



**Planning Department**  
W240 N3065 Pewaukee Road  
Pewaukee WI 53072  
Phone: 262-691-0770

**PLAN COMMISSION  
MEETING NOTICE AND AGENDA  
Thursday, May 21, 2026  
6:00 PM**

Pewaukee City Hall Common Council Chambers  
W240N3065 Pewaukee Road, Pewaukee, WI

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1. Call to Order and Pledge of Allegiance
2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes
  - 2.1 January 15, 2026
  - 2.2 March 19, 2026
3. Items for Discussion and Action
  - 3.1 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit for Solveig Spa Skola to Allow for a Spa Service Business to be Located at N27 W23960 Paul Road (PWC 0918998024)
  - 3.2 Discussion and Action Regarding the Site and Building Plans for TI Investors of Pewaukee/Amazon for the Purpose of Constructing an 8-Foot Tall Chain-Link Fence on Property Located at W232 N2950 Roundy Circle East (PWC 0917994030)
  - 3.3 Discussion and Action Regarding the Site and Building Plans for Cold Noses Sanctuary for the Purpose of Constructing an Addition to an Accessory Structure on Property Located at N47 W26699 Lynndale Road (PWC 0882999001)
4. Adjournment

Ami Hurd  
Deputy Clerk  
Community Development Coordinator  
May 14, 2026

**NOTICE**

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum at the above stated meeting. No action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner/Community Development Director Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

**In attendance:**

Mayor S. Bierce, J. Endl, D. Kiser, D. Linsmeier, A. Schoenemann, and S. Sullivan.

**Also in attendance:**

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, Department of Public Works Director M. Wagner, and Deputy Clerk/Community Development Coordinator A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 6:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes

2.1 August 21, 2025

2.2 September 18, 2025

**A motion was made and seconded (D. Kiser, D. Linsmeier) to approve the August 21<sup>st</sup>, 2025 and September 18<sup>th</sup>, 2025 Plan Commission meeting minutes.** Motion Passed: 6-For, 0-Against.

3. Items for Discussion and Action

3.1 Discussion and Action Regarding the Site and Building Plans for Samuel and Megan Steiner for the Purpose of Constructing a Detached Garage and Detached 5,400 Square Foot Accessory Structure Upon Property Located at N43 W23700 Fieldstone Road (PWC 0870998004)

Mr. Fuchs stated the applicant was constructing a new single-family home on the property and was requesting a detached garage connected to the house by a roof structure, and a 5,400 square foot accessory building to be utilized for the agricultural use on the property. He noted that due to the square footage of the accessory building, it required Plan Commission approval and he recommended approval.

Rob Miller with Rob Miller Homes stated the garage would be in-kind with the home, but the outbuilding would not be similar. It was planned to be metal with cedar post wraps and a metal roof. Mr. Fuchs noted that the Plan Commission did approve a metal accessory building back in 2022 and felt the agricultural use was a consideration as to why the metal building was acceptable.

Chairman Bierce was concerned about a rusty building when others were spending millions of dollars on homes in the area. Mr. Miller stated they would build something that was a long-term investment and his clients did not want to look at a rusty building either. He felt the accessory structure complimented the home.

**A motion was made and seconded (D. Kiser, S. Sullivan) to approve the Site and Building Plans for Samuel and Megan Steiner.** Motion Passed: 6-For, 0-Against.

3.2 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit to Allow for the Construction of a New Boathouse Upon Property Located at N27 W27074 Woodland Drive as Requested by Brian and Beth Bautz (PWC 0933119)

Mr. Fuchs stated the proposed boathouse was about 294 square feet and 15 feet in height with fiber cement siding. He stated staff was recommending approval but noted a portion was encroaching into the floodplain so there was a condition that the homeowners would have to comply with section 207-13B of the City's Floodplain Zoning Ordinance as to how the boathouse needed to be constructed.

Mr. Bautz noted that his home was approximately 12 feet from his neighbors' houses on either side. He stated they were in need of boat storage, and the boathouse would be a shell of a building to put things in.

Chairman Bierce referred to the right elevation and noted it included some windows, but he stated the left elevation was just walls. Mr. Bautz stated they spoke with the neighbors, and the neighbors preferred taller trees for screening.

Kate Marlin (N26 W27066 Prospect Avenue) stated her parents live next door to the subject property but were unable to attend the meeting. She stated she had some concerns about the boathouse. She stated the City's ordinance requires that boathouses be designed in order to minimize the impact to adjacent properties. She felt the applicant had not minimized the impacts, as there were no alternate design analyses, and no transparency east or west, so there would be no way to determine if the impact to the adjacent properties was mitigated or evaluated. Ms. Marlin felt the boathouse would create a substantial visual obstruction and felt it was more of a shoreline outbuilding rather than an accessory water-dependent structure. Ms. Marlin felt the combined width, height, enclosure, roof form, and shoreline placement all created a masking of the shoreline.

Chairman Bierce felt the City had approved other boathouses substantially larger than this one, and he did not know how we could say no to this one. Ms. Marlin did not believe that meant they should continue to approve the boathouses just because others were approved in the past.

**A motion was made and seconded (A. Schoenemann, D. Linsmeier) to recommend approval of the Conditional Use Permit for a boathouse for Brian and Beth Bautz.** Motion Passed: 6-For, 0-Against.

3.3 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit to Allow for an Animal Sanctuary Upon Property Located at N47 W26699 Lynndale Road as Requested by Cold Noses Sanctuary (PWC 0882999001)

Mr. Fuchs stated the proposal was for an animal sanctuary and hobby farm use to include dogs, cats, horses, goats, and donkeys. The animals could potentially be adopted or live the rest of their lives on the farm. There are also plans to host fundraising events, field trips, and educational programs. Mr. Fuchs noted that there were quite a few conditions listed in the staff report, specifically related to the quantity of animals allowed, the capacity of events, and conditions related to the current buildings on the property. Mr. Fuchs recommended approval subject to the staff conditions.

Thalia Haseotes, President of Cold Noses Sanctuary, noted it was a non-profit, so they do fundraise, but she would be making a substantial donation herself.

Commissioner Schoenemann questioned the quantity of animals. Mr. Fuchs stated the City's ordinance speaks to horses but not much else, so it was a matter of going off of conversations with the applicant. If they decide to increase the number of animals, they can come back to the Plan Commission to amend the Conditional Use Permit to request additional animals. Ms. Haseotes added that the point of a sanctuary was to not jam in as many animals as possible and the point was for the animals to have quite a bit of space and be comfortable and peaceful.

Ms. Haseotes referred to the waste and stated the dog and cat waste would be collected every day in bags and kept in a dumpster that would be picked up every week. For the horses, donkeys, and goats there would be a manure pit and would be picked up depending on how many animals they had.

Ms. Haseotes pointed out that all of the animals would have special needs with impairments that would make it difficult for them to be outside or be adopted easily.

Kent Rice (W272 N4791 Yench Road) stated he lives adjacent to the pasture and he felt the former owner of the property would be thrilled with this application for his property. Mr. Rice stated he would be happy to help out.

**A motion was made and seconded (D. Kiser, D. Linsmeier) to recommend approval of the Conditional Use Permit for Cold Noses Sanctuary with the staff recommendations listed in the staff report.** Motion Passed: 6-For, 0-Against.

- 3.4 Discussion and Action Regarding the Site and Building Plans for Border States for the Purpose of Locating an Eight-Foot Tall Fence With Barbed Wire Upon Property Located at W227 N2837 Duplainville Road (PWC 0914973)

Mr. Fuchs stated the applicant was looking to enclose a portion of the property with an eight foot tall chain link fence with three strands of barbed wire on top. The fence would be internal to the site and views would be limited, but there is a single-family residential property that abuts this, so there is a condition to add a few evergreen plantings to help screen from the house.

Chairman Bierce did not like the idea of installing barbed wire fences in the City, but he did not believe anyone would be bothered by it other than the residential property that abuts this. He suggested plantings be added to cover up the fence from the neighbor's view on the east side and should be wrapped around to where the other fence starts.

**A motion was made and seconded (D. Kiser, S. Sullivan) to concur with staff recommendations and approve the Site and Building Plans for Border States, with staff approving the landscaping plan.** Motion Passed: 6-For, 0-Against.

- 3.5 Discussion and Action Regarding the Site and Building Plans for American Transmission Company for the Purpose of Locating Two Chiller Plants and Mechanical Equipment Adjacent to the Southwest Corner of the Building Located at W234 N2000 Ridgeview Parkway Court (PWC 0953983)

Mr. Fuchs stated the application included the mechanical equipment, generator, dry cooler, and chiller plants. They have also included a 20 foot security light and a 16 foot tall mesh security fence surrounding the equipment. Mr. Fuchs noted that the Zoning Board of Appeals approved a variance for the property for the 45 foot setback in the M-4 District with a reduction to 27 feet. Mr. Fuchs recommended approval.

Commissioner Kiser stated the decibels needed to be 60 at the property line, according to the City's code. Mr. Fuchs noted the 72 and 78 decibel levels listed on the plan were about 10 feet from the equipment, so it would be less than that at the property line.

**A motion was made and seconded (D. Kiser, S. Sullivan) to concur with the staff recommendations, and the 60 decibels at the property line, to approve the Site and Building Plans for American Transmission Company.** Motion Passed: 6-For, 0-Against.

3.6 Discussion and Action Regarding the Site and Building Plans for Terex for the Purpose of Installing Overhead Doors and an Overhead Lift Upon Property Located at N4 W22610 Bluemound Road (PWC 0963999016)

Mr. Fuchs stated the applicant was proposing to add overhead doors on the west and east elevations of the existing building and install an overhead crane behind the building. The crane would be approximately 35 to 40 feet in height. Mr. Fuchs recommended the chain link fenced be repaired, as there were a number of broken slats. In addition, the applicant will be submitting a revised landscape plan to enhance the landscaping with more than just the proposed arborvitaes. Mr. Fuchs referred to the yellow crane and stated the applicant would be willing to paint it a different color to help it blend in more.

The applicant mentioned that the crane would be slightly taller than the building. They currently unload their product inside the building, but they are not safe being on a semitrailer and they need more height to lift the product off the flatbed trailers.

The applicant stated they tried to put the crane as far away from Bluemound Road as they could, and they were concerned about the aesthetic from Eastmound Drive. Commissioner Kiser suggested the applicant expand their building and put the crane inside or cover it with a roof. He suggested covering it with a roof so it would look seamless to the outside and purposeful, instead of a structure in the back.

Mr. Fuchs added that the area on the north side was a separate property, so they would need to combine the two properties, but the applicant does not own it. A Certified Survey map would be required to combine the properties. Chairman Bierce felt the crane would look better in the new location.

**A motion was made and seconded (D. Linsmeier, S. Sullivan) to approve the overhead doors for Terex.** Motion Passed: 6-For, 0-Against.

4. Adjournment

**A motion was made and seconded (D. Kiser, D. Linsmeier) to adjourn the meeting at 6:58pm.** Motion Passed: 6-For, 0-Against.

Respectfully Submitted

Ami Hurd,  
Deputy Clerk/  
Community Development Coordinator

**In attendance:**

Mayor S. Bierce, Alderwoman C. Brown, J. Endl, D. Kiser, A. Schoenemann, and S. Sullivan (left at 6:59pm).

**Also in attendance:**

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, Department of Public Works Director M. Wagner, and Deputy Clerk/Community Development Coordinator A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 6:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes

2.1 October 16, 2025

2.2 November 20, 2025

**A motion was made and seconded (D. Kiser, C. Brown) to approve the October 16, 2025 and November 20, 2025 Plan Commission meeting minutes.** Motion Passed: 5-For, 0-Against, 1-Abstain (A. Schoenemann).

3. New Business

3.1 Discussion and Possible Action Regarding an Offer to Donate Approximately 4.39 Acres of Land Located Along the East Side of Redford Boulevard/CTH F Approximately 625 Feet South of Beaver Court (PWC 0872997)

Mr. Fuchs stated a property owner had requested to donate a 4.39 acre piece of land that was entirely floodplain and wetland. The City would not have a specific use in mind, but there were no objections to the City accepting it. Common Council approved the acceptance of the donation at their February 16<sup>th</sup>, 2026 meeting. Mr. Fuchs noted he did make a site visit and it was very wet, but he did not see anything of issue or any contamination.

**A motion was made and seconded (C. Brown, S. Sullivan) to approve the land donation.** Motion Passed: 6-For, 0-Against.

3.2 Discussion and Action Regarding the Site and Building Plans for Spring Creek Church Located at N35 W22000 Capitol Drive for the Purpose of a Proposed Parking Lot Expansion and Relocating the Existing Athletic Field (PWC 0909999005)

Mr. Fuchs stated Spring Creek Church was requesting to add a 174 space parking lot to the west of the existing parking lot near the athletic field, which would then be moved further north on the property. He noted that the parking spaces conform to City standards, and the

greenspace calculations were within the City's ordinance. Mr. Fuchs referred to the lighting plan and suggested the applicants go with the options for the motion sensors and dimming. He added that there was also a condition for final Engineering Department approval, and he recommended approval.

Commissioner Schoenemann questioned the landscaping and asked where the trees were going. Brad Seubert with Harwood Engineering noted there would be trees along the expansion and a few more to buffer the athletic field.

Commissioner Brown questioned if there would be stripping for the kids crossing the parking lot. Jeremy Rusch with Spring Creek Church stated they were relocating the soccer field and putting it in the northwest corner to protect the kids from the parking lot. He added that the outdoor space is not used when coming directly from the facility, but they would have painted walkways for pedestrians.

Chairman Bierce was concerned that in the past the City and Spring Creek Church had a difficult time coming to an agreement on storm water management. The church would be expanding the storm water pond and eliminating greenspace, and Chairman Bierce had a problem with this being put on staff and did not want to spend the next 20 years in court. The Executive Pastor of Operations at Spring Creek Church stated they wanted to start fresh with the City and the previous pastor was now retired. He stated they would do what they were told and they wanted to work well with the City.

**A motion was made and seconded (D. Kiser, C. Brown) to approve the Site and Building Plans for Spring Creek Church with staff comments.** Motion Passed: 6-For, 0-Against.

3.3 Discussion and Action Regarding the Site and Building Plans for Lake Pewaukee Sanitary District Located at N25 W27534 Oak Street for the Purpose of a Building Addition to the Existing Facility (PWC 0935979001)

Mr. Fuchs stated LPSD was proposing a 6,922 square foot addition to their building located on Oak Street, as well as a new lift station. The addition would consist of office space and storage, with six overhead doors on the east side of the building. Mr. Fuchs recommended approval conditioned on final Engineering Department approval.

Tom Koepp, with Lake Pewaukee Sanitary District, stated a sewer study was done, and it showed the flows at the stations were not up to par for future flows. Mr. Koepp noted they attempted to relocate to a better location, but the neighbors were not in favor. He felt this location would eliminate the need for a bigger station by the Beer Depot. He mentioned that they applied for a clean water loan from the DNR and were awarded funds for the entire project, including the building.

Chairman Bierce felt LPSD did a great job and had no issues with this. Commissioner Brown felt this was a great pivot from what was previously proposed. She questioned if any storage was being added, as she felt there was a lot of stuff outside, and even though it was hidden, she felt it needed to be cleared out.

Commissioner Schoenemann felt this was a great plan. She referred to the lighting plan and questioned the need for lights on the building in the back facing the existing homes if there were no sidewalks in that area. Mr. Koepp answered that they needed the ability to access their equipment in the middle of the night if needed. He stated there was no intention for the lighting to even reach their back fence or the back of their property.

**A motion was made and seconded (C. Brown, D. Kiser) to approve the Site and Building Plans for Lake Pewaukee Sanitary District including the condition of final Engineering Department approval of grading, erosion control, storm water and utility plans.** Motion Passed: 5-For, 0-Against, 1-Abstain (S. Sullivan).

#### 3.4 Discussion Regarding Updating the City Zoning Code as Presented by Foth Infrastructure & Environment LLC

Mr. Fuchs stated staff has been working with Foth in review of the City's current Zoning Ordinance

Orrin Sumwalt and Mark Lyons with Foth introduced themselves and noted the process started with a review of the City's ordinance and how it was working. Mr. Sumwalt felt the City's ordinance was very text heavy with standards that were buried in text. The goal was to make things easier to find. The City's current code uses a pyramidal zoning with districts allowing uses in other zoning districts, and Mr. Sumwalt felt there was a better way to present that. Terms in the ordinance were not consistently defined and some of the land uses were not defined or consistent, and it was suggested that land use definitions be separate from the general definitions. Mr. Sumwalt stated the goal was to create a zoning matrix, also known as a consolidated land use table, and pull the list of uses from each of the zoning districts and consolidate that information into a land use matrix. He then described the matrix and what it would look like.

Mr. Lyons referred to Article 5 in the code and stated they would make sure every single item in the table had a definition, standards, and any additional information that breaks down the information even further. The supplemental information would be easy to find and specifically match exact definitions per use in the exact same order.

Mr. Sumwalt stated they were proposing changes for permitted uses, and they wanted to include an interpretation of what it was similar to. For Conditional Use Permits, if it is not listed, they did not want it to be allowed, which is different than what the current code says.

Discussion then took place regarding allowing or prohibiting specific uses, such as smoke shops and adult establishments, in certain areas of the City.

Commissioner Sullivan left the meeting at this point (6:59pm).

Mr. Sumwalt noted that Foth would come back to the Plan Commission with a formal draft ordinance and make recommendations on what should be included in the matrix. The Plan Commission would then make the final recommendations to the Council. Mr. Fuchs noted the goal was to show the Plan Commission at a high level, and they could come back as many

times as they wanted to have working meetings on drafts.

Commissioner Schoenemann questioned what the City's biggest liability was as far as conflicts or gaps in the City's code. Mr. Sumwalt stated procedurally, the City was probably doing Conditional Use Permits the correct way, but we do not have the correct language in the code to reflect the state statutes. He stated Foth was proposing to remove the special conditional uses so that someone could not freestyle their own Conditional Use. If the use is not listed in the code, then it would not be allowed, unless a text amendment was proposed to get the use allowed. By removing the unspecified Conditional Uses, it removes the burden of the City having to prove that the applicant should not be allowed to do something.

Mr. Sumwalt added that there were some districts that had the potential for consolidating, as there are currently a lot of districts. He mentioned possibly combining the two agriculture districts or consolidating the six "M" manufacturing/industrial districts. Mr. Lyons felt there were very few differences between some of the districts, and he noted that when compared to communities of similar size, the City was on the high end for the number of districts.

Mr. Fuchs felt it would be beneficial to put together a final draft, and when the Plan Commission is able to review it, they can then make changes and suggestions to certain sections if needed.

No action was taken.

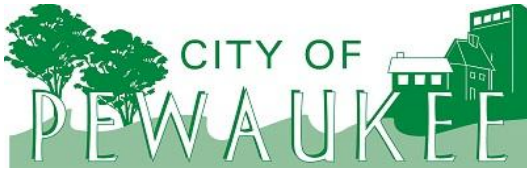
#### 4. Adjournment

**A motion was made and seconded (D. Kiser, C. Brown) to adjourn the meeting at 7:50pm.**

Motion Passed: 6-For, 0-Against.

Respectfully Submitted,

Ami Hurd  
Deputy Clerk  
Community Development Coordinator



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 21, 2026

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**Date:** May 11, 2026

**Project Name:** Solveig Spa Skola, LLC Conditional Use

**Project Address/Tax Key No.:** N27W23960 Paul Road / PWC 0918998024

**Applicant:** Solveig Spa Skola LLC

**Property Owner:** WEST WIND LLC

**Current Zoning:** B-6 Mixed Use Business District

**2050 Land Use Map Designation:** Office Commercial

**Use of Surrounding Properties:** Stormwater pond to the north, office to the south and west, and industrial to the east

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### Project Description/Analysis

The applicant filed a Conditional Use Permit to locate a spa and educational/training business use within an existing 400 square foot tenant space located at N27W23960 Paul Road, Suite 3.

The proposed use includes several different services. The business provides spa services such as massage therapy, facials, body wraps, skin care, and other wellness type treatments. The applicant also indicated that they will teach Cardiopulmonary Resuscitation (CPR) and Basic Life Support (BLS).

Additionally, the business teaches massage therapy to clients pursuing a license in massage therapy. The applicant also stated that they intend to work with a State Examiner to teach and assist students in becoming certified in several state licensed occupations, such as massage therapy, cosmetology, nail technicians, and estheticians.

Hours of operations are from 8:00 a.m. to 8:00 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Fridays and Saturdays. The business is closed on Sundays. Currently the business is solely owner operated but there are plans to hire a receptionist in the future. According to the applicant, it is anticipated to have three to four clients and three to four students per day.

The site has approximately 67 parking spaces that are shared by all tenants. Staff is not aware of any existing parking issues. Moreover, the subject use is not anticipated to add substantial parking demand to the site.

The property is zoned B-6, which permits the uses allowed in the B-4 and B-5 districts, including conditional uses. Although spa services and related operations are not specifically listed in those districts, the B-6 District also allows, as a conditional use, “[a]ny retail, service or office use that is compatible with those uses listed above as determined by the Plan Commission.”

Note the B-6 District intent states, “[t]he B-6 Mixed-Use Business District is intended to provide for the orderly and attractive grouping of buildings which encompass more than one type of non-industrial business use which are compatible from a traffic, density and general use standpoint.” Staff finds the proposed use is most similar to and compatible with B-4 District office type uses.

**Staff Recommendation**

Staff recommends approval of the Conditional Use Permit for Solveig Spa Skola, LLC, to be located within Suite 3 of N27W23960 Paul Road.

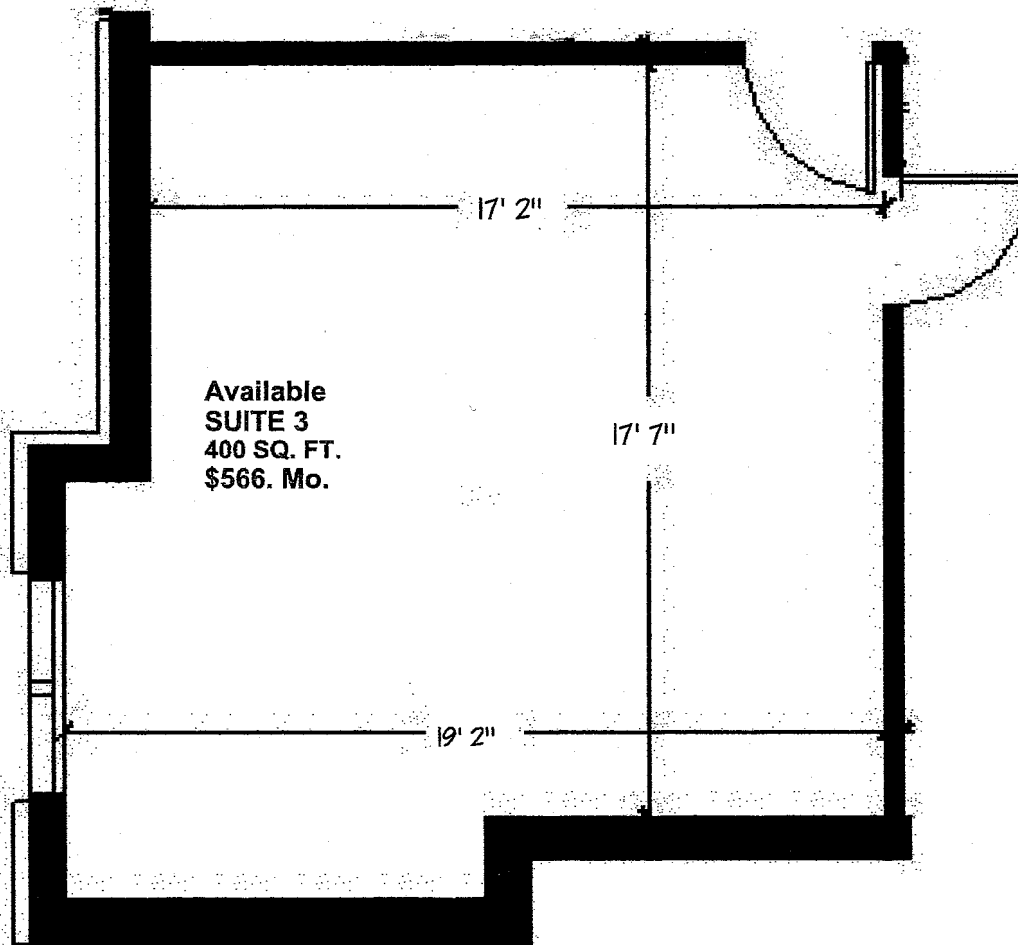
## **Solveig Spa Skola, LLC**

This space is approximately 400 SQ FT in Suite 3 at WWI N27 W23960 Paul Road, Pewaukee, WI 53072.

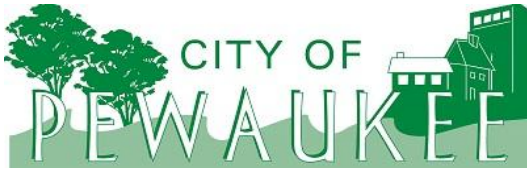
The services that I will provide at WWI N27 W23960 Paul Road is a Scandinavian spa services to include massage therapies to offer a variety of relaxation and wellness treatments, primarily focusing on massage therapy and teaching potential students to become licensed in massage therapy. It is a place that will offer a Swedish massage that primarily target muscle manipulation for pain relief and overall relaxation and rejuvenation, facials, body wraps, and other wellness experiences, often incorporating skin care and therapeutic treatment for wellness.

And secondly, I will teach CPR/BLS. Being a registered nurse of approximately 40 years, I am also certified in CPR/BLS and certified in teaching these very important life skills.

Also, I will be working with the State of Wisconsin to be a State Examiner for students to be licensed in a variety of state licensed occupations, e.g. massage therapy, cosmetology, nail technicians, and esthetician. These services will be provided to where the State of Wisconsin wants the students to complete the state examinations. The reason I am telling you that I will be working with the State of Wisconsin is because the State is very strict, and they will be monitoring my skill set very closely.



*Building Innovation on Tradition*



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W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 21, 2026

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**Date:** May 11, 2026

**Project Name:** Amazon Fence Site & Building Plan Review

**Project Address/Tax Key No.:** W232N2950 Roundy Circle E / PWC 0917994030

**Applicant:** Patriot Fence & Construction

**Property Owner:** TI INVESTORS OF PEWAUKEE LLC

**Current Zoning:** M-4 Industrial Park District

**2050 Land Use Map Designation:** Manufacturing/Fabrication/Warehousing

**Use of Surrounding Properties:** Railroad tracks and multi-family residential to the north, industrial to the south and west, and HWY F and industrial to the east.

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### **Project Description/Analysis**

The applicant filed a Site & Building Plan Review Application to install a fence upon property located at W232N2950 Roundy Circle E. Section 340-2.9B(5) of the Zoning Code requires that all accessory structures in nonresidential districts require Plan Commission approval of a Site & Building Plan Review Application.

The applicant is proposing an eight-foot-tall black chain-link style fence that encloses the parking lot on the east side of the building. The fence is about 50-feet from north property line, 160 feet from east property line, and over 200 feet from the south property line.

The applicant provided a landscaping concept for Plan Commission consideration. If acceptable, *staff recommends that a complete and detailed landscape plan be provided for staff review and approval.* The final landscape plan must show the entire site/planting area and include a plant schedule listing the quantities, planting sizes, and types of plants that will be installed. Note the M-4 District requires that "[a]ll parking and loading areas shall be adequately screened as determined by the Plan Commission."

The proposed landscaping will extend along the entire length of the fence, except along the north side as indicated by the applicant.

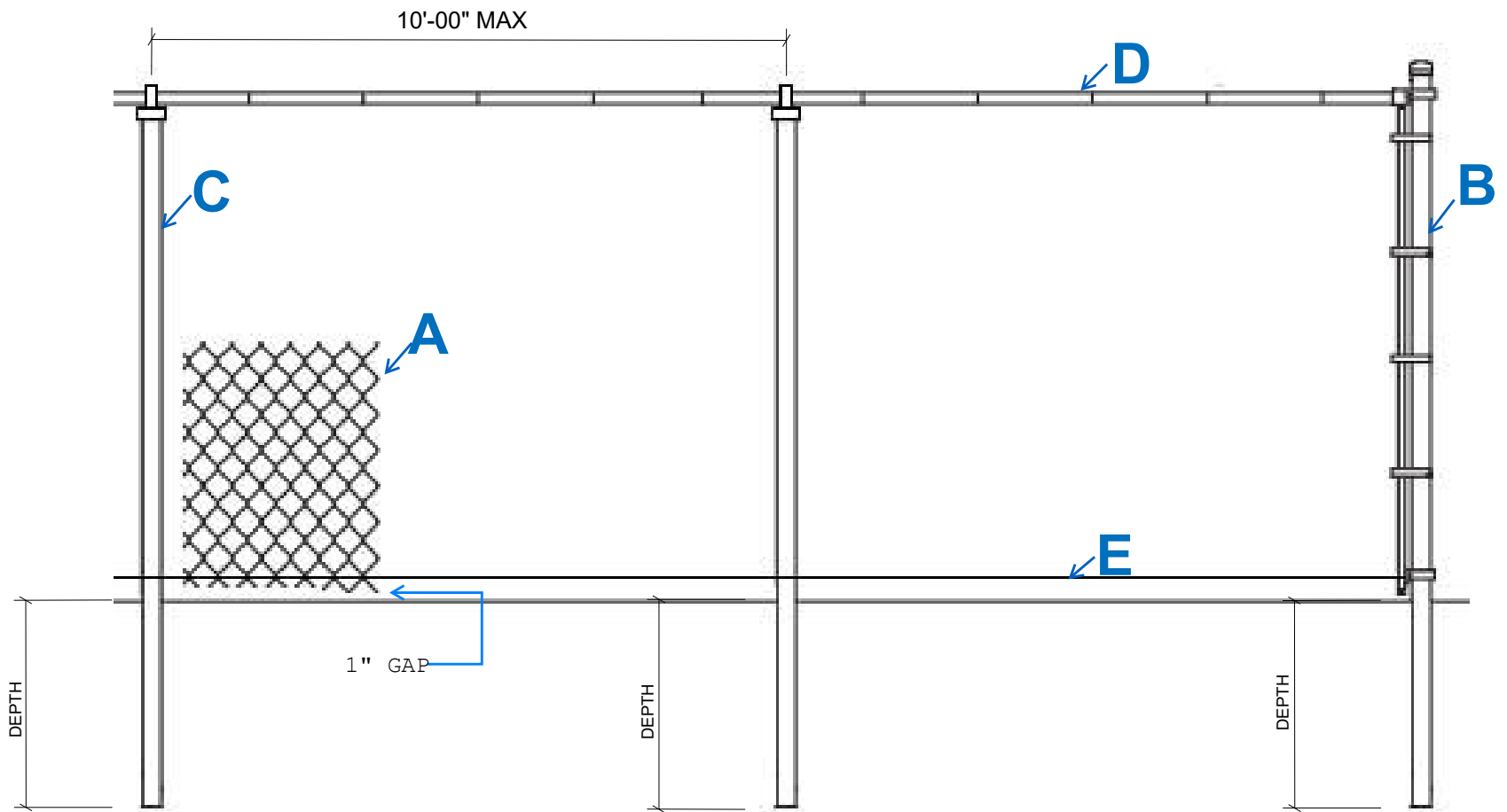
### **Recommendation**

Staff recommends approval of the subject Site & Building Plan Review Application to allow for the installation of the fence as presented.



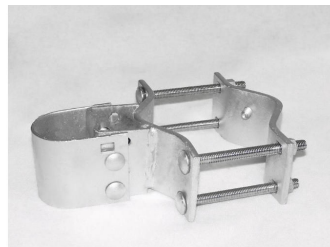
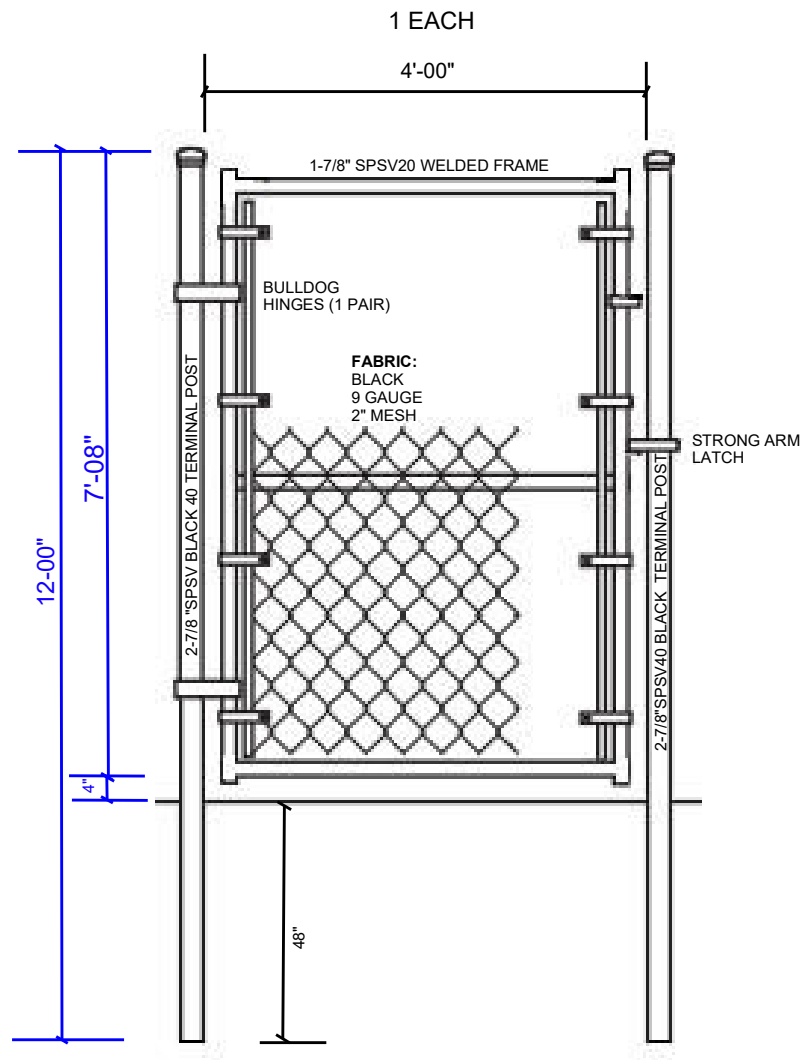






BLACK KNUCKLE SELVAGE

BLACK	FABRIC		"A"	HEIGHT:	8'-00"	MESH:	2"	CORE:	9 GA	SELVAGE:	K/K
	POSTS	TERMINAL	"B"	DIA:	2-7/8"	LENGTH:	12'-00"	TYPE: SPSV40			
				EMBEDMENT:		DRIVEN 48"					
	POSTS	LINE	"C"	DIA:	2-3/8"	LENGTH:	12'-00"	TYPE: SPSV40			
				EMBEDMENT:		DRIVEN 48"					
	RAIL		"D"	DIA:	1-5/8"	LENGTH:	21'-00"	TYPE: SPSV40			
TENSION WIRE		"E"	GAUGE:	7	TYPE: SPRING COIL						



### UNIVERSAL 90° BOX HINGE

Universal pressed steel box hinges are a swing gate hinge that permits the gate to swing 90° from the closed to the open position. Universal box hinges are attached to the post with a strap and four 3/8" carriage bolts. These hinges are universal because they fit post sizes 2 1/2" through 4 1/2". Bolts and nuts included.

Universal 90° Box Hinge (Fits 2 1/2", 3", 3 1/2", 4", 4 1/2")



# SPSV Poly( Vinyl Chloride) (PVC)- Coated Steel Chain Link Fence Fabric

Class 2B - Fused and Adhered

ASTM F668, Federal Specification RR-F-191 Type IV, AASHTO M-181 Type IV

## PRODUCT NAME

SPSV Fused and Bonded Poly (Vinyl Chloride)- PVC Coated Steel Chain Link Fence Fabric Class 2B

## MANUFACTURER

Stephens Pipe and Steel, LLC

### Manufacturing Locations:

Stephens Pipe and Steel, LLC  
1413 Steve Warriner Drive  
Russell Springs, Kentucky 42642

4301 46<sup>th</sup> Street  
Bladensburg, Maryland 20710

2891 State Hwy 160  
Warrior, Alabama 35180

## PRODUCT DESCRIPTION

**Basic Use:**  
Fused and adhered fabric is a bonded vinyl, high strength galvanized steel, chain link fence fabric for industrial, commercial and institutional application. Fused and adhered fabric is used in numerous federal, state, civil, and military specifications.

**Composition and Materials:**  
The galvanized steel core wire for producing fused and adhered PVC coated steel chain link fence fabric is produced by cold-drawing good commercial grade steel rod into wire of the appropriate diameter. The steel rod from which the wire is drawn is produced by the open hearth, electric furnace or basic oxygen process. The galvanized coating is produced by passing the cleaned wire through a bath of molten zinc which conforms to ASTM B6.

The fused and adhered PVC coating is produced by first applying a thermo-set bonding agent to the galvanized core wire to which the PVC is bonded. A coating of PVC up to 0.010 in. (0.25 mm) is then fused and bonded to the wire.

### Standards:

ASTM B 6 Slab Zinc  
ASTM F567 Installation of Chain Link  
ASTM F668 Poly(Vinyl Chloride) (PVC ) and Other Organic Polymer-Coated Steel Chain Link Fence Fabric, Class 2B  
Federal Specification RR-F-191 K/1 D Fencing, (Chain-Link Fence Fabric), Type IV  
American Association of State Highway Transportation Officials (AASHTO) M-181 Chain Link Fence, Type IV , Class B

### TECHNICAL DATA

**General:**  
The manufacturer can supply samples and certification that all materials furnished fully comply with the required specifications.

**Chain Link Fence Fabric:**  
The base metal of the chain link fence fabric is composed of commercial quality, medium-carbon galvanized (zinc coated) steel wire. The vinyl coating is thermally bonded to a thermoset bonding primer over a galvanized steel wire. This process ensures a bonded coating free of voids, as well as a smooth surface appearance. The wire is PVC coated before weaving and is free and flexible at all joints. Unless otherwise specified, fabric woven in 2 in. (50 mm) mesh, under 72" (1,830 mm) in height, is knuckled at both selvages; fabric 72" (1,830mm) high and over is knuckled at one selvege and twisted at the other. All fabrics woven into meshes under 2 in. (50 mm) have both selvages knuckled.

### Wire Coating:

Only plasticized poly(vinyl chloride) (PVC) with a low temperature (-20 °C; -4°F) plasticizer and no extenders or extraneous matter other than the necessary stabilizers and pigments, is used. The PVC coating resists attack from dilute solutions of most common mineral acids, seawater, and dilute solutions of most salts and alkali.

### ASTM Color System:

Standard colors conform to ASTM F934 and include:

- Ensor
- Green
- Brown
- Black**

Other colors are available by special order.

**Coating Adhesion:** The PVC coated wire shall pass the test for adhesion contained in ASTM F668 for Class 2B chain link fabric.

### INSTALLATION

Install fence in accordance with ASTM Practice 567. Handle all PVC coated material with care. If PVC coating is damaged during installation, contractor must replace or repair the material at their expense.

### AVAILABILITY

PVC-coated steel chain link fence fabric is available throughout the United States and worldwide.

### WARRANTY

Fused and bonded chain link fence fabric is warranted for 15 years against failure due to rust or corrosion.

### MAINTENANCE

Periodic inspection is recommended but no routine maintenance is required.

### TECHNICAL SERVICES

Technical services are available. Call your sales representative for assistance.

**TABLE 1 BREAKING STRENGTH OF STEEL WIRE**

6 gauge -0.192"	[4.88 mm]	2170 lbf [9650 N]
<b>9 gauge- 0.148"</b>	<b>[3.76 mm]</b>	<b>1290 lbf [5740 N]</b>
11 gauge- 0.120"	[3.05 mm]	850 lbf [3780 N]
11 ½ gauge- 0.113"	[2.87 mm]	750 lbf [3340 N]
12 gauge- 0.105"	[2.67 mm]	650 lbf [2890 N]
14 gauge- 0.080"	[2.03 mm]	380 lbf [1690 N]

**TABLE 3 STANDARD 1" & LARGER MESH SIZES AND GAUGES FOR CHAIN LINK FABRIC**

Size of mesh	Gauge*	Nominal Diameter	Recommended Usage	WIDTH
2 1/8" [54 mm]	11 ½	0.113" [2.87 mm]	Residential	
2" [50 mm]	11	0.120" [3.05 mm]	Residential/light commercial	
<b>2" [50 mm]</b>	<b>9</b>	<b>0.148" [3.76 mm]</b>	<b>Residential /commercial/ind.</b>	<b>96"</b>
2" [50 mm]	6	0.192" [4.88 mm]	Commercial/ind./security	
1 ¾" [44 mm]	11	0.120" [3.05 mm]	Tennis court	
1 ¾" [44 mm]	9	0.148" [3.76 mm]	Heavy commercial/industrial	
1 ¾" [44 mm]	6	0.192" [4.88 mm]	Security	
1 ¼" [32 mm]	11	0.120" [3.05 mm]	Residential/swimming pool	
1 ¼" [32 mm]	9	0.148" [3.76 mm]	Heavy industrial /Security	
1" [25 mm]	11	0.120" [3.05 mm]	Industrial	
1" [25 mm]	9	0.148" [3.76 mm]	Heavy industrial/ Security	

\*polymer coated core wire gauge is specified gauge reference not the coated finished diameter



**KNUCKLE SELVAGE\*  
TOP & BOTTOM**



**TWIST SELVAGE\***

**800.451.2612**

**ADVANTAGE ONE SOURCE**

# Stephens Pipe & Steel

## SPS-40

### Steel Pipe

#### FINISH COAT:

See SPSV40 sheet

#### SPS-40 Technical Specifications

##### Scope

This specification covers SPS-40 galvanized steel pipe as manufactured by Stephens Pipe & Steel and covers steel sheet, zinc-coated (galvanized) by the hot-dip process in coils and cut lengths.

##### Materials and Weight of Coatings

###### 1. Steel

Steel Strip used in the manufacturer of Stephens SPS-40 shall conform to ASTM A-653 and will meet or exceed the performance criteria as stated in this standard specification. The steel shall be cold rolled and meet a minimum yield strength of 50,000 psi.

###### 2. Zinc

The zinc used in coating SPS-40 shall conform to ASTM B6 for High Grade and Special High Grade Zinc. Coating weight of the zinc shall have a designation of G-210, and both exterior and interior surfaces are coated for a total zinc coating weight of 2.10 oz/ft<sup>2</sup>. The test method for calculating zinc weight is described in ASTM A90.

###### 3. Conversion Coating

While on-line, the external surface of the pipe shall be applied with a conversion coating once it has passed through an alkaline bath. That coating shall be 30 microgram/in<sup>2</sup> ± 10 micrograms/in<sup>2</sup> and shall be determined by a strip and weigh method using an atomic absorption spectrophotometer or X-ray fluorescence spectrograph.

###### 4. Organic Clear Coating

An organic clear coat shall be applied to the exterior of the pipe.

The thickness of clear coat shall be .5 mils ± .2 mils and will be determined by measurement with a magnetic or eddy current coating thickness tester.

##### Strength Characteristics

###### 1. Load Strength

The strength of SPS-40 shall conform to the requirements of ASTM F-1043. A 4-foot or 6-foot cantilevered beam test shall be used to determine the strength of line, end, corner and pull post. The strength of top rail shall be determined by a 10-foot free support beam test.

###### 2. Bending Moment

Conformance with this specification can be demonstrated by measuring the yield strength of a randomly selected piece of pipe and calculating the section modulus. The yield strength shall be determined according to the methods described in ASTM E-8. For materials under this specification, the 0.2 offset method shall be used to determine yield strength.

##### Corrosion Resistance

###### 1. Salt Spray

For the Exterior Surface of the Pipe, the clear organic coating shall demonstrate the ability to resist 1000 hours of exposure to salt spray with a maximum of 5% red rust. Test shall be conducted in accordance with ASTM B117. The Interior Zinc Coated Surface shall withstand no less than 650 hours of exposure to salt spray with a maximum of 5% red rust when tested in accordance with ASTM B-117.

###### 2. Humidity

The clear organic coating shall have the ability to withstand exposure for 500 hours at 100% relative humidity without blistering and peeling when conducted in accordance with ASTM D-4585.

###### 3. Weatherometer

The clear organic coating of SPS-40 shall have a demonstrated ability to withstand exposure for 500 hours without failure at a black panel temperature of 145 degrees F when tested in accordance with ASTM G-26, Xenon Type BH apparatus or ASTM G-23 HH apparatus.

##### Specifying Agencies

A partial list of agencies that have approved SPS-40:

- AASHTO American Association of State Highway and Transportation Officials M181-10
- Federal Specifications RR-F-191/3D
- ASTM F1043-14 Standard Specification for Strength and Protective Coatings
- US Department of Justice - Federal Bureau of Prisons
- US Army Corps of Engineers USGS 32 31 13
- Department of the Navy
- Federal Aviation Administration AC/5370-10E Item 162
- State Department of Transportation

##### Certification

Stephens Pipe & Steel proudly manufactures SPS-40 in the "Heartland of the USA".

Our materials can be certified to meet applicable Federal, State and Local Specifications, with "Made in the USA" stamped on each length of pipe.



## POLYMER COATED FRAMEWORK – OnGuard SS/WT 40

### ASTM F1043 Group I-C, Federal specification RR-F-191 Class 1 Grade B, AASHTO M-181 Grade 2

#### PRODUCT NAME

Polymer Coated Framework,  
OnGuard SPSV 40

#### DISTRIBUTOR

Stephens Pipe & Steel, LLC

PO Box 618, 2224 E Hwy 619

Russell Springs, Kentucky 42642

800 451 2612

spsfence.com

#### PRODUCT DESCRIPTION

OnGuard SPSV 40 pipe is the strongest readily available product and is used as end, corner or line posts, and rails, for industrial, commercial and institutional applications.

It is available in both a heavy PVC coating and a lighter polyester coating. The polymer coating, PVC or polyolefin elastomer shall have a film thickness of 10 mils (.254 mm) minimum or polyester 3 mils (.0076 mm) minimum coating. It can be specified in conjunction with all metallic coatings and is applied to the exterior surface of tubular shapes. Unless otherwise specified the color of the coating shall be in accordance with ASTM F 934.

The requirements for this material are contained in numerous government specifications for use in prison, road, dock, airport, housing, forestry, and military installations.

OnGuard SPSV 40 pipe is typically used in installations which incorporate poly-coated steel chain link fence fabric, although it may also be specified for use with other types of fabric, i.e. zinc or aluminized coated.

#### Composition and Materials:

OnGuard SPS 40 pipe is manufactured using cold formed steel with a higher yield strength and tensile strength than schedule 40 pipe.

The pipe is triple coated to provide and maintain a pleasing appearance in all climates and severe atmospheric conditions.

#### Standards:

ASTM F1043 *Strength and Protective Coatings on Metal Industrial Chain Link Fence Framework*, Group I-C Heavy Industrial

ASTM F567 *Installation of Chain Link Fence*  
Federal specification RR-F-191K/3D

Fencing, Wire and Post Metal (Chain Link Fence Posts, Top Rails, and Braces), Class 1, Grade B AASHTO M-181 *Chain Link Fence*, Grade 2 (American Association of State Highway Transportation Officials), Grade 2

Federal Aviation Administration AC 150/5370  
*Item F162*

#### TECHNICAL DATA

##### General:

The manufacturer or distributor can supply samples and certification that all materials furnished fully comply with the required specifications.

##### Polymer Coated Steel Framework:

The information contained herein for high yield strength/high tensile strength pipe covers the requirements for pipe sizes NPS 1 to NPS 3 1/2, corresponding to fence industry sizes 1-3/8" to 4". Note: The dimensionless designator, NPS is used instead of traditional terms such as nominal diameter, size, and nominal size.)

#### Yield Strength Requirement:

The yield strength of OnGuard SPS 40 is 50,000 psi (344 MPa), min.

#### Coating Requirements:

The exterior of OnGuard pipe is triple coated, ensuring the pipe will maintain its appearance. The triple coating consists of a metallic coating of zinc, plus a conversion coating and a clear organic film, conforming to ASTM F1043 Type B coating requirements. The interior of the pipe is rated to a Type B interior zinc weight per ASTM F1043 Type B coating requirements. The PVC, polyester, and polyolefin elastomer coating shall not fade, crack, or peel under normal conditions. It shall withstand 1000 hours of Weatherometer without failure based on Practice D1499.

#### INSTALLATION

Install fence posts in accordance with ASTM Practice 567.

#### AVAILABILITY AND COST

**Availability:** OnGuard SPS 40 is available for shipment throughout the United States and worldwide.

**Cost:** Material costs may vary depending on specific requirements. Costs may be obtained from your Stephens Pipe Sales Representative.

#### MAINTENANCE

No routine maintenance is required.

#### TECHNICAL SERVICES

Technical services are available. Call your sales representative for assistance.

### Physical Dimensions and Strength Calculations:

Fence Industry	Decimal O.D. Equivalent		Pipe Wall Thickness		Weight		Section Modulus	x	Min. Yield Strength	=	Max Bending Moment	Calculated Load (lbs)		
	O.D.	inches	(mm)	inches	(mm)	lb./ft						(kg/m)	inches <sup>3</sup>	psi
		inches	(mm)										4'	6'
1-5/8"	1.660	42.16	.111	2.82	1.84	2.74	.1961	x	50,000	=	9805	327	204	136
2"	1.900	48.26	.120	3.05	2.28	3.39	.2810	x	50,000	=	14050	468	293	195
2-1/2"	2.375	60.33	.130	3.30	3.12	4.64	.4881	x	50,000	=	24405	814	508	339
3"	2.875	73.03	.160	4.06	4.64	6.90	.8778	x	50,000	=	43890	1463	914	610
3-1/2"	3.500	88.90	.160	4.06	5.71	8.50	1.3408	x	50,000	=	67040	2235	1397	931
4"	4.000	101.60	.160	4.06	6.56	9.76	1.7819	x	50,000	=	89095	2970	1856	1237

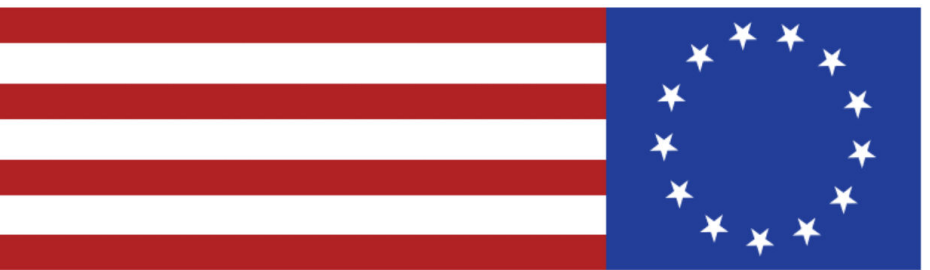


## Polymer-Coated Steel Chain Link Accessories

ASTM F626, Federal Specification RR-F-191 /4D, AASHTO M-181-98

- Chain link fence accessories: [ASTM F 626] Provide items required to complete fence system. Galvanize each ferrous metal item and finish to match framing.
- Post caps: PVC-coated formed steel, cast malleable iron, or aluminum alloy weather tight closure cap for tubular posts. Provide one cap for each post. ~~Cap to have provision for barbed wire when necessary. "C" shaped line post without top rail or barbed wire supporting arms do not require post caps.~~ (Where top rail is used, provide tops to permit passage of top rail.)
- Top rail ~~and brace rail~~ ends: PVC-coated pressed steel per ASTM F626, for connection of rail and brace to terminal posts.
- Sleeves: Lengths of top rails to be connected using 6" (152 mm) PVC-coated sleeves that allow for expansion or contraction of the rail.
- Tie Wire: PVC-coated 9 gauge [0.148" (3.76 mm)] ~~galvanized steel or~~ aluminum for attachment of chain link fabric to posts and rails. Hog rings attach fabric to tension wire to be 12 1/2 GA [0.0985" (2.502 mm)].
- Brace and tension (stretcher bar) bands: PVC-coated pressed steel.
- Tension wire: PVC applied to metallic coated steel wire: Per ASTM F 1664 Class 2a, 6 gauge, [0.192" (4.88mm)] diameter core wire with tensile strength of 75,000 psi (517 MPa).
- Truss rods & tightener: PVC-coated steel rods with minimum diameter of 5/16" (7.9 mm). Capable of withstanding a tension of minimum 2,000 lbs.
- Nuts and bolts are galvanized but not vinyl coated.

CONTACT	POSITION	RESPONSIBILITY	CELL PHONE	EMAIL
BRANDI HAYES-FINK	OFFICE MANAGER / ACCOUNTING	ACCOUNTING	(262)521-0029	BRANDI@PATRIOTFENCING.COM
		CERTIFICATES OF INSURANCE		
		CLOSEOUTS/WARRANTIES		
		WAIVERS		
J. BIEHL	PROJECT MANAGER	ESTIMATING/MATERIALS	(920)264-3252	JAE@PATRIOTFENCING.COM
		SUBMITTALS		
TREVOR SCHROEDER	SITE SUPERINTENDENT	ESTIMATING/LABOR	(262)388-3758	TREVOR@PATRIOTFENCING.COM
JERROD "CHET" KAMINE	SITE FOREMAN	SCHEDULING	(715)923-0229	JERROD@PATRIOTFENCING.COM
PATRIOT FENCE	OFFICE	PO BOX 596 - SUSSEX, WI 53089	(262)521-0029	INFO@PATRIOTFENCING.COM



**PATRIOT  
FENCE**



**PATRIOT FENCE  
AND CONSTRUCTION LLC.**

**BRANDI HAYES-FINK**  
brandi@PatriotFencing.com  
(262) 527-5461 (Cell)

(262) 521-0029 **PHONE/FAX OFFICE/SHOP**  
PO BOX 596 SUSSEX, WI 53089 **MAILING**  
926 SILVERMAIL RD. PEMAUNKEE, WI 52072 **SHIPPING**

**PatriotFencing.com**



**PATRIOT FENCE  
AND CONSTRUCTION LLC.**

**J. BIEHL**  
(920) 264-3252 (Cell)  
jae@PatriotFencing.com

(262) 521-0029 **PHONE/FAX OFFICE/SHOP**  
PO BOX 596 SUSSEX, WI 53089 **MAILING**  
926 SILVERMAIL RD. PEMAUNKEE, WI 52072 **SHIPPING**

**PatriotFencing.com**



**PATRIOT FENCE  
AND CONSTRUCTION LLC.**

**TREVOR SCHROEDER**  
(262) 388-3758 (Cell)  
trevor@patriotfencing.com

(262) 521-0029 **PHONE/FAX OFFICE/SHOP**  
PO BOX 596 SUSSEX, WI 53089 **MAILING**  
926 SILVERMAIL RD. PEMAUNKEE, WI 52072 **SHIPPING**

**PatriotFencing.com**



**PATRIOT FENCE  
AND CONSTRUCTION LLC.**

**JERROD "CHET" KAMINE**  
(715) 923-0029 (Cell)  
jerrrod@patriotfencing.com

(262) 521-0029 **PHONE/FAX OFFICE/SHOP**  
PO BOX 596 SUSSEX, WI 53089 **MAILING**  
926 SILVERMAIL RD. PEMAUNKEE, WI 52072 **SHIPPING**

**PatriotFencing.com**

Sea Green Juniper



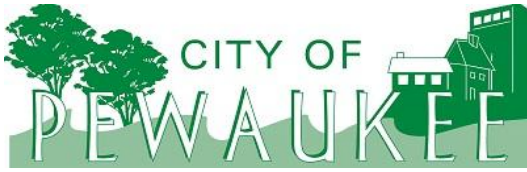
Crabapple pink and white



Sea Green Juniper (*Juniperus chinensis* 'Sea Green') is a popular, fast-growing evergreen shrub known for its graceful, arching, fountain-like branches and vibrant mint-green foliage that darkens in winter. It typically grows 4–6 feet tall and 6–8 feet wide, making it an excellent, low-maintenance choice for hedges, screens, or foundation plantings.



Nothing planted parallel with the train tracks.  
here's not much room there and it butts up the existing tree line.



**Office of the Planner & Community Development Director**  
W240 N3065 Pewaukee Road  
Pewaukee, Wisconsin 53072  
Phone (262) 691-0770 Fax (262) 691-1798  
[fuchs@pewaukee.wi.us](mailto:fuchs@pewaukee.wi.us)

## REPORT TO THE PLAN COMMISSION

Meeting of May 21, 2026

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**Date:** May 11, 2026

**Project Name:** Cold Noses Sanctuary Site & Building Plan Review

**Project Address/Tax Key No.:** N47W26699 Lynndale Road / PWC 0882999001

**Applicant:** Cold Noses Sanctuary Property LLC

**Property Owner:** Cold Noses Sanctuary Property LLC

**Current Zoning:** A-1 Agricultural District, UC Upland Conservancy District, and F-1 Floodplain District

**2050 Land Use Map Designation:**

**Use of Surrounding Properties:**

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### Project Description/Analysis

The applicant filed a Site & Building Plan Review Application requesting approval of an addition to an existing accessory structure upon property located at N47W26699 Lynndale Road.

The applicant recently received approval of a Conditional Use Permit for the Cold Noses Sanctuary business use. As part of that approval, the Plan Commission and Common Council approved a condition requiring new buildings and additions receive Plan Commission approval of a Site & Building Plan Review Application.

The proposed modifications are to the accessory structure located directly behind the residential dwelling near the east property line. This building will be used to house the cats on the property.

The project includes an addition to the north end of the building as well as two entryway features on the west side of the building. The entryways and the addition will include stainless steel wire mesh screening. The addition is about 315 square feet and each entryway is about 68 square feet.

### Recommendation

Staff recommends approval of the Site & Building Plan Review Application for Cold Noses Sanctuary to modify the existing accessory structure as proposed.



**April 24<sup>th</sup> 2026**

### **Site Plan Approval Feline Building “Estéban’s Estuary”**

This site plan approval is to expedite an addition and alteration to an existing structure that will be brought up to commercial status. Prior to obtaining occupancy there will be additional site plan approval process for a new driveway and other site improvements that will be crucial to the operation of the facility.

The purpose of this space will be a community living for up to 12 cats to live comfortably. Reading nooks and couches for volunteers to interact, along with a prep sink and storage space. Catio outdoor screened porch for enrichment.

Approximate cost of building improvement will be in the range of \$300k to \$375k.

### **Recap of the Cold Noses Sanctuary**

On February 2, 2026, The City Common Council granted a Cold Noses Animal Sanctuary a Conditional Use Permit to develop a rescue sanctuary for special-needs animals.

Cold Noses Sanctuary is a non-profit organization that will help rescue special needs animals (mainly dogs, cats, horses, goats and donkeys) from high-kill shelters and other emergency situations. Often, these animals need time, tenderness, and someone to make them feel safe for them to live out their lives in peace. As is often the case with all animals, special needs animals bring out the best in people and demonstrate resilience and perseverance to others facing their own challenges.

Cold Noses Sanctuary will be a place where animals are healing, and many will live out their lives here. Our hope is that we will be find forever homes for some of these animals through interactions with the public. Adoptions and fostering are not a regularly occurring part of our program, but we would expect them to happen occasionally. This is an opportunity for an animal to find their own forever family and thus open more space for us to help another. We will have adoption and foster applications, check Veterinary references and keep in close contact with our fosters and adopters with a “take back” policy if they cannot keep the animal for any reason.

Cold Noses Sanctuary  
N47 W26699 Lynndale Rd.  
Pewaukee, WI. 53072

Office Phone: 262-361-0107  
Cellular: 508-648-9115  
thalia@coldnosessanctuary.org

Website: [www.coldnosessanctuary.org](http://www.coldnosessanctuary.org)

Tax ID: 33-2026609



## Daily Activities

Daily this will run as a small-scale hobby farm with an onsite caretaker, volunteers, and animals. The activities set forth fall well within the scope of agritourism, as defined by Wisconsin Department of Agriculture. We will be a working farm, and the education and agritourism will be a source of revenue generation for our sanctuary. At all times- even at our busiest, tranquility and calmness will be sought to be maintained for the well-being of our resident animals. We are not a zoo, and therefore we will neither force nor guarantee animal encounters with the public. Part of our educational program is to show that these animals are living their lives and deserve to have a say in their daily interactions.

This is ultimately the safest way to interact. The animals will be housed in secure buildings and have access to fenced yards (dogs), pastures (farm animals), and an enclosed “Catio” for the cats. We adhere to the standards provided by the Association of Shelter Veterinarians for minimum space requirements. Additionally, we follow protocol for standards for 1 acre per horse and 1 acre per 1-3 goats and .5 acre per donkey.

The sanctuary will be run daily by the live-in resident. (Lead Sanctuary Manager) There will be a core group of volunteers as the animal population grows, to help with the care and public outreach. We will work with several Veterinarians who will come to the farm on a regular schedule to oversee care processes and diagnose any conditions. Farriers will work with our livestock to ensure hoof health.

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Cold Noses Sanctuary  
N47 W26699 Lynndale Rd.  
Pewaukee, WI. 53072

Office Phone: 262-361-0107  
Cellular: 508-648-9115  
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Website: [www.coldnosessanctuary.org](http://www.coldnosessanctuary.org)

Tax ID: 33-2026609

# Cold Noses Feline Facility

N47W26699 Lynndale Rd  
Pewaukee, WI

## SITE PLAN APPROVAL



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGN PROFESSIONAL AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF STRUCRITE, INC.

### Cold Noses Feline Facility

N47W26699 Lynndale Rd  
Pewaukee, WI

#### DESIGNER/ SUPERVISING PROFESSIONAL

StrucRite, Inc.  
Boyd E. Coleman, P.E.  
President, Engineer  
707 N. Grand Ave. - Suite 102  
Waukesha, WI 53186  
262.549.3222

### ABBREVIATIONS

AC AIR CONDITIONING	FGL FIBERGLASS	PREFAB PREFABRICATED
ACS ACCESS PANEL	FHC FIRE HOSE CABINET	PRELIM PRELIMINARY
ACT ACUSTICAL CEILING TILE	FN FINISH	PRKG PARKING
ADM ADDENDUM	FXT FIXTURE	PSF POUNDS PER SQUARE FOOT
ADJ ADJUSTABLE	FL FLOOR LINE	PT PAINT
ADO AUTOMATIC DOOR OPERATOR	FLR FLOOR	PTD PAPER TOWEL DISPENSER
AFF ABOVE FINISH FLOOR	FLUOR FLUORESCENT	PTDR PAPER TOWEL DISPENSER WITH RECEPTACLE
ATL ALTERNATE	FO FACE OF (ITEM)	PTM PAINT TO MATCH
ALUM ALUMINUM	FOF FACE OF FINISH	QT QUARRY TILE
ANOD ANODIZED	FOM FACE OF MASONRY	R RADIUS
APPROX APPROXIMATE	FP FIRE PROOF, FIRE PROTECTION FRAME	R RISER
ARCH ARCHITECT	FR FRAME	RA RETURN AIR
AUX AUXILIARY	FT FOOT OR FEET	RD ROOF DRAIN
AVG AVERAGE	FTG FOOTING	REF REFRIGERATOR
	FLRG FURRING	REFL REFLECTED
	RVG FIELD VERIFY	REQD REQUIRED
BD BOARD	GA GAGE	REV REVISION
BITUM BITUMINOUS	GAL GALVANIZED	RFI REQUEST FOR INFORMATION
BLKG BLOCKING	GB GRAB BAR	RM ROOM
BLKHD BULKHEAD	GC GENERAL CONTRACTOR	RO ROUGH OPENING
BM BEAM	GL GLASS	ROW RIGHT OF WAY
BO BOTTOM OF (ITEM)	GYP BD GYPSUM BOARD	RTU ROOF TOP UNIT
BO BY OTHERS		SAB SOUND ATTENUATION BATTS
BS BOTH SIDES		SAG SUPPLY AIR GRILL
BT JNT BUTT JOINT	HB HOSE BIB	SC SOLID CORE
BTWN BETWEEN	HDW HARDWARE	SCHED SCHEDULE
	HDWD HARDWOOD	SD SOAP DISPENSER
CAS CARD ACCESS SYSTEM	HM HOLLOW METAL	SECT SECTION
CB CATCH BASIN	HORZ HORIZONTAL	SHR SHOWER
CFCI CONTRACTOR FURNISHED CONTRACTOR	HP HORSE POWER	SHT SHEET
	HR HOUR	SHT MTL SHEET METAL
	HTR HEATER	SHV SHELF, SHELVING
CG CORNER GUARD	HVAC HEATING, VENTILATION & AIR CONDITIONING	SIM SIMILAR
CH COAT HOOK		S&P SHELF & POLE
CJ CONTROL JOINT		SPEC SPECIFICATION
CL CENTER LINE	ID INSIDE DIAMETER	SPKR SPEAKER
CLG CEILING	IN INCH	SQL SQUARE
CLO CLOSET	INCL INCLUDE, INCLUDING	SS SOLID SURFACE
CLR CLEAR	INT INTERIOR	SSK SERVICE SINK
CMU CONCRETE MASONRY UNIT		STC SOUND TRANSMISSION COEFFICIENT
CO CASED OPENING	JAN JANITOR	STD STANDARD
COL COLUMN	JNT JOINT	STL STEEL
CONC CONCRETE		STOR STORAGE
CONT CONTINUE, CONTINUOUS	KO KNOCK OUT	STRUCT STRUCTURAL
CORR CORRIDOR	KS KNEE SPACE	SUSP SUSPENDED
CPT CARPET	L LENGTH, LONG	
CRS COURSE, COURSES	LAV LAVATORY	T TREAD
CTR CENTER	LBS POUND(S)	TEMP TEMPORARY
CUH CABINET UNIT HEATER	LKR LOCKER	T&G TONGUE & GROOVE THICKNESS
	LT WT LIGHT WEIGHT	THK THICKNESS
DBL DOUBLE	MAS MASONRY	TLT TOILET
DEFS ERECT APPLIED EXTERIOR FINISH SYSTEM	MATL MATERIAL	TO TOP OF (ITEM)
DEMO DEMOLITION	MAX MAXIMUM	TOC TOP OF CONCRETE
DEP DEPRESSED	MECH MECHANICAL	TOF TOP OF FOOTING
DF DRINKING FOUNTAIN	MED MEDIUM	TOP TOP OF PAVEMENT
DIA DIAMETER	MFR MANUFACTURER	TOS TOP OF STEEL
DIAG DIAGONAL	MH MANHOLE	TOW TOP OF WALL
DIM DIMENSION	HD HD MIDDLE	TPD TOILET PAPER DISPENSER
DISP DISPENSER	MIN MINIMUM	TRYP TYPICAL
DIV DIVISION	MIRR MIRROR	
DN DOWN	MISC MISCELLANEOUS	UCR UNDERCOUNTER REFRIG.
DR OPNGDR OPENING	MO MASONRY OPENING	UL UNSH NOTED OTHERWISE
DS DOWNSPOUT	MSB MOP SERVICE BASIN	UR URINAL
DT DRAIN TILE	MTD MOUNTED	
DW DISHWASHER	MTL METAL	VAV VARIABLE AIR VOLUME
DWG DRAWING		VB VAPOR BARRIER
DWR DRAWER	NIC NOT IN CONTRACT	VCT VINYL COMPOSITE TILE
EA EACH	NO NUMBER	CA OVERALL
EFS EXTERIOR INSULATION FINISH SYSTEM	NOM NOMINAL	ON ON CENTER
	NTS NOT TO SCALE	OD OUTSIDE DIAMETER
EJ EXPANSION JOINT		OFICI OWNER FURNISHED/ CONTRACTOR INSTALLED
EL ELEVATION	OV OVER	OFD OVERFLOW DRAIN
ELEC ELECTRICAL/ELECTRICAL	CA OVERALL	OH OVERHEAD
ELEV ELEVATOR	ON ON CENTER	OPNG OPENING
EMER EMERGENCY	OD OUTSIDE DIAMETER	OPP OPPOSITE
EP ELECTRICAL PANEL	OFICI OWNER FURNISHED/ CONTRACTOR INSTALLED	
EQ EQUAL		
EQU EQUIPMENT	OFD OVERFLOW DRAIN	
ES ELECTRIC STRIKE	OH OVERHEAD	
ETR EXISTING TO REMAIN	OPNG OPENING	
EWC ELECTRIC WATER COOLER	OPP OPPOSITE	
EXH FN EXHAUST FAN		
EXIST EXISTING	PED PEDESTAL	
EXP EXPANSION	PERIM PERIMETER	
EXO EXPOSED	PL PLATE	
EXT EXTERIOR	PL PROPERTY LINE	
	PLAM PLASTIC LAMINATE	
FA FIRE ALARM	PLBG PLUMBING	
FD FLOOR DRAIN	PLYWD PLYWOOD	
FE FIRE EXTINGUISHER	PJL JNT PANEL JOINT	
FEC FIRE EXTINGUISHER CABINET	POC POINT OF CONNECTION	
FF FINISH FACE	PR PAIR	
		YD YARD(S)

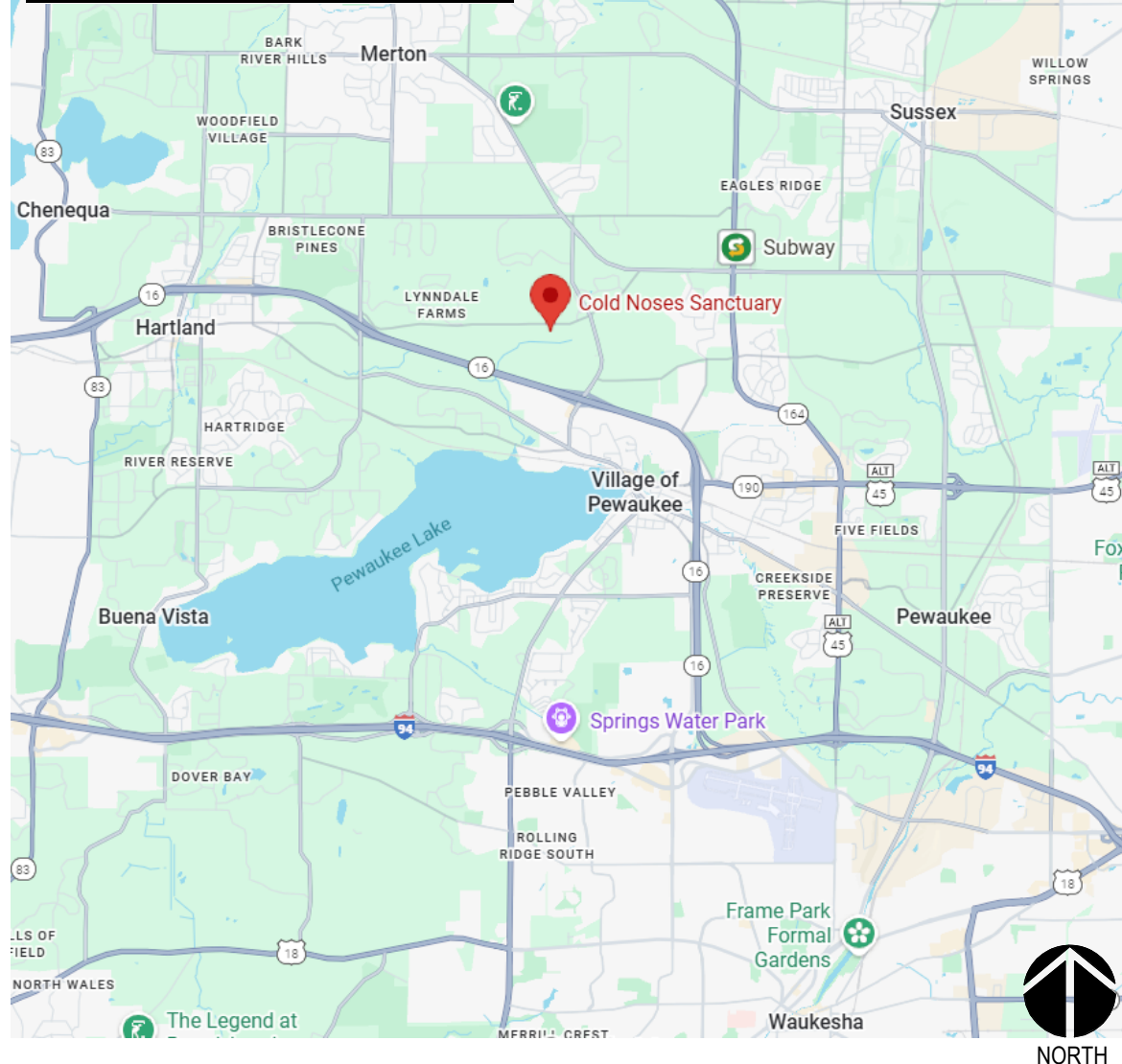
### SYMBOLS LEGEND

	DOOR TAG
	WINDOW TAG
	WALL TAG
	PROJECT KEYED NOTE
	EMERGENCY EXIT SIGN
	FIRE EXTINGUISHER
	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	TYPICAL DIMENSION FINISH TO FINISH
	DIMENSION SHOWING FRAMING TO FRAMING

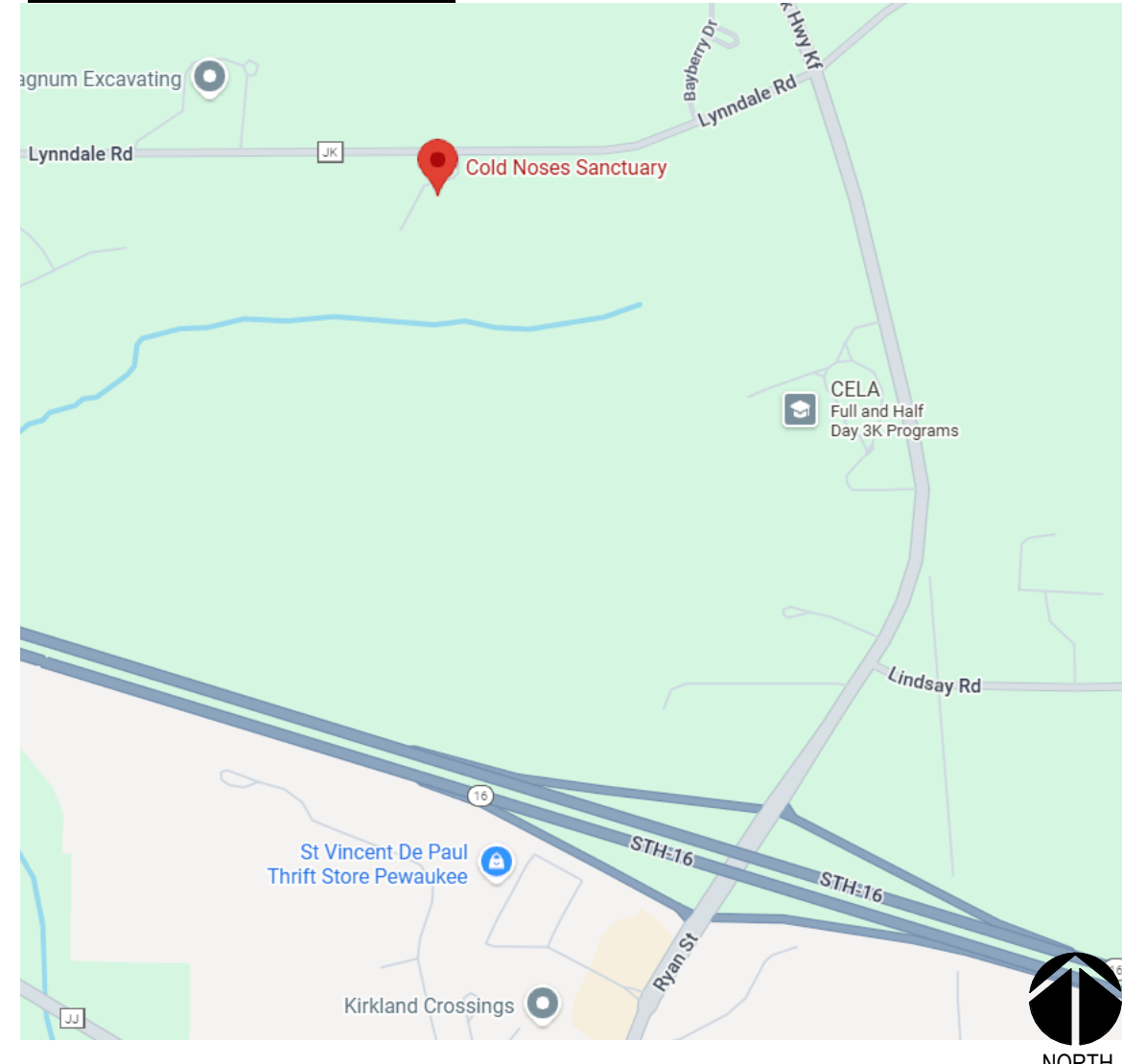
### GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE & NATIONAL CODES HAVING JURISDICTION OVER THIS PROJECT.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH BUILDING REGULATIONS AND IN A QUALITY WORKMANSHIP MANNER.
- DO NOT SCALE DRAWINGS.
- SEE GENERAL CONDITIONS OF THE CONTRACT FOR FULL SCOPE OF PROJECT.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTION AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- THE PLANS AND SPECIFICATIONS ARE INTENDED TO GIVE A DESCRIPTION OF THE WORK. NO DEVIATION FROM THE PLANS AND SPECIFICATIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF STRUCRITE, INC.
- ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF STRUCRITE, INC. IN WRITING.
- THE TERMS "NOT IN CONTRACT" OR "BY OWNER" OR "BY OTHERS" DO NOT PRECLUDE OTHER WORK ASSOCIATED WITH THE CONTRACT WHICH MUST OCCUR IN THE VICINITY OF THE AREA OR THROUGH THE SPACE.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF STRUCRITE, INC. PRIOR TO BIDDING.
- IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, THE CHANGES OR MODIFICATIONS MUST BE APPROVED BY STRUCRITE, INC. PRIOR TO PROCEEDING WITH WORK.
- ALL CHANGE ORDERS MUST BE APPROVED BY THE OWNER PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO FOLLOW THIS STEP MIGHT RESULT IN NON-PAYMENT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEAN-UP.
- GENERAL AND SUB CONTRACTORS SHALL EXERCISE ALL REASONABLE PRECAUTIONS FOR THE PROTECTION OF PERSONS AND PROPERTY ON THE SITE. ALL SAFETY PROVISIONS AND APPLICABLE LAWS FOR BUILDING AND CONSTRUCTION CODES SHALL BE OBSERVED.
- GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO STRUCRITE INC. FOR APPROVAL BEFORE PROCEEDING WITH ANY FABRICATION OR INSTALLATION.
- MANUFACTURERS DIRECTIONS FOR APPLICATION, INSTALLATION AND METHODS SHALL BE FOLLOWED ARE HEREWITH MADE PART OF THE CONSTRUCTION DOCUMENTS.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED

### LOCATION MAP



### VICINITY MAP



### SPECIFICATIONS

#### GYPSUM BOARD

- ALL GYPSUM BOARD SHALL BE AS MANUFACTURED BY U.S. GYPSUM, NATIONAL GYPSUM OR EQUAL. PROVIDE JOINT TAPE, JOINT COMPOUND, TEXTURE MATERIALS, AND INSTALLATION ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION IN ACCORDANCE WITH ASTM C840, GA201, GA216, GA600, AND U.S.G. "GYPSUM CONSTRUCTION HANDBOOK."
- PROVIDE CONTROL JOINTS PER THESE REQUIREMENTS.
- GYPSUM BOARD SHALL CONFORM TO THE FOLLOWING STANDARDS WHERE REQUIRED:
  - FIRE RATED: ASTM C36, TYPE X OR C, UL RATED, 48 INCH BY 5/8 INCH THICK, MAXIMUM PERMISSIBLE LENGTH;
  - MOISTURE RESISTANT: ASTM C630, TYPE X OR C, UL RATED, 48 INCH BY 5/8 INCH THICK, MAXIMUM PERMISSIBLE LENGTH.
- ERECT BOARD VERTICALLY, WITH ENDS AND EDGES OCCURRING OVER FIRM BEARING. STAGGER END JOINTS TO OCCUR AT DIFFERENT LOCATIONS ON OPPOSITE SIDES OF WALL. ERECT EXTERIOR SHEATHING HORIZONTALLY.
- PROVIDE M.R. DRYWALL AT ALL FRP, CERAMIC WALL TILE, PORCELAIN WALL TILE, COOLER PANEL, FREEZER PANEL AND DAMPWET LOCATIONS.
- USE SCREWS WHEN FASTENING TO METAL FRAMING AND SCREWS OR NAILS TO WOOD STUDDING. STAGGER FASTENERS OPPOSITE EACH OTHER ON ADJACENT ENDS AND EDGES. SPACED AS RECOMMENDED IN "GYPSUM CONSTRUCTION HANDBOOK." DO NOT ATTACH TO TOP TRACK ON PARTITIONS EXTENDING FROM FLOOR TO STRUCTURE ABOVE.
- ON FIRE RATED ASSEMBLIES, SEAL PENETRATIONS AND MAKE AIR-TIGHT.
- MAXIMUM TOLERANCE FROM TRUE FLATNESS: 1/8 INCH IN 10 FEET IN ANY DIRECTION.

#### SEALANTS

- CAULK AROUND ALL WINDOWS, DOORS, VENT OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, COUNTERTOPS, DOOR FRAMES, ETC. AND AS REQUIRED FOR A WATER-TIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE TREMCO DYMERIC FOR FOOD PROCESSING FACILITIES OR FOOD PREP/FOOD STORAGE AREAS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER.

#### FIRE EXTINGUISHERS

- REQUIREMENTS
  - CONTRACTOR TO FURNISH AND INSTALL EXTINGUISHERS PER LOCAL, STATE, AND FEDERAL CODES, AND N.F.P.A. NO 10-1978.
  - MOUNT FIRE EXTINGUISHER NOT HIGHER THAN 48" ABOVE FINISH FLOOR UNLESS LOCAL REGULATIONS REQUIRE DIFFERENT HEIGHT.
  - ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF THE A.D.A.

#### HEATING AND VENTILATION WORK

- REQUIREMENTS
  - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.
  - SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED BY CONTRACTOR FOR APPROVAL AS THE HEATING AND VENTILATING WORK IS NOT A PART OF THIS PLAN.
  - ALL PENETRATIONS THROUGH RATED CONSTRUCTION SYSTEMS SHALL USE A U.L. APPROVED METHODS.

#### PLUMBING WORK

- REQUIREMENTS
  - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.
  - SEPARATE PLANS SHALL BE SUBMITTED BY CONTRACTOR FOR APPROVAL AS THE PLUMBING WORK IS NOT A PART OF THIS PLAN.
  - ALL PENETRATIONS THROUGH RATED CONSTRUCTION SYSTEMS SHALL USE A U.L. APPROVED METHOD.

#### ELECTRICAL WORK

- REQUIREMENTS
  - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.
  - SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED TO STATE AND LOCAL AGENCIES BY CONTRACTOR FOR APPROVAL AS THE ELECTRICAL WORK IS NOT A PART OF THIS PLAN.
  - ALL PENETRATIONS THROUGH RATED CONSTRUCTION SYSTEMS SHALL BE OF U.L. APPROVED METHODS.
- AUTOMATIC SMOKE DETECTION SYSTEM (NOTE: DO NOT INCLUDE UNLESS REQUIRED)
  - SMOKE DETECTION SYSTEM SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, AND N.F.P.A. STANDARDS 71, 72B, 72C, 72D, 72E.
  - AUTOMATIC DETECTION PRODUCTS SHALL BE AN APPROVED SYSTEM, MEETING FEDERAL, STATE AND LOCAL CODES.
  - ALL SMOKE DETECTORS SHALL BE BOTH AUDIBLE AND VISUAL AS REQUIRED BY THE A.D.A.

### SHEET INDEX

- GENERAL
  - G1.0 COVER PAGE
  - G1.2 PRESENTATION
- CIVIL
  - C1.01 EXISTING CONDITIONS
  - C1.02 SITE LAYOUT
  - C1.03 GRADING & EROSION CONTROL
- ARCHITECTURAL
  - A1.1 MAIN LEVEL PLAN
  - A2.0 EXTERIOR ELEVATIONS

### REVISIONS

No.	DATE	DESCRIPTION
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### SITE PLAN APPROVAL

SHEET TITLE:	COVER PAGE
JOB NUMBER:	25160
ISSUED DATE:	04.17.2026
DRAWN BY:	bec
SHEET NUMBER:	G1.0

G1.0



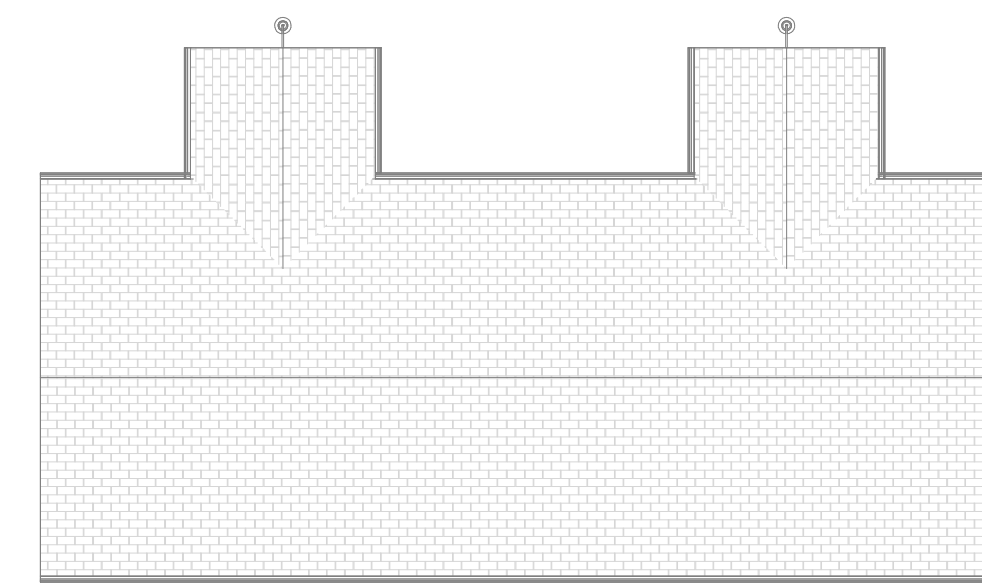
4 NORTHWEST



3 NORTHEAST



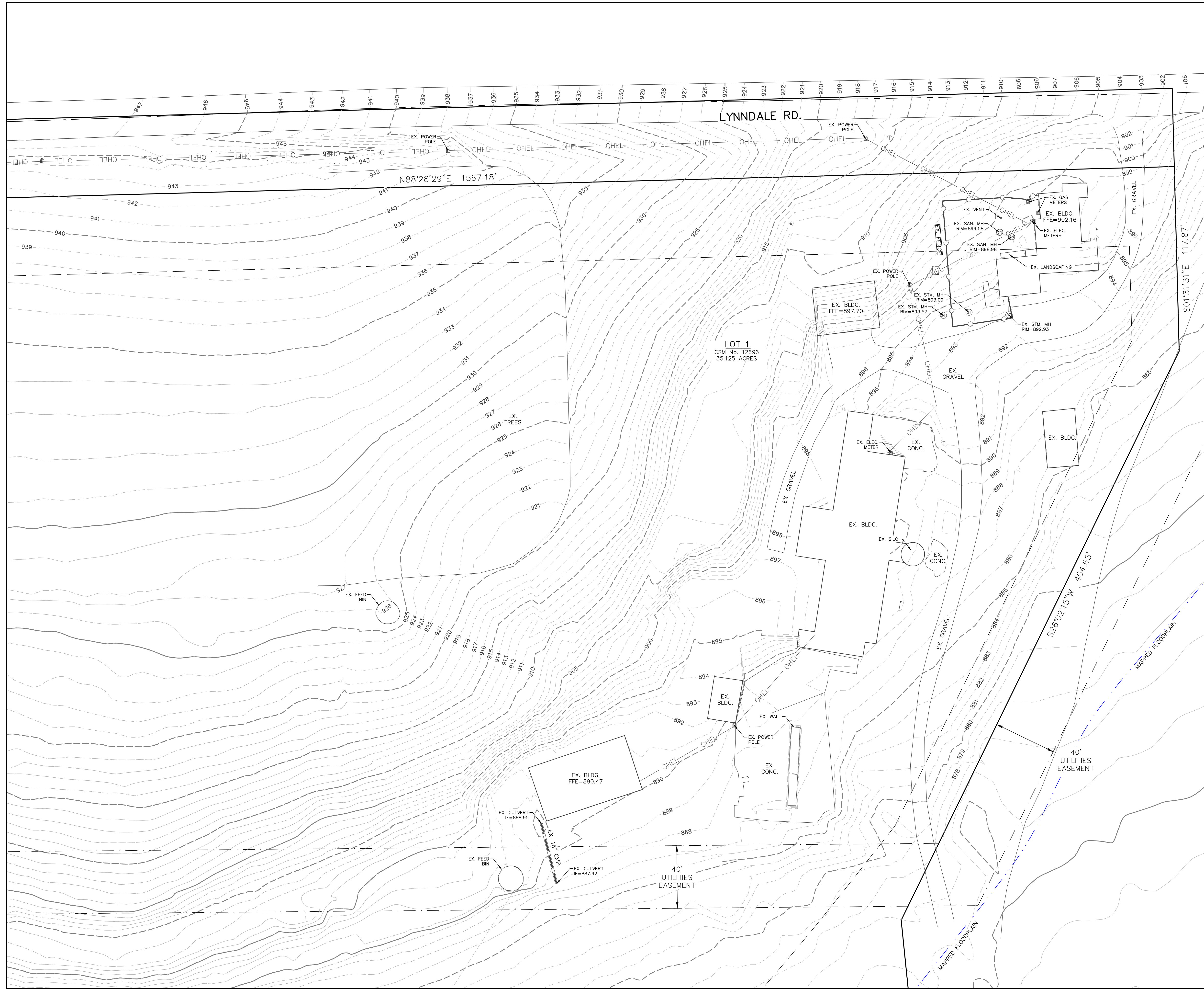
2 SOUTHEAST



5 SITE - ROOF LEVEL  
3/32" = 1'-0"



1 SOUTHWEST



**LEGEND:**

- 896 --- EXISTING MINOR CONTOUR.
- 895 --- EXISTING MAJOR CONTOUR.
- OHEL — OVERHEAD ELECTRIC LINE.
- BuEl — BURIED ELECTRIC LINE.
- BuTel — BURIED TELEPHONE LINE.
- FO — FIBER OPTIC LINE.
- GAS — GAS LINE.
- SAN — SANITARY SEWER MAIN OR LATERAL.
- WAT — WATER MAIN OR SERVICE.
- ST — STORM SEWER LINE.
- [ELEC] — ELECTRIC METER.
- [GAS] — GAS METER.
- [GAS V] — GAS VALVE.
- [FIRE] — FIRE HYDRANT.
- [PP] — POWER POLE.
- [SN] — SANITARY SEWER MANHOLE.
- [ST] — STORM SEWER MANHOLE.
- [S] — STORM SEWER INLET.
- [T] — TELEPHONE PEDESTAL.
- [TRAN] — TRANSFORMER.
- [W] — WATER VALVE.

REVISIONS:	
NO.	DESCRIPTION

**PSE**  
 PARISH SURVEY & ENGINEERING  
 122 Wisconsin Street, West Bend, WI 53095  
 262.346.7800 www.parishse.com

PROJECT TITLE:  
**COLD NOSES SANCTUARY LLC.  
 N47W26699 LYNDALE RD.  
 PEWAUKEE, WI 53072**

PLAN TITLE:  
**EXISTING  
 CONDITIONS  
 PLAN**

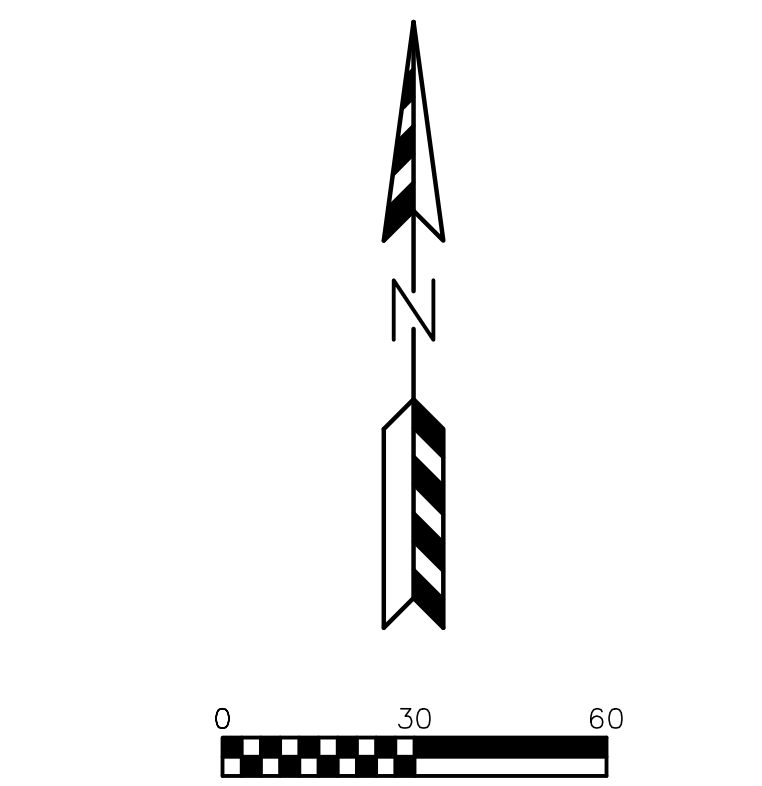
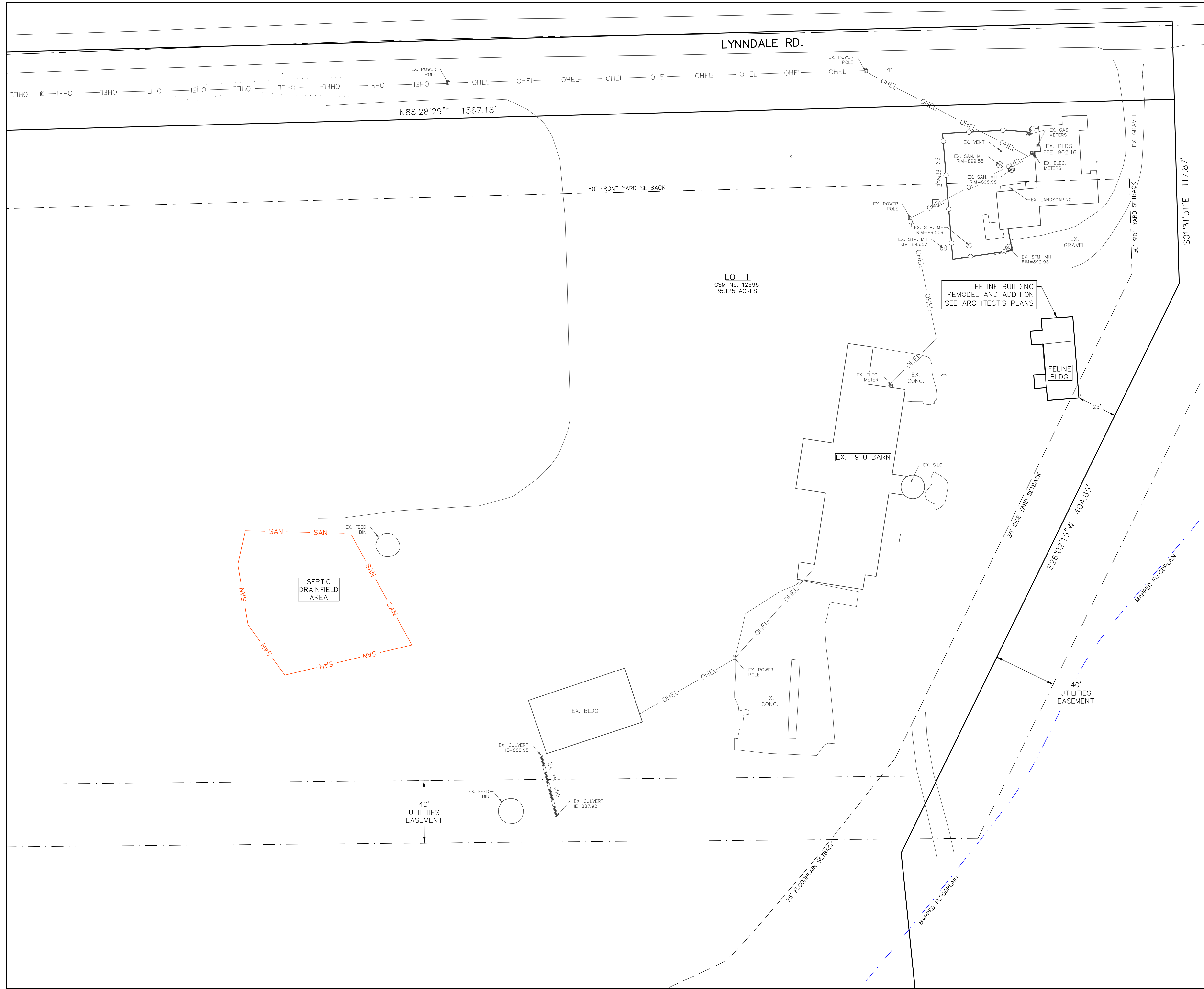
DRAWN BY:  
**WWS**  
 DESIGNED BY:  
**EPN**  
 CHECKED BY:  
**KJP**

PLAN DATE:  
**4/16/2026**

PROJECT NO:  
**\SR-63-25\**

**BID SET**

SHEET NO:  
**C1.01**



- LEGEND:**
- 896 --- EXISTING MINOR CONTOUR.
  - 895 --- EXISTING MAJOR CONTOUR.
  - OHEL — OVERHEAD ELECTRIC LINE.
  - BuEl — BURIED ELECTRIC LINE.
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  - (GAS) — GAS METER.
  - (GAS) — GAS VALVE.
  - (FH) — FIRE HYDRANT.
  - (P) — POWER POLE.
  - (SN) — SANITARY SEWER MANHOLE.
  - (ST) — STORM SEWER MANHOLE.
  - (S) — STORM SEWER INLET.
  - (T) — TELEPHONE PEDESTAL.
  - (TRAN) — TRANSFORMER.
  - (W) — WATER VALVE.

REVISIONS:	
NO.	DESCRIPTION

**PSE**  
 PARISH SURVEY & ENGINEERING  
 122 Wisconsin Street, West Bend, WI 53095  
 262.346.7800 www.parishse.com

PROJECT TITLE:  
**COLD NOSES SANCTUARY LLC.  
 N47W26699 LYNDALE RD.  
 PEWAUKEE, WI 53072**

PLAN TITLE:  
**PHASE 1 SITE LAYOUT**

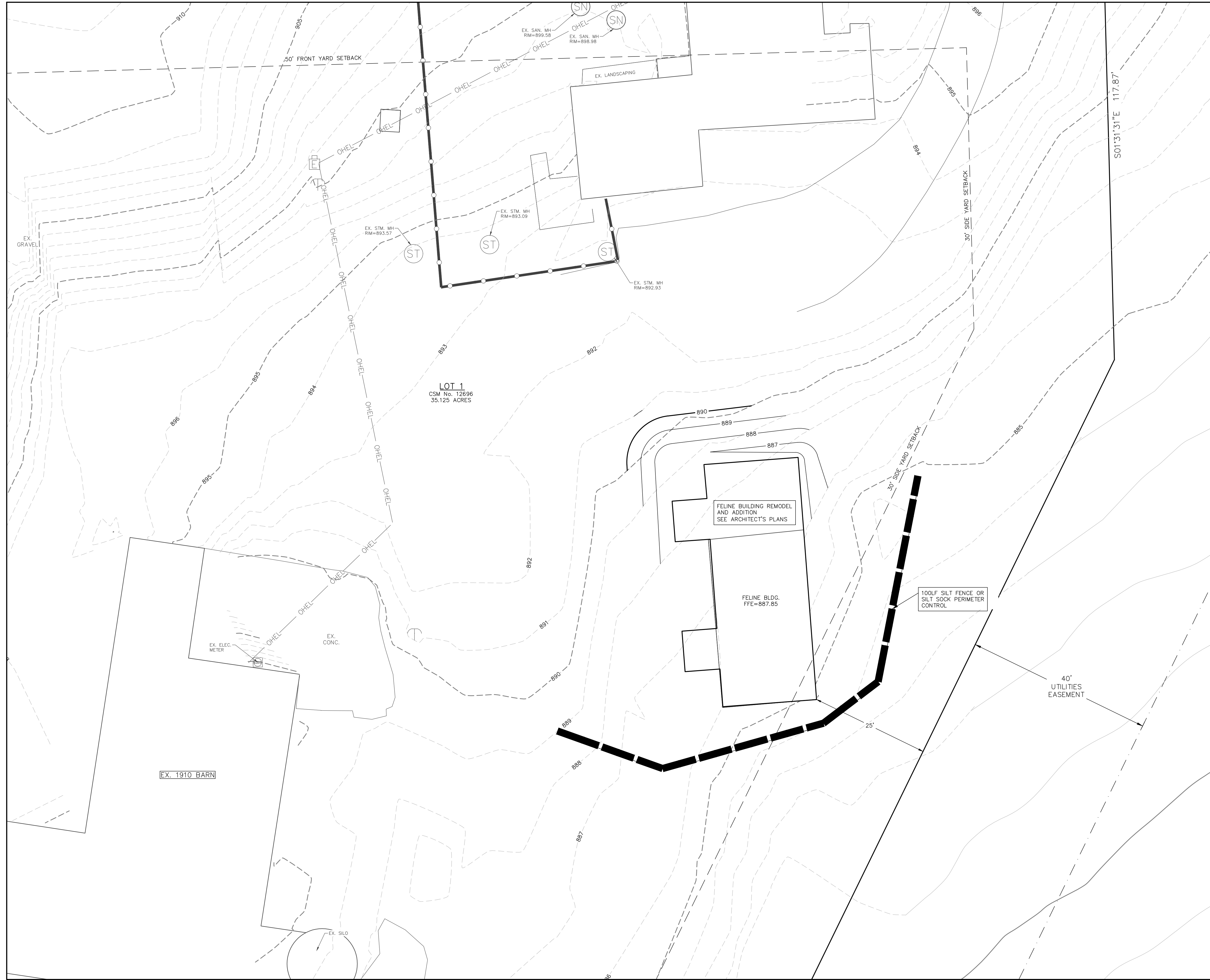
DRAWN BY:  
**EPN**  
 DESIGNED BY:  
**EPN**  
 CHECKED BY:  
**KJP**

PLAN DATE:  
**4/16/2026**

PROJECT NO:  
**ISR-63-25**

**BID SET**

SHEET NO:  
**C1.02**



  
  
**DIGGERS HOTLINE**  
 Dial 811 or (800)242-8511  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

- LEGEND:**
- - - 886 - - - EXISTING MINOR CONTOUR.
  - - - 885 - - - EXISTING MAJOR CONTOUR.
  - - - 891 - - - PROPOSED MINOR CONTOUR.
  - - - 890 - - - PROPOSED MAJOR CONTOUR.
  - EX 934.23 - EXISTING SPOT ELEVATION.
  - 934.23 - PROPOSED CURB FLANGE ELEVATION.
  - TC 934.23 - PROPOSED TOP OF CURB ELEVATION.
  - SW 934.23 - PROPOSED SIDEWALK ELEVATION.
  - EP 934.23 - PROPOSED EDGE OF PAVEMENT ELEVATION.
  - EXP 934.23 - PROPOSED BUILDING EXPOSURE ELEVATION.
  - FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
  - - - - - PROPOSED STORM SEWER.
  - - - - - EXISTING STORM SEWER.
  - - - - - INSTALL WSDOT TYPE D INLET PROTECTION.
  - - - - - INSTALL SILT FENCE.
  - - - - - INSTALL DITCH CHECK.
  - - - - - DRAINAGE ARROW.

- STAGES OF CONSTRUCTION TIME SCHEDULE:**
- MAY 1, 2026**
1. INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE CITY OF PEWAUKEE SHALL HAVE A TRACKING PAD.
- MAY 15, 2026 - SEPTEMBER 1, 2026**
2. STRIP TOPSOIL WITHIN THE LIMITS OF THE WET DETENTION PONDS AND CONSTRUCT A TEMPORARY STOCKPILE, TO BE SEEDED AND SILT FENCE PLACED AROUND THE PERIMETER.
  3. STRIP REMAINING TOPSOIL WITHIN GRADING LIMITS AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES PAGE".
  4. BEGIN PROPOSED SITE GRADING - RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.
  5. CONSTRUCT BUILDING PAD AND BUILDINGS.
  6. CONTINUE SITE GRADING.
  7. APPLY FINAL STABILIZATION TO ENTIRE SITE.
- SEPTEMBER 2 - 15, 2026**
- ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15. ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15 (REFER TO DNR STANDARD 1059.)
- STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO TEMPORARY SEEDING IN AREAS WITHOUT EROSION CONTROL MAT. PLACE PAM IN ACCORDANCE WITH MNR TECHNICAL STANDARD 1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT INSTALLED IN PREPARATION OF WINTER CONDITIONS.
- SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED LANDSCAPE AREAS AND RESTORE.
- CONTRACTOR MAY MODIFY SEQUENCING AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS. NOTIFY CITY OF PEWAUKEE PRIOR TO CHANGE.
- AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPS SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE THE MAXIMUM EXTENT PRACTICABLE
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL OF BMPS.

NO.	DATE	DESCRIPTION

  
**PSE**  
 PARISH SURVEY & ENGINEERING  
 122 Wisconsin Street, West Bend, WI 53095  
 262.346.7800 www.parishse.com

PROJECT TITLE:  
**COLD NOSES SANCTUARY LLC.  
 N47W26699 LYNDALE RD.  
 PEWAUKEE, WI 53072**

PLAN TITLE:  
**PHASE 1  
 GRADING AND  
 EROSION  
 CONTROL**

DRAWN BY:  
**EPN**

DESIGNED BY:  
**EPN**

CHECKED BY:  
**KJP**

PLAN DATE:  
**4/23/2026**

PROJECT NO:  
**ISR-63-251**

**BID SET**

SHEET NO:  
**C1.03**

**GENERAL PLAN NOTES:**

- SEE SHEET A5.0 FOR ALL TYPICAL MOUNTING HEIGHTS AND DOOR CLEARANCES.
- NOT USED

**GENERAL DEMOLITION NOTES:**

ALL DEMOLITION BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.

GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. LOCATIONS OF WALLS, DOORS, AND OTHER ITEMS HAVE BEEN FIELD MEASURED FOR GENERAL LAYOUT ONLY. REPORT ANY DISCREPANCIES TO STRUCRITE, INC. FOR CLARIFICATION PRIOR TO THE START OF WORK.

IF FLOORS, WALLS, OR CEILINGS ARE DAMAGED DURING REMOVAL THE CONTRACTOR RESPONSIBLE SHALL PATCH / REPAIR AS REQUIRED TO MATCH EXISTING OR NEW MATERIAL SURFACES.

AT ALL REMOVAL WORK, INCLUDING FLOORS, WALLS, DOORS, CEILINGS, ETC., PATCH ALL WORK AT REMOVAL & NEW CONNECTION. PAINT AS REQUIRED.

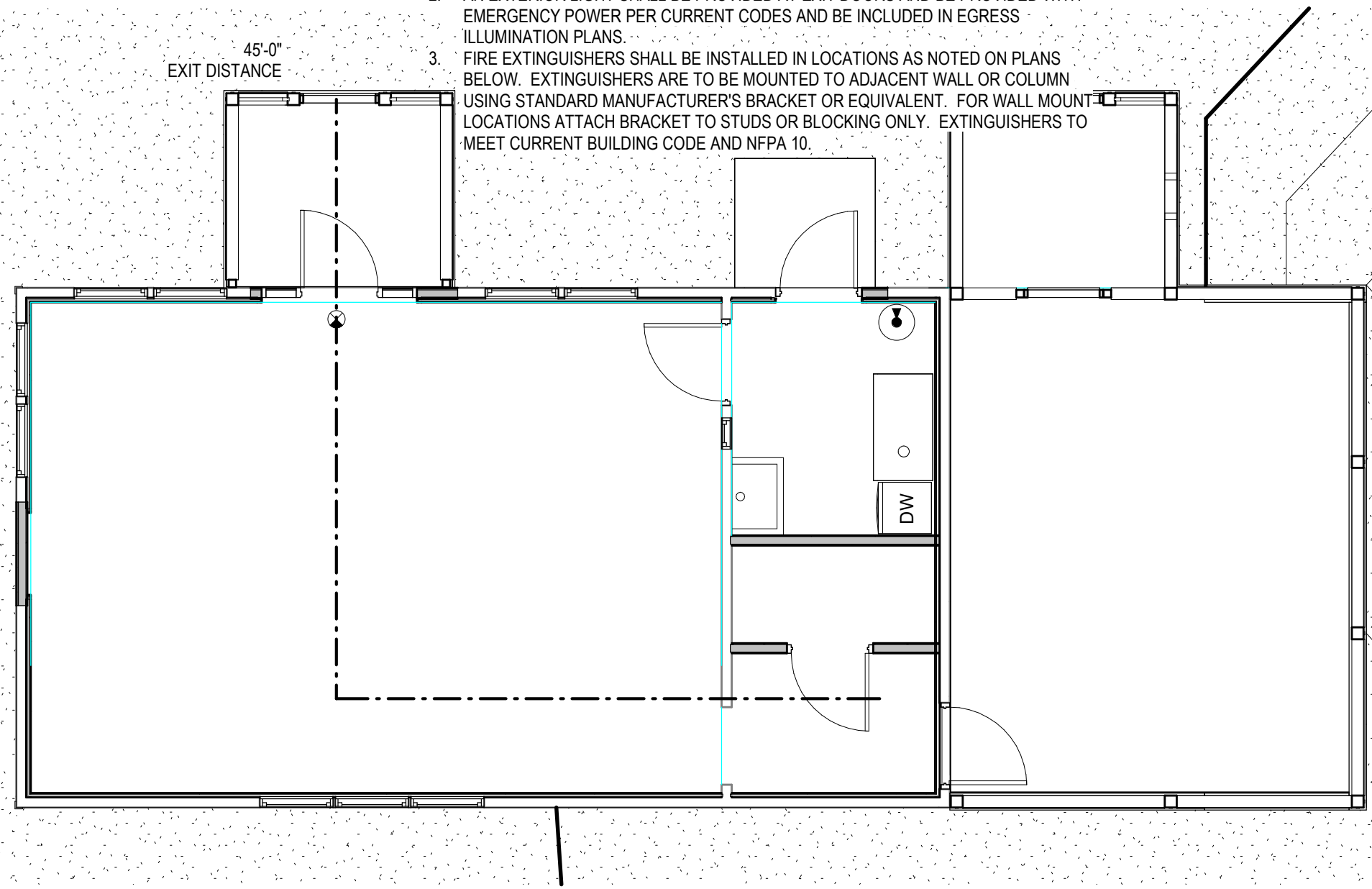
AT MECHANICAL WORK, WHERE REMOVAL OF PIPES, CONDUIT, DUCTWORK, ETC. HAS LEFT AN OPENING OR HOLD THROUGH THE WALL, FLOOR, OR CEILING, FILL & PATCH OPENING TO MATCH THE ADJACENT CONSTRUCTION AND FINISH AS REQUIRED.

BEFORE COMMENCING WITH DEMOLITION WORK, REVIEW W/ OWNER WHICH ITEMS ARE TO BE SALVAGED AND TURNED OVER THE OWNER, IN ADDITION TO THOSE LISTED ON THE PLANS. ANY ITEM NOT WANTED BY THE OWNER SHALL BE REMOVED FROM THE JOB SITE BY THE GENERAL CONTRACTOR AND DISPOSED OF IN THE PROPER AND LEGAL MANNER.

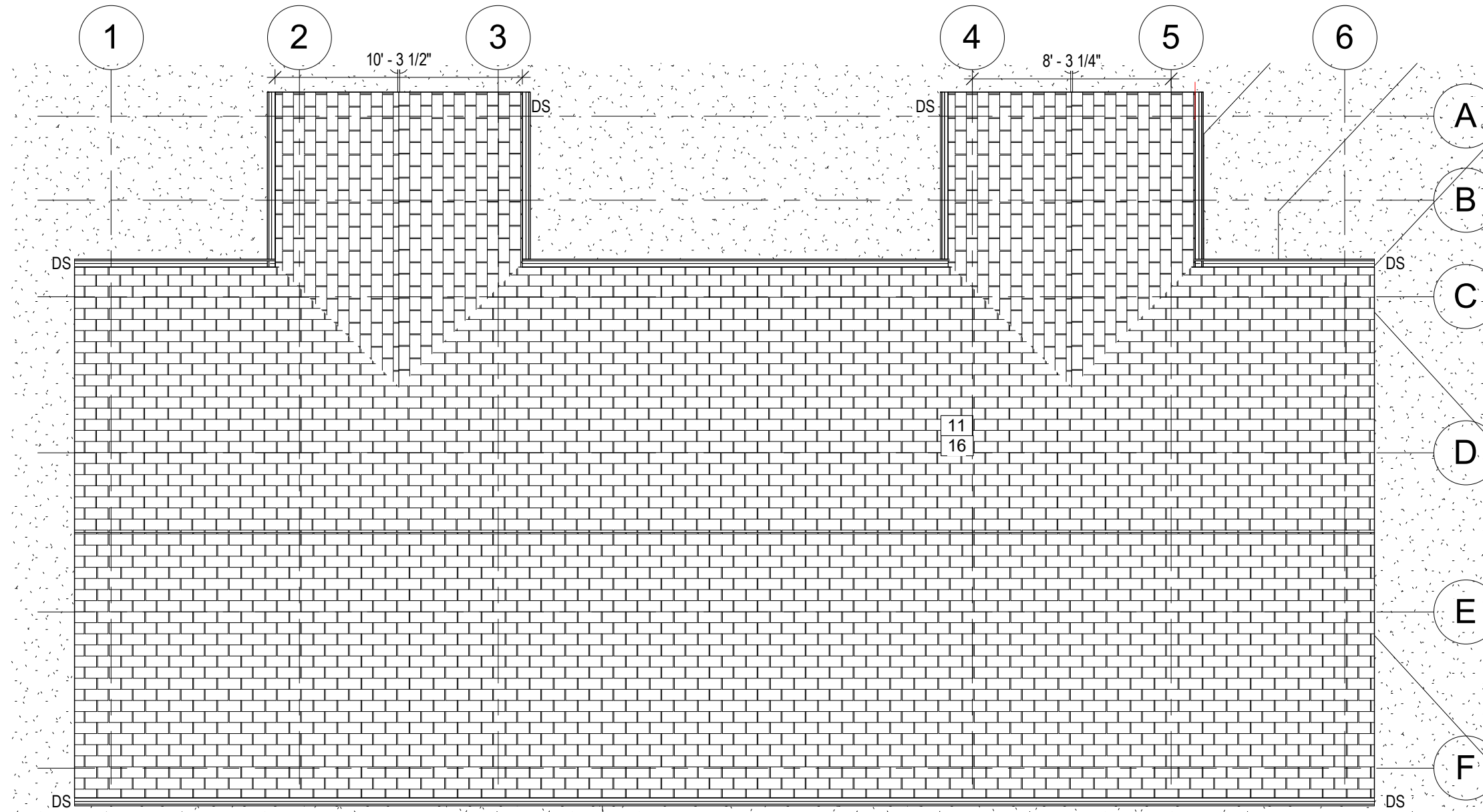
SEE MECHANICAL DRAWINGS FOR DESCRIPTION OF REQUIRED MECHANICAL DEMOLITIONS.

**LIFE SAFETY GENERAL NOTES:**

- MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED TO MEET CURRENT CODES. ELECTRICAL CONTRACTOR RESPONSIBLE FOR DESIGN AND SUBMITTAL TO STATE.
- AN EXTERIOR LIGHT SHALL BE PROVIDED AT EXIT DOORS AND BE PROVIDED WITH EMERGENCY POWER PER CURRENT CODES AND BE INCLUDED IN EGRESS ILLUMINATION PLANS.
- FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS NOTED ON PLANS BELOW. EXTINGUISHERS ARE TO BE MOUNTED TO ADJACENT WALL OR COLUMN USING STANDARD MANUFACTURER'S BRACKET OR EQUIVALENT. FOR WALL MOUNT LOCATIONS ATTACH BRACKET TO STUDS OR BLOCKING ONLY. EXTINGUISHERS TO MEET CURRENT BUILDING CODE AND NFPA 10.



3 1st Level - Life Safety Plan  
3/16" = 1'-0"



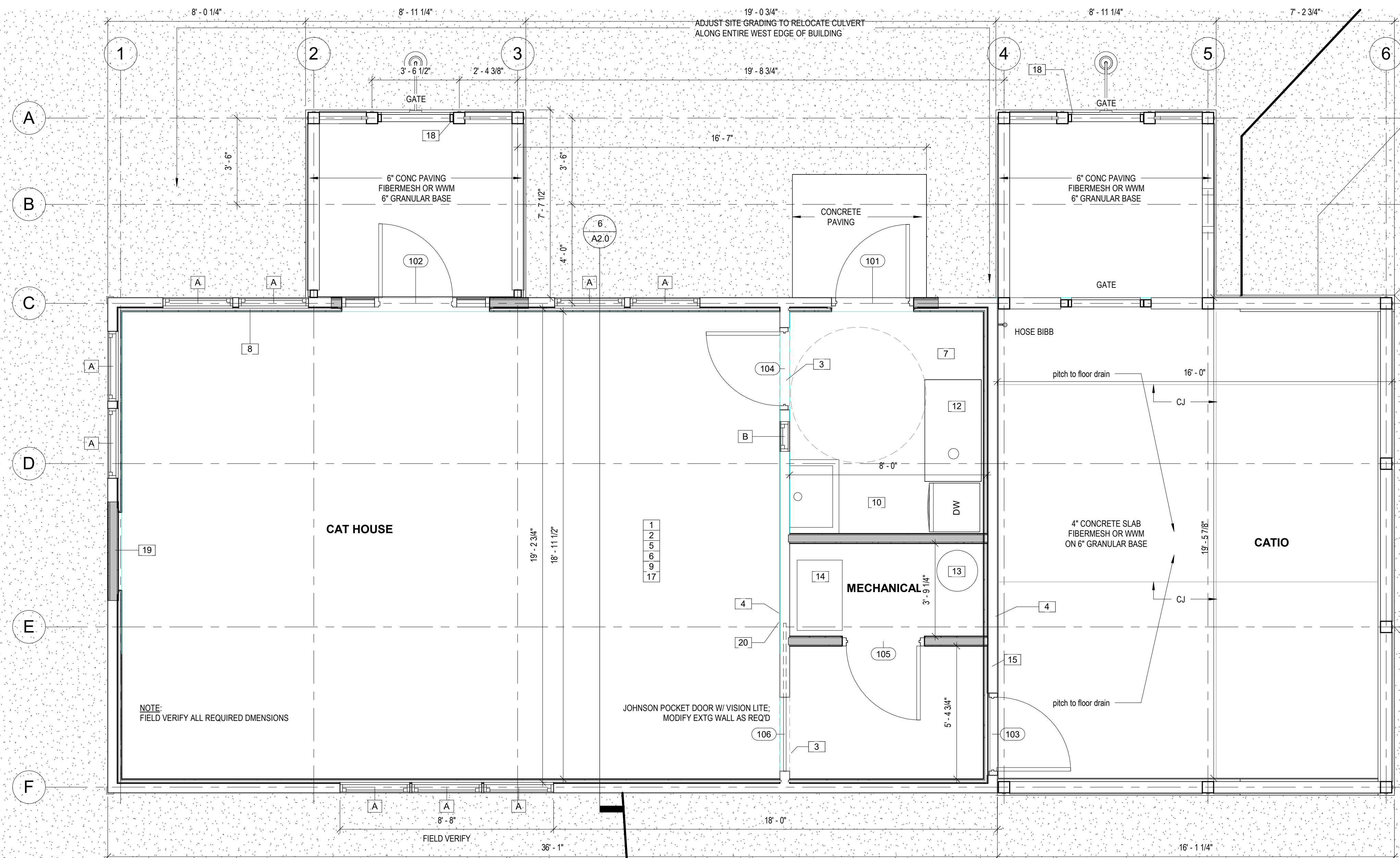
2 ROOF LEVEL  
3/16" = 1'-0"

**GENERAL ROOF PLAN NOTES:**

- ROOFING CONTRACTOR TO INSTALL ALL ROOFING AND INSULATION PER MANUFACTURER'S DETAILS AND SPECIFICATIONS (TYP). PROVIDE ALL REQUIRED MATERIALS AND ACCESSORIES FOR A COMPLETE, WATER-TIGHT SYSTEM.
- ROOFING CONTRACTOR TO PROVIDE AND INSTALL FLASHING FOR ALL ROOF PENETRATIONS PER ROOFMANUFACTURER'S REQUIREMENTS.
- ROOF PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
- SEE MECHANICAL DRAWINGS FOR LOCATIONS AND SIZE OF ALL ROOF PENETRATIONS AND CURBS REQUIRED FOR MECH. EQUIPMENT.
- COORDINATE ALL ROOF OPENINGS AND PENETRATIONS WITH PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS.
- ROOF-TOP EQUIPMENT NOT SHOWN. SEE MECHANICAL FOR ACTUAL EQUIPMENT AND LOCATIONS, TYPICAL.

-12" = INDICATES DIRECTION OF ROOF SLOPE; VERIFY AND MATCH EXISTING CONDITION

DS = DOWNSPOUT LOCATION



1 1st LEVEL  
3/8" = 1'-0"

KEY #	KEYNOTE TEXT
1	REMOVE INTERIOR FINISHES
2	REMOVE EXTERIOR SIDING, WINDOWS & DOORS
3	REMOVE CURB AT DOOR
4	INFILL WINDOW
5	VERIFY INTEGRITY OF FRAMED OPENINGS
6	NEW CEMENT-BD SIDING & EXTERIOR SHEATHING ON EXTG. WALL STUDS
7	REMOVE HYDRANT & DRAIN; INFILL FLOOR
8	3" S' BATT BETWEEN EXTG. STUDS, 1.5" RIGID INSUL BETWEEN NEW FURRING
9	NEW GYP BD WALLS & CEILING
10	REPLACE ATTIC ACCESS PANEL
11	REPLACE W/ NEW SHINGLE ROOF, GUTTER & DS
12	S.S. SINK/DRAINBOARD
13	WATER HEATER
14	FURNACE
15	PET DOOR BELOW
16	CONTINUOUS RIDGE VENT
17	EPOXY FLOOR FINISH
18	GATE CONTROL MEETS ACCESSIBILITY REQ. FROM EACH SIDE
19	INFILL DOOR
20	COORDINATE DOOR WITH RETURN AIR GRILLE OPENING

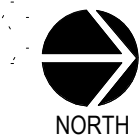
**Cold Noses Feline Facility**  
N47W26699 Lynndale Rd  
Pewaukee, WI

**REVISIONS**

No.	DATE	DESCRIPTION

**SITE PLAN APPROVAL**

SHEET TITLE:	MAIN LEVEL PLAN
JOB NUMBER:	25160
ISSUED DATE:	04.17.2026
DRAWN BY:	ks
SHEET NUMBER:	A1.1



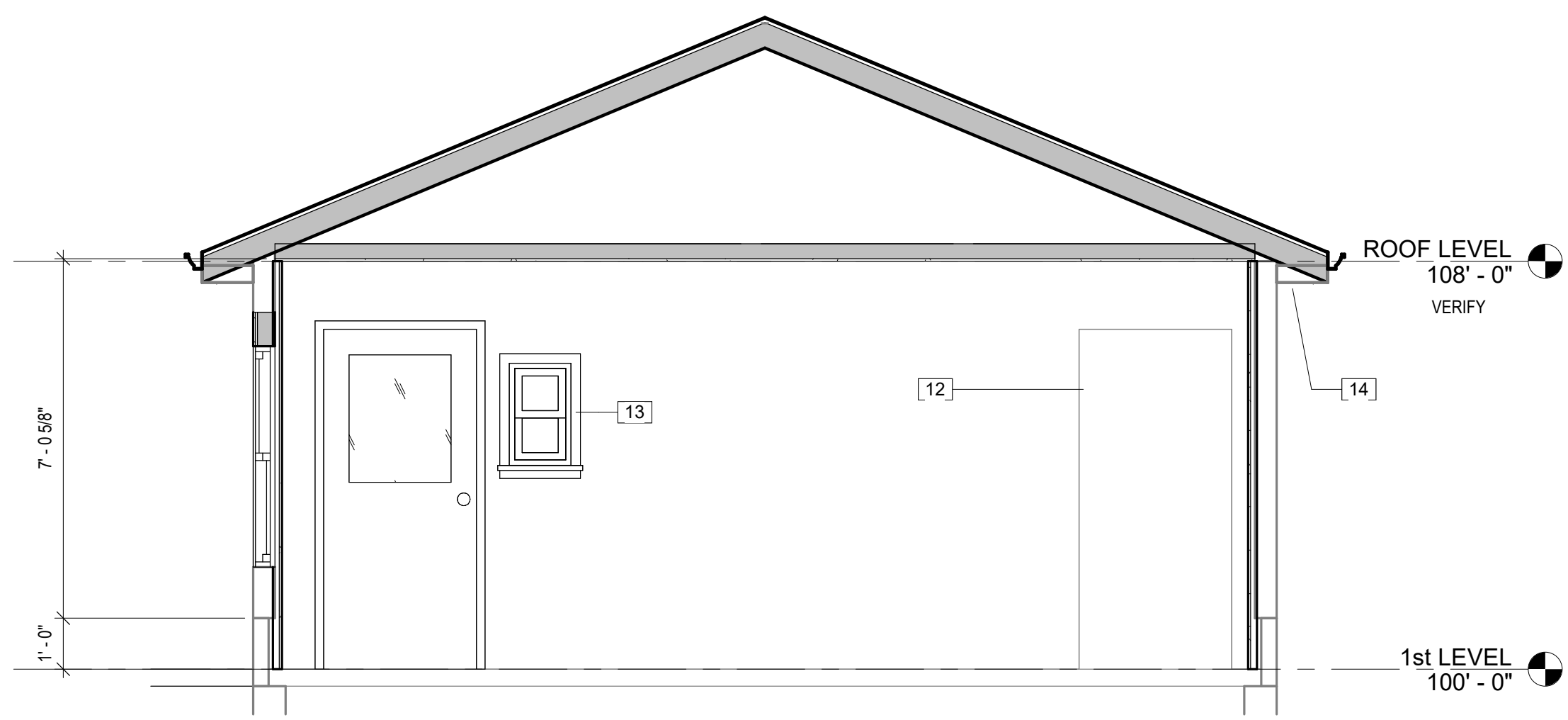
**A1.1**

**ELEVATION GENERAL NOTES:**

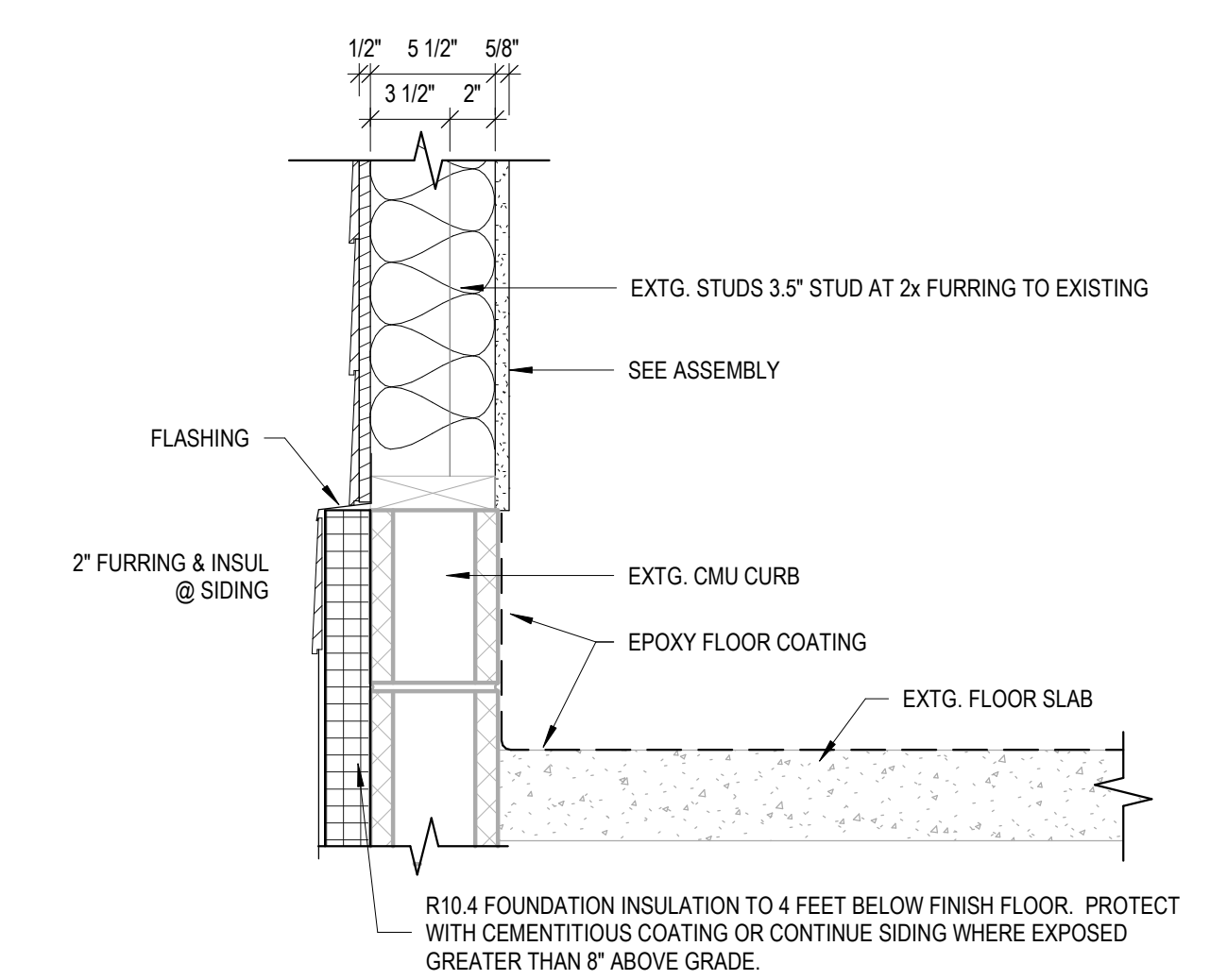
1. NOT USED

KEYNOTE LEGEND	
KEY #	KEYNOTE TEXT
1	REPLACE w/ NEW SHINGLE ROOF, GUTTER & DS
2	VERIFY INTEGRITY OF FRAMED OPENINGS
3	NEW CEMENT-BD SIDING & EXTERIOR SHEATHING ON EXTG. WALL STUDS
4	NEW FOUNDATION INSULATION ON ALL CMU; FURRING & SIDING ABOVE MTL FLASHING AT 8" ABOