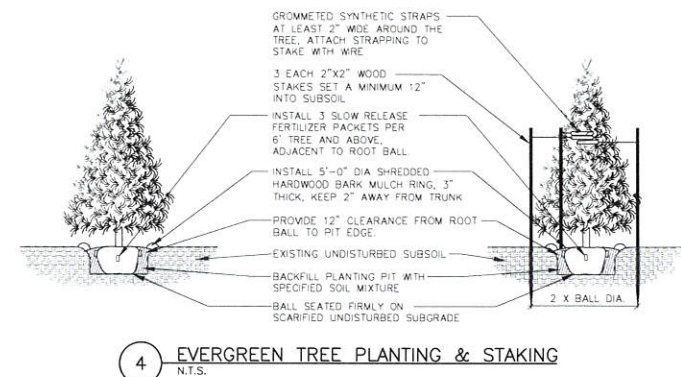
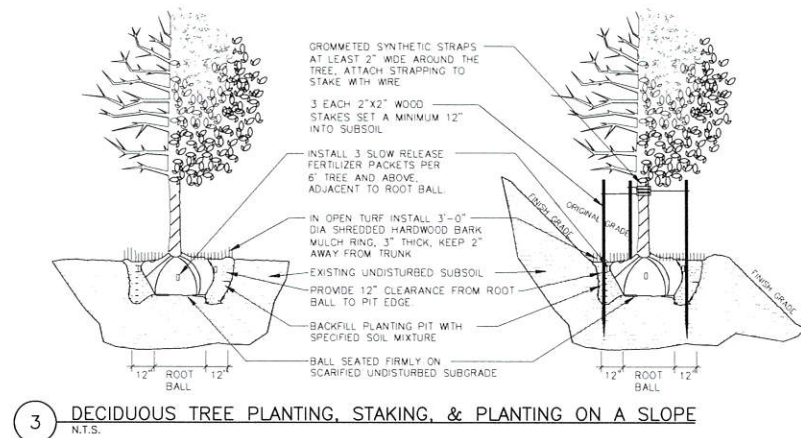
Scientific Name		Common Name	Quantity	Spacing	Size	Size
					Install	Maturity in ft. (Height/Spread)
Deciduous Trees						
ABM	Acer x freemanii 'Jeffersred' PP4,864	Autumn Blaze Maple	2	Per Plan	2" caliper B&B	40-50'/40'
AE	Ulmus 'Morton' Accolade	Accolade Elm	1	Per Plan	2" caliper B&B	50-60'/25-40'
CKM	Acer platanoides 'Crimson King'	Crimson King Maple	12	Per Plan	2" caliper B&B	35-50'/35-45'
RRC	Malus 'JFS-KW5'	Royal Raindrops Crabapple	3	Per Plan	1.5" caliper B&B	20'/15'
SFS	Amelanchier laevis 'JFS-Arb'	Spring Flurry Serviceberry	4	Per Plan	1.5" caliper B&B	25'/20'
SMH	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	16	Per Plan	2" caliper B&B	50-60'/30-35'
Evergreen Trees						
BHS	Picea glauca var. densata	Black Hills Spruce	3	Per Plan	6" tall B&B	20-40'/15-25'
TNA	Thuja occidentalis 'Ball John' PP15,850	Technito Arborvitae	3	Per Plan	4" B&B	15-20'/7-9'
Deciduous Shrubs						
ANH	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	10	Per Plan	#3 Cont.	4'/4-5'
AFD	Cornus stolonifera 'Farrow PP18,523	Arctic Fire Dogwood	18	Per Plan	#3 Cont.	3-4'/3-4'
CLC	Syringa vulgaris	Common Purple Lilac	7	Per Plan	36" B&B	8-10'/10-12'
GLS	Rhus aromatica 'Gro-Low'	Grow-Low Sumac	35	Per Plan	#3 Cont.	2-3'/6-8'
KNO	Rosa x 'Radrazz' PPAF	Knockout Rose	21	Per Plan	#3 Cont.	3'/3'
MLC	Syringa meyeri 'Palibin'	Meyer Lilac	10	Per Plan	#3 Cont.	4-5'/5-7'
NSD	Deutzia gracilis 'Nikko'	Nikko Slender Deutzia	6	Per Plan	#2 Cont.	2'/4'
RHB	Euonymus alata 'Rudy Haag'	Rudy Haag Burning Bush	3	Per Plan	#3 Cont.	4'/4'
Perennials						
AWS	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	14	Per Plan	#1 Cont.	2-3'/3-4'
MLG	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	4	Per Plan	#1 Cont.	4-6'/2-3'
MPC	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	45	Per Plan	#1 Cont.	3-4'/18"
MSG	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	32	Per Plan	#1 Cont.	3-4'/2-3'
NSO	Chasmanthium latifolium	Northern Sea Oats	15	Per Plan	#1 Cont.	30-36'/12-18"
PDS	Sporobolus heterolepis	Prairie Dropseed	88	Per Plan	#1 Cont.	2'/18"
PRS	Geum triflorum	Prairie Smoke	18	Per Plan	#1 Cont.	12-16'/22"
SCF	Echinacea x 'Sunrise' PP16,235	Sunrise Coneflower	50	Per Plan	#1 Cont.	30-36'/18-24"
SBD	Hemerocallis 'Strutter's Ball'	Strutter's Ball Daylily	31	Per Plan	#1 Cont.	28'/18-24"
WGB	Bergenia cordifolia 'Winterglut'	Winter Glow Bergenia	44	Per Plan	#1 Cont.	12-18'/18"
MIX 1	Aster ericoides	Heath Aster	52	18" o.c.	3" plug	
MIX 1	Aster novae-angliae	New England Aster	52	18" o.c.	3" plug	
MIX 1	Baptisia leucantha	Wild White Indigo	52	18" o.c.	3" plug	
MIX 1	Eupatorium maculatum	Spotted Joe Pye Weed	52	18" o.c.	3" plug	
MIX 1	Liatris spicata	Marsh Blazing Star	50	18" o.c.	3" plug	
MIX 1	Monarda fistulosa	Wild Bergamot	50	18" o.c.	3" plug	
MIX 1	Ratibida pinnata	Black-eyed Susan	50	18" o.c.	3" plug	
MIX 1	Solidago rugosa 'Fireworks'	Fireworks Goldenrod	50	18" o.c.	3" plug	
MIX 1	Tradescantia ohiensis	Spiderwort	50	18" o.c.	3" plug	
MIX 1	Ratibida pinnata	Yellow Coneflower	50	18" o.c.	3" plug	
MIX 1	Carex bebbii	Bebb's Sedge	70	18" o.c.	3" plug	
MIX 1	Bromus ciliatus	Fringed Brome Grass	70	18" o.c.	3" plug	
MIX 1	Panicum virgatum	Switch Grass	70	18" o.c.	3" plug	
MIX 1	Elymus canadensis	Canada Wild Rye	70	18" o.c.	3" plug	
MIX 1	Elymus virginicus	Virginia Wild Rye	70	18" o.c.	3" plug	
MIX 1	Carex stipata	Common Fox Sedge	70	18" o.c.	3" plug	

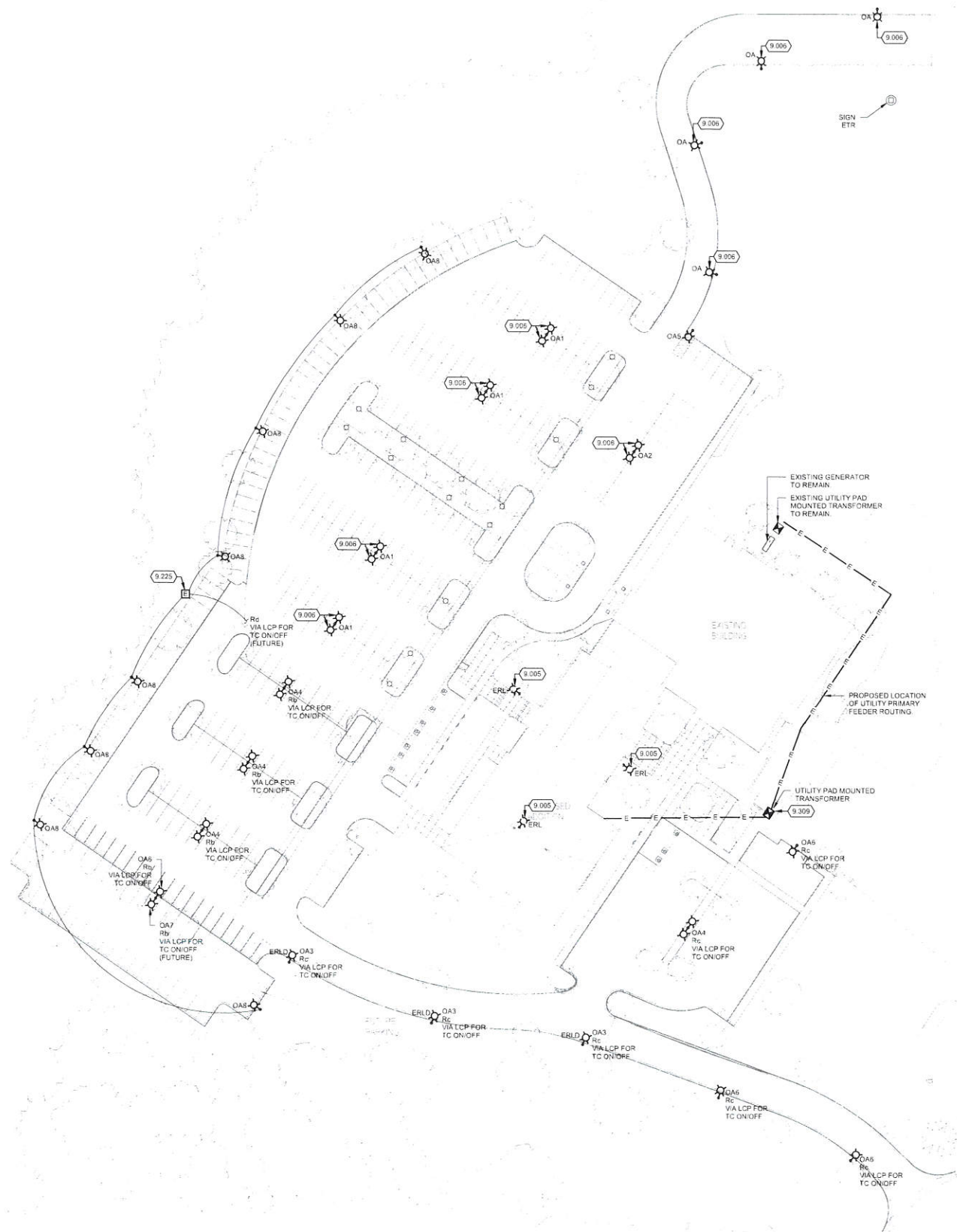
NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

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1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE."
2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
4. LANDSCAPE EDGING TO BE ALUMINUM EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
5. ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK WITH PREEMERGENT HERBICIDE WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
6. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ADJUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
7. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDING AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
8. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
9. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
10. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
11. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
12. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
13. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
14. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
15. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
16. FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE).
17. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
18. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS REMOVED TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOLES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE STAKE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
19. STONE CHIP MAINTENANCE STRIP TO BE 3/4-INCH RAVENS BLACK DECORATIVE STONE CHIP FROM HALQUIST STONE. INSTALL 3-INCHES THICK OVER WEED FABRIC, 2-FEET WIDE ALONG BUILDING EDGE, WHERE INDICATED ON SITE. SEE LANDSCAPE PLAN. CONTRACTOR TO CONTACT HALQUIST STONE, 451 W23561 LISBON ROAD, SUSSER, MI 53089, TELEPHONE: (262)246-3000, EMAIL: INFO@HALQUISTSTONE.COM.
20. NO MOW TO BE NO MOW FESCUE SEED MIX WITH ANNUAL RYE NURSE CROP FROM PRAIRIE NURSERY, INC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. PRAIRIE NURSERY ADDRESS: PO BOX 306 WESTFIELD, WI 53984. TELEPHONE: 1-800-476-9453 FAX: 608-296-2741.
21. REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

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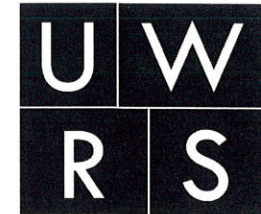


LIGHTING GENERAL NOTES:

1. MINIMUM CONDUCTOR SIZE FOR ALL SITE WORK SHALL BE #8 AWG UNLESS NOTED OTHERWISE.

KEYED NOTES

- 9.005 CAREFULLY DISCONNECT AND REMOVE EXISTING PHILIPS BARDOO GULLWING FIXTURE AND ASSOCIATED POLE UNDAMAGED STORE FIXTURE AND POLE IN SECURE LOCATION OFF SITE FOR FUTURE LED RETROFIT AND INSTALLATION IN NEW LOCATION. EXISTING CONCRETE BASE, CONDUIT AND WIRING SHALL BE DEMOLISHED.
- 9.006 EXISTING METAL HALIDE FIXTURE SHALL BE RETROFITTED WITH NEW LED AND SHALL UTILIZE THE EXISTING POLE, CIRCUIT AND CONTROL. REFER TO LUMINAIRE SCHEDULE ON SHEET E500 FOR ADDITIONAL INFORMATION.
- 9.225 PROVIDE POLYMER HANDHOLE SIZE HANDHOLE PER NEC 314. PROVIDE 2" CONDUIT BETWEEN NEW HANDHOLE AND LCP LOCATED IN STORAGE 253 DEDICATED FOR FUTURE SITE LIGHTING.
- 9.309 PROPOSED LOCATION OF UTILITY TRANSFORMER. UTILITY TRANSFORMER, TRANSFORMER PAD, CT'S, METERING AND UNDERGROUND PRIMARY FEEDER PROVIDED BY WE ENERGIES.



UIHLEIN | WILSON
RAMLOW | STEIN

ARCHITECTURE DESIGN PLANNING
322 East Michigan Street
Milwaukee, WI 53202
414.271.8899
office@uihlein-wilson.com
www.uihlein-wilson.com



Mead & Hunt, Inc. 10700 West Research
Drive, Suite 155
Wauwatosa, WI 53226
phone: 262-790-0232
meadhunt.com

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REVISIONS		
No.	Date	Description

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
Christ Lutheran
Church

SHEET
ELECTRICAL - SITE PLAN

DATE
06/21/2018

PROJECT NO.
17-112

SHEET NO.

E001

Site & Area

Gullwing LED

Large, GL18

OA THRU OA3



Project _____
Location _____
Cat No. _____
Type _____
Qty _____
Notes _____

Philips Gardco Gullwing LED luminaires combine LED performance excellence and advanced Gardco LED thermal management technology with the distinct Gullwing style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing.

Site & Area

Gullwing LED

Large, GL18

OA4, OA5, OA6



Project _____
Location _____
Cat No. _____
Type _____
Qty _____
Notes _____

Philips Gardco Gullwing LED luminaires combine LED performance excellence and advanced Gardco LED thermal management technology with the distinct Gullwing style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing.

Ordering guide

Example: GL18-APD-I-4-80LA-4853-NW-120-BRP-LF

Prefix	Controls	Mounting	Optical System ⁶	Wattage	LED Color	Voltage	Finish	Options
GL18 18" Gullwing LED Luminaire Constant Wattage	— Gullwing Standard Luminaire GL18-DIM 18" Gullwing LED with 0-10V Dimming GL18-APD ¹ 18" Gullwing LED with Automatic Profile Dimming GL18-MR50 ^{2,3,4} 18" Gullwing LED with Motion Response - 50% Low (pole mounted sensor) GL18-APD-MRO ^{2,3,4} 18" Gullwing LED with APD with Motion Response Override (pole mounted sensor) GL18-MRI ^{1,4} 13" Gullwing LED with Motion Response at 50% Low (luminaire mounted sensor) GL18-APD-MRI ^{1,4} 13" Gullwing LED with APD with Motion Response Override (luminaire mounted sensor) Wireless systems (Remote wireless controller available) LLC2 ^{1,5,9} #2 lens for 8' mounting heights LLC3 ^{1,5,9} #3 lens for 9-20' mounting heights LLC4 ^{1,5,9} #4 lens for 21-40' mounting heights Network system (SiteWise) SW integral module ^{2,13} SW-MRI3 luminaire mounted sensor option Type 3 SW-MRI7 luminaire mounted sensor option Type 7 SW-MRO pole mounted sensor option	1 Single 2 2 @ 180° 2@90 2 @ 90° 3 3 @ 90° 3@120 3 @ 120° 4 4 @ 90° W Wall Mount, Recessed J-Box WS Wall Mount, Surface Conduit	2 Type 2 2-90 Type 2@90° 2-270 Type 2@270° 3 Type 3 3-90 Type 3@90° 3-270 Type 3@270° 4 Type 4 4-90 Type 4@90° 4-270 Type 4@270° 5 Type 5	50LA-4835 48 LEDs, 350mA 80LA-4853 48 LEDs, 530mA 105LA-4870 48 LEDs, 700mA 160LA-481A 48 LEDs, 1A 180LA-6490 64 LEDs, 900mA 210LA-641A 64 LEDs, 1A 200LA-9670 96 LEDs, 700mA 230LA-9680 96 LEDs, 800mA 265LA-9690 96 LEDs, 900 mA 310LA-961A 96 LEDs, 1A	NW Neutral White 4000K, 70 min. CRI CW Cool White 5700K, 70 min. CRI WW Warm White 3000K, 70 min. CRI	120 208 240 277 347 480 UNV (120-277V) HVU (347-480V)	BLP Black Paint WP White Paint BRP Bronze Paint NP Natural Aluminum Paint OC Optional Color Specify optional color or RAL ex. OC-LGP or OC-RAL7024 SC Special Color Specify Must supply color chip Requires factory quote	F ¹ Fusing LF ¹ In-Line/In-Pole Fusing PC ^{4,5,7} Photocontrol and Receptacle (Includes PCR5) PCR5 ^{4,5,7,8} Photocell Receptacle only with 2 dimming connections PCR7 ^{4,5,8,9} Photocell Receptacle only with 2 dimming and 2 auxiliary connections HS External Houseside Shield IS Internal Houseside Shield (types 2, 3, 4 only) CLR ⁶ Clear Glass Lens (reduces performance) RPA ² 3" Round Pole Adapter Required for 3" O D round or tapered round poles where top O D is less than 4" RPA ² 4" and 5" Round Pole Adapter Required for 4" - 5" O D round poles MA Mast Arm Fitter - Mounts to a 2-3/8" O D mast arm TR1 ¹⁰ Single Transition TR2 ¹⁰ Twin Transition PTF2 ¹¹ Pole Top Fitter 2 3/8" - 3" Dia Tenon PTF3 ¹¹ Pole Top Fitter 3" - 3 1/2" Dia Tenon PTF4 ¹¹ Pole Top Fitter 3 1/2" - 4" Dia Tenon SQPTF ¹² Square Pole Fitter

OA,OA3: SINGLE, TYPE 2
OA1: DOUBLE, TYPE 3
OA2: DOUBLE, TYPE 4

- Available 120-277V only
- Available 120 or 277V only
- MR50 and APD-MRO luminaires require one motion sensor per pole, ordered separately. See page 2 for accessories.
- Not available with Retrofit Kits (GL18-RK).
- LLC2/LLC3/LLC4/LLP wireless system not configurable with PC/PCR5/PCR7 Options. See pages 5-6 for more info.
- Luminaire door frame and optic assembly provided standard without glass lens. Specify CLR option for clear glass lens.
- Works with 3-pin or 5-pin NEMA photocell/dimming device.
- If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.
- Works with 3-pin or 5-pin NEMA photocell/dimming device and auxiliary connections are not connected (for future use only).
- Mounts to a 2-3/8" Top Tenon. Specify a round pole with a 4 50" O D for a smooth transition.
- Not available in 120' mounting configurations.
- Requires a 2-3/8" O D x 4" tenon or a 2 4" round pole top O D. Specify Drilling (1, 2, 2@90, 3 or 4 only).
- SW option is not available with any other control options with the exception of SW-MRI3, SW-MRI7 and SW-MRO motion response options.

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OA4: DOUBLE, TYPE 3
OA5: SINGLE, TYPE 4
OA2: SINGLE, TYPE 3

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REVISIONS		
No.	Date	Description

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
Christ Lutheran Church

SHEET
ELECTRICAL - SITE LIGHTING

DATE:
06/21/2018

PROJECT NO.
17-112

SHEET NO.

E002

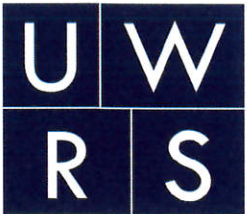


ROUGH HILL ROAD

PEWAUKEE ROAD

PARKING COUNT		
EXISTING TOTAL		199
ADA		5
STANDARD		194
ADDED TOTAL		109
ADA		4
STANDARD		105
TOTAL STALLS		308
ADA		10
STANDARD		298
FUTURE ADDED		92
ADA		0
STANDARD		92
FUTURE TOTAL		400
ADA		10
STANDARD		390

GREEN ROAD



UIHLEIN | WILSON
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ARCHITECTURE | DESIGN | PLANNING

322 East Michigan Street
Milwaukee, WI 53202
414.271.8899
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REVISIONS		
No.	Date	Description

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
Christ Lutheran
Church

PEWAUKEE
SHEET

SITE PLAN

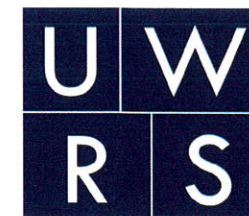
DATE
06/21/2018

PROJECT NO.
17-112

SHEET NO.

A001





UIHLEIN | WILSON
RAMLOW | STEIN
ARCHITECTURE | DESIGN | PLANNING

322 East Michigan Street
Milwaukee, WI 53202

414.271.8899
office@uihlein-wilson.com
www.uihlein-wilson.com

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COMPENSATION OF ARCHITECTS
FOR THIS PROJECT WAS \$10,000.00. THE ARCHITECTS' FEE WAS \$10,000.00. THE ARCHITECTS' FEE WAS \$10,000.00. THE ARCHITECTS' FEE WAS \$10,000.00.

REVISIONS
No. Date Description

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
Christ Lutheran
Church

PEWaukee

SHEET

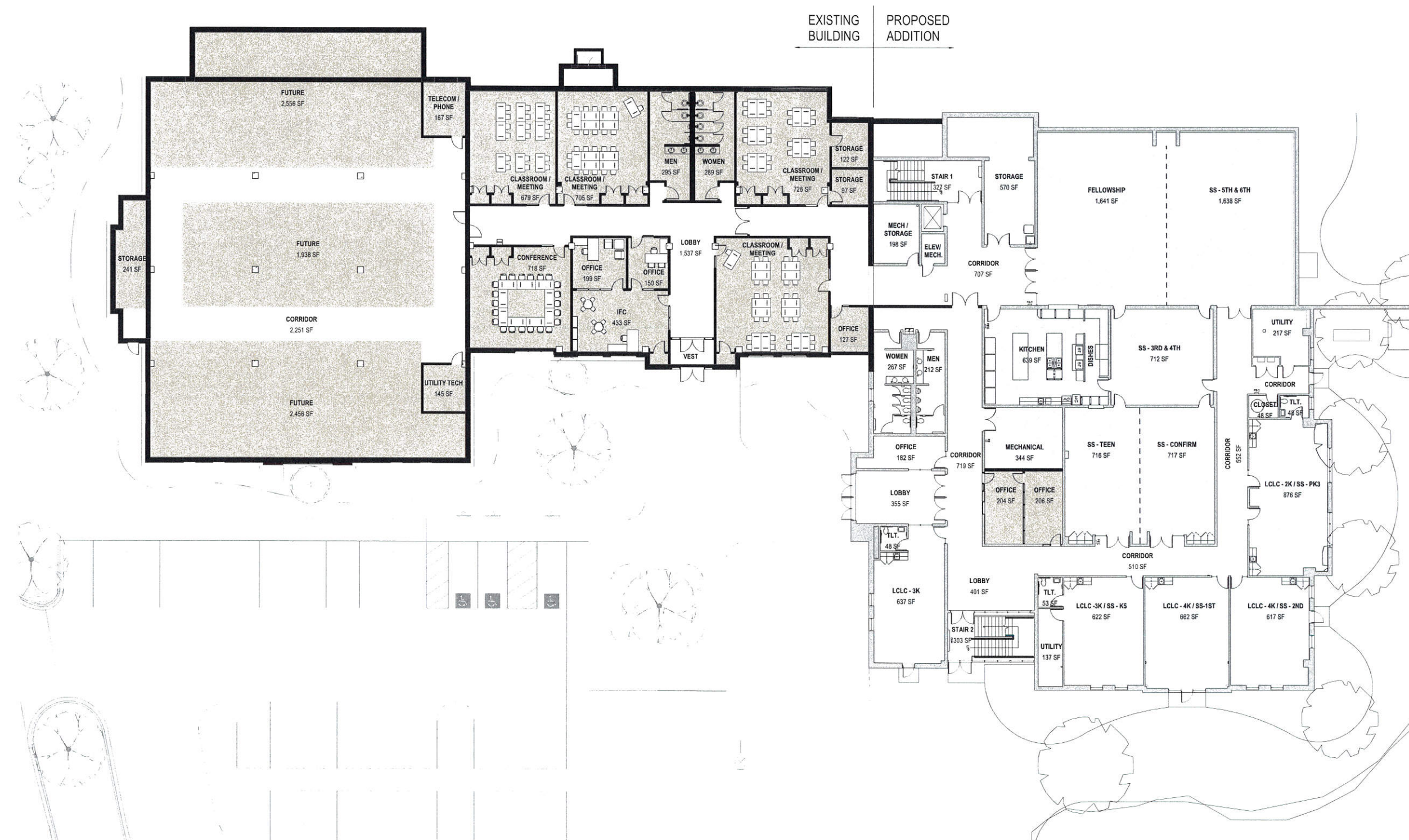
PLAN - LOWER

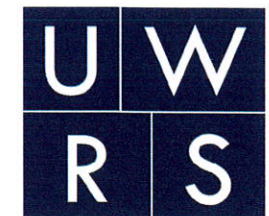
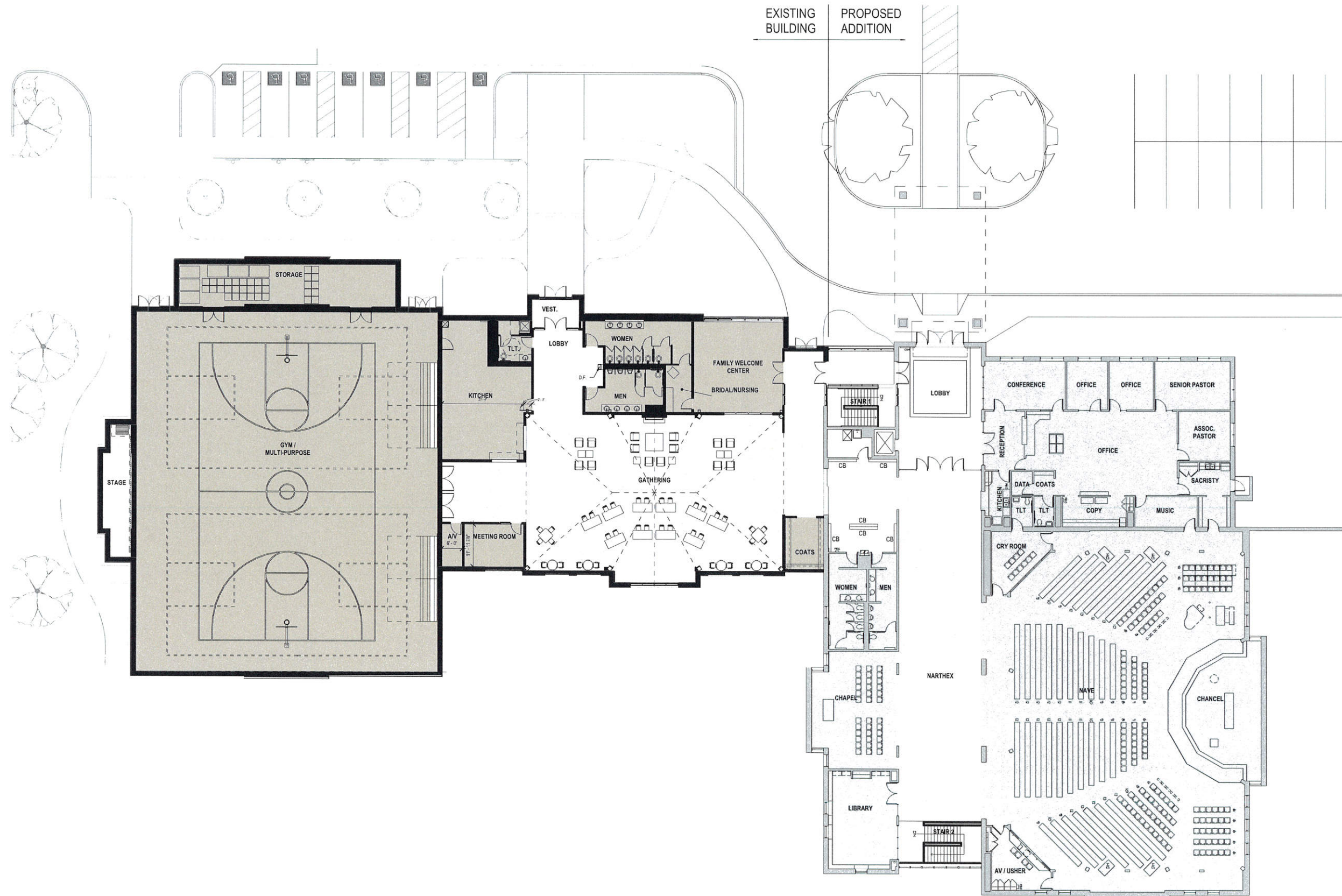
DATE
06/21/2018

PROJECT NO.
17-112

SHEET NO.

A100





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REVISIONS		
No.	Date	Description

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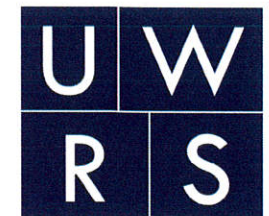
PROJECT
Christ Lutheran
Church

PEWAUKEE
SHEET
PLAN - UPPER

DATE
06/21/2018
PROJECT NO.
17-112
SHEET NO.



A101



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REVISIONS		
No.	Date	Description

PRELIMINARY
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PROJECT
Christ Lutheran
Church

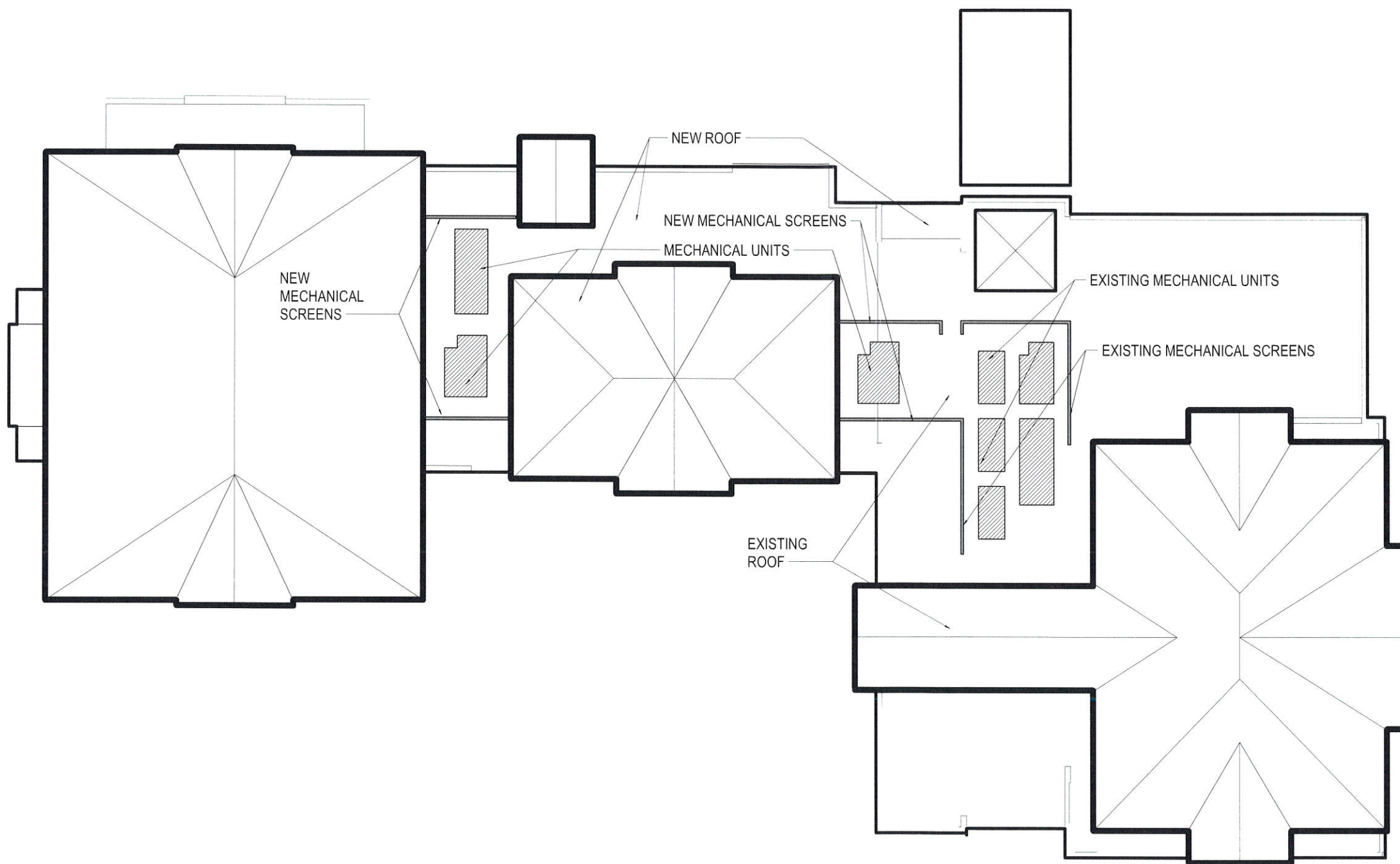
PEWaukee
SHEET
PLAN - ROOF

DATE
06/21/2018

PROJECT NO.
17-112

SHEET NO.

A102





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REVISIONS
No. Date Description

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT
Christ Lutheran Church
W240 N3103 Pewaukee Rd

SHEET
RENDERED
ELEVATIONS

DATE
07/11/2018

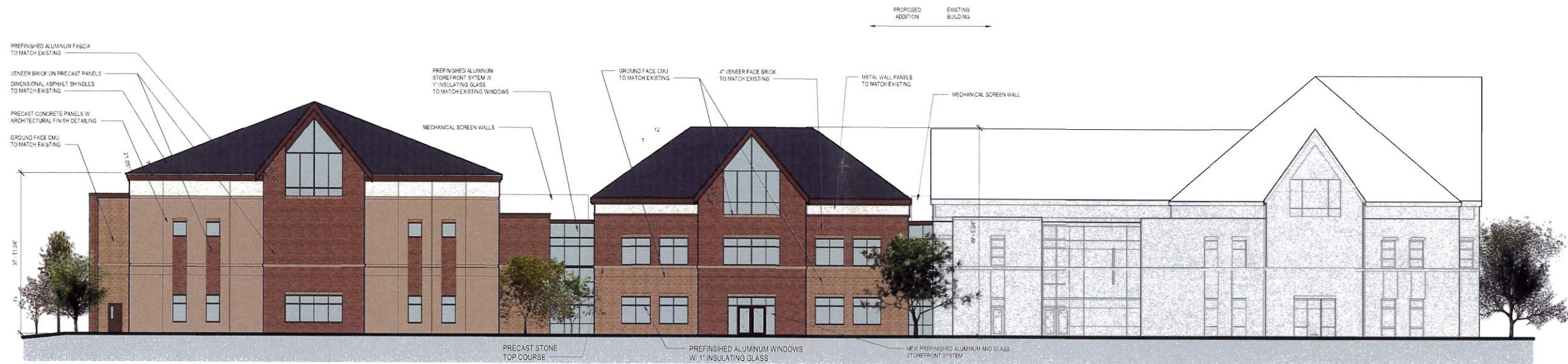
PROJECT NO.
17-112

SHEET NO.

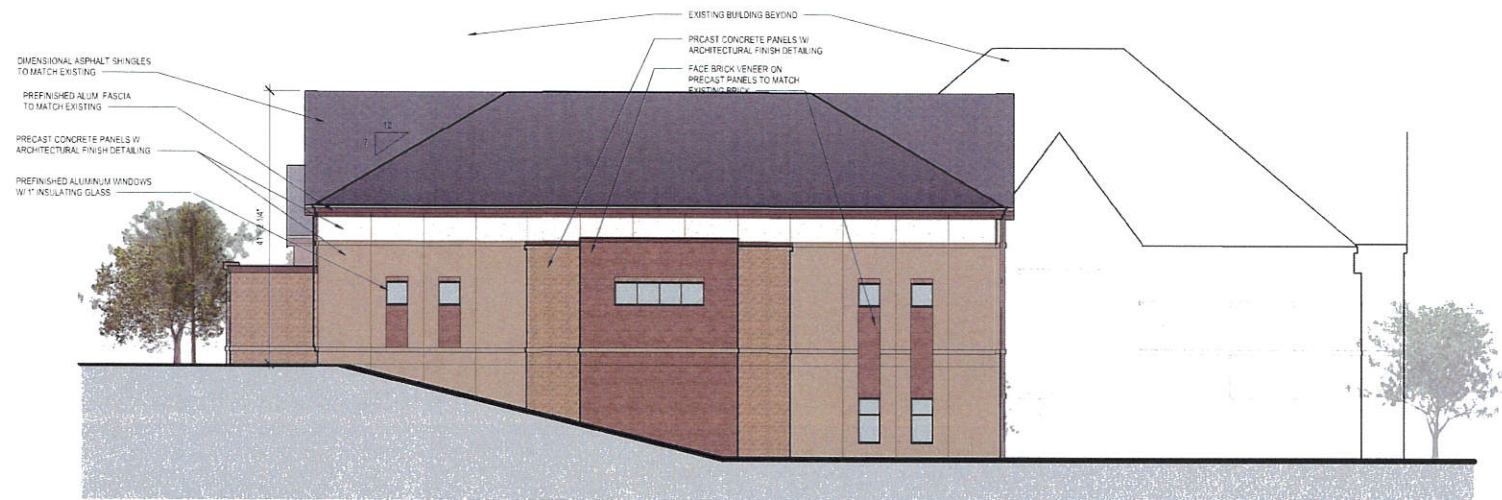
A200



2 NORTH EXTERIOR ELEVATION
3/32" = 1'-0"



1 SOUTH EXTERIOR ELEVATION
3/32" = 1'-0"



3 WEST EXTERIOR ELEVATION
3/32" = 1'-0"

**CITY OF PEWAUKEE MUNICIPAL CODE
CHAPTER 17 – ZONING**

APPENDIX A – 2

**181 of 191
Last Revision: 10/2014
Page 1 of 3**

W240 N3065 Pewaukee Rd Pewaukee, WI 53072 City Hall - 262-691-0770 Fax - 262-691-1798		BUSINESS PLAN OF OPERATION APPLICATION CITY OF PEWAUKEE		Permit No. Parcel/Tax Key No. PWC 0904994001 & PWC 0904994002	
NAME OF PROPOSED BUSINESS: Christ Evangelical Lutheran Church				SUITE#:	
Owner's / Operator's Name (Please Print) Christ Evangelical Lutheran Church		Mailing Address City State Zip W240 N3103 Pewaukee Road, Pewaukee, WI 53072		Phone#. Other	
		Email Address office@christpewaukee.org			
Tenant's Name: (Please Print) NA		Mailing Address City State Zip _____		Phone#. Other	
		Email Address _____			
DESCRIPTION OF BUSINESS OPERATION: Church and Preschool					
TYPE of BUSINESS: Please Check the appropriate Box for type: ☐ Retail ☐ Wholesale ☐ Office ☐ Institutional ☐ Warehouse/Storage ☒ Other: Church & Preschool ☐ Industrial				Description Existing church & preschool @ 18,000 SF x 2 levels being expanded with 18,000 SF addition x2 levels to include gym/family center, prefunction space and additional classrooms and offices.	
NEW USE?: Yes or No? or		EXPANSION OF EXISTING USE?: Yes or No? or		OTHER?	
HOURS of OPERATION: From: 8:00 AM to 10:00 PM DAYS of OPERATION: All Days					
MAXIMUM NUMBER OF EMPLOYEES:		How many Full Time? 5 How many Part Time? 25		CURRENT ZONING: I-1	
Expected Customers per day 60 Preschool, 500- 600 Sunday Worship		Number of Trucks per day: 1- 2 Number of Autos per day: 60- 80 weekdays, 500- 600 Weekends			
PARKING Available Parking/Parking Lot Spaces # 308 Loading Spaces # 1 Is there Overnight Parking? Yes or No Where?		STORAGE Any Outside Storage? Yes or No Please list type of Storage? Existing Garage			
SEWAGE DISPOSAL BY: Public Sewer ☒ Septic Tank _____ Holding Tank _____ Storm Water Retention/Detention: Yes? ☒ Or No?		WATER SUPPLY BY: Public Water Main ☒ Private Well _____ Other _____		SOLID WASTE (trash) DISPOSAL BY: Contract: ☒ Self: _____ Any flammable substances? Yes or No If Yes, where Stored?	
Building/Grounds Maintenance By: Contract: ☒ Self: ☒		Method of Security By: Contract: _____ Self: ☒			
Any Special Equipment/Facilities/Requirements? Yes? or No? What?					
APPLICANT'S SIGNATURE <i>Scott Ramlow</i>		APPLICANT'S PRINTED NAME Scott Ramlow		DATE SIGNED 06/21/2018	
PROPERTY OWNER'S SIGNATURE <i>Rodney Winter</i>		PROPERTY OWNER'S PRINTED NAME Rodney Winter		DATE SIGNED 06/21/2018	
APPROVAL CONDITIONS Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of City Departments. <i>For example:</i> Cigarette and Alcoholic Beverage Licenses must be obtained from the City Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application. (See pages 2 & 3)					
For City Staff ONLY Date submitted for Review on: _____ Approval by Zoning Administrator: _____ Date: _____ Approval by City Planner: _____ Date: _____ SPECIAL REQUIREMENTS/COMMENTS: _____					



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: June 23, 2018
To: Scott Klein, City Administrator
From: Nick Fuchs, Wrayburn Consulting, LLC
RE: Christ Evangelical Church Building Addition Preliminary Review

Comments and Recommendations:

Below are comments and recommendations for the proposed Building Addition for Christ Evangelical Church located at W240 N3103 Pewaukee Road.

1. A Certified Survey Map is required to combine the existing two parcels. See Section 18.0602.
2. Sheet C1.2 and the colored site plan (A001) should be consistent. Also note that C1.2 does not show the existing dumpster enclosure or playground area.
3. Please note the following information on the site plan:
 - a. existing and proposed greenspace and impervious surface
 - b. square footage of the building addition
 - c. building height
 - d. existing and proposed parking count (only on A001)
 - e. a typical parking space dimension (9' wide by 20' in length space is recommended)
4. Please indicate the number of students attending the school and the capacity of the church (i.e. number of seats) to assist in reviewing the amount of parking provided.
5. On Sheet C1.2 the driveway stubs at the southwest corner of the proposed addition. What is the function of that section of driveway?
6. Note that the I-1 District maximum building height is 35-feet. As the proposed building height is over 55-feet, Plan Commission approval of the height is needed as required by Section 17.0901f.
7. Please provide details regarding tree impacts onsite. How much of the existing wooded area of the site will be disturbed?
8. It is recommended that the middle portion of the building on the south elevation be constructed of all face brick material, opposed to CMU at the bottom.
9. The existing and proposed labels on Sheets A100 and A101 are reversed.
10. Consider additional pedestrian connections such as extending a sidewalk along the entire length of the new driveway to Green Road with connections to the parking lots and building walkways. Furthermore, a sidewalk/path could connect the parking lot and drive to the stubbed crosswalk access at Green Road. Also consider connecting a path to and around the proposed storm water pond, which could also include benches adjacent to the pond.

11. Is any new signage proposed?
12. What is the peak height of the light poles and fixtures? Note that they may not exceed 20-feet.
13. Please submit a photometric plan for review.
14. Is any new mechanical equipment proposed? Is it located on the ground or roof? How will it be screened?
15. Please submit the Notice of Intent to Discharge” form with your next submittal.
16. There appears to be two open wells on this property. It is anticipated that the property owner will be required to abandon those wells as a condition of approval.
17. Please note that a detailed utility plan will be required at the time of Building Permit submittal.



Wrayburn Consulting, LLC

info@wrayburnconsulting.com

13500 Watertown Plank Road, Suite 100

Elm Grove, WI 53122

262-893-3903

Date: July 12, 2018

To: City of Pewaukee Plan Commission
Scott Klein, City Administrator

From: Nick Fuchs, Wrayburn Consulting, LLC

RE: Christ Evangelical Lutheran Church Building Addition

Project Description

The applicant, Christ Evangelical Lutheran Church, filed a Business Plan of Operation Application requesting approval of a building and parking lot addition and other associated site changes for property located at W240N3103 Pewaukee Road.

The church is currently located on two parcels, which have a total area of approximately 26.13 acres. It is recommended that approval of the subject application be contingent upon review and recording of a Certified Survey Map to combine the parcels into a single lot. A Land Combination will ensure that all greenspace and building and parking setbacks are being met. It should be noted that a CSM will require payment of an existing special assessment.

The subject properties are designated as Governmental / Institutional on the City's 2035 Future Land Use Map and zoned I-1 Urban Institutional District. The I-1 District allows churches as a Permitted Use.

The peak height of the building is approximately 55-feet, which exceeds the I-District maximum building height of 35-feet. The Plan Commission is authorized to approve the increase in height, subject to Section 17.0901f. of the Zoning Code (below).

f. The Height of Commercial, Industrial, and Institutional Buildings may be increased to a maximum of six (6) stories if a fully operational sprinkler system is in place including enclosed stairwells to the roof and the Fire Chief has approved in writing a fire safety plan for the structure and use.

The proposed architecture and building materials are consistent with the existing building. The building addition includes rooftop mechanicals, which will be screened by metal screen walls matching the existing screen walls on the building.

The site plan includes an option for a secondary ingress/egress that connects to Green Road, extending to the proposed parking lot. The applicant is proposing 109 new parking spaces, including 4 ADA accessible spaces. A future parking area is also shown that consists of 92 parking spaces. It is recommended that parking spaces be a minimum of 9-feet wide by 20-feet in length (180 square feet). Sufficient information was not provided to calculate if parking meets the suggested minimum parking per Section 17.0601d.

The applicant has also provided a Landscape Plan and Lighting Plan. The Landscape Plan includes 38 trees, 6 evergreens and 110 shrubs. The Lighting Plan illustrates the location of light poles as well as a catalog page of the light fixtures. The total height of the light poles and fixtures may not exceed 20-feet as required by the City's Zoning Code. A photometric plan was not provided for review.

In review of the Wisconsin Department of Natural Resources Water Surface Data Viewer mapping, the project limits do not encroach into any mapped wetlands or areas containing hydric soils. The project will impact trees located along the southern portion of the property.

Recommendation

As the existing and proposed use is permitted and consistent with the Comprehensive Master Plan, approval of the building addition and site modifications is recommended, subject to the applicant addressing the review comments dated June, 23, 2018 to the satisfaction of the City Administrator. These comments are attached for review.

**CITY OF PEWAUKEE
PLAN COMMISSION AGENDA ITEM 6.**

DATE: July 19, 2018

DEPARTMENT: PRCS - Planning

PROVIDED BY:

SUBJECT:

Discussion and Action Regarding the Submittal of Blue Ribbon Management, LLC for Approval of the Interior Door Colors and Branding at their New Self Storage Facility Located at the Northwest Corner of Springdale Road and Johnson Drive (PWC 0961996006)

BACKGROUND:

FINANCIAL IMPACT:

RECOMMENDED MOTION:

ATTACHMENTS:

Description

Blue Ribbon Management color plans

June 19, 2018

Mr. Harlan Clinkenbeard
City Planner, Pewaukee, WI
W240 N3065 Pewaukee Rd
Pewaukee, WI 53072

**Re: Interior Door Colors and Branding
NW Corner of Springdale & Johnson**

Dear Mr. Clinkenbeard,

Per the City of Pewaukee Plan Commission's request, we are respectfully submitting our proposed interior door color selection and branding for the City's approval. After extensive research and discussions with our third-party manager, Life Storage, we would like to pursue one of two colors for the exterior viewable door curtains from our vendor Janus International Group:

- UB Yellow
- Silhouette Grey

Both owner's and Life Storage's preference is UB Yellow.

The color selection is for a limited number of door curtains that will be set back and only visible through windows. The limited number of visible interior doors will be aesthetically pleasing and provide proper branding for the property.

Please see attached exhibits A & B for color samples and photo examples of other projects with these color selections.

Sincerely,

Eli Johnson

EXHIBIT A

Color Sample:



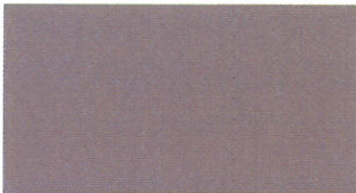
UB Yellow

Photo Examples:



EXHIBIT B

Color Sample:



Silhouette Gray

Photo Example:

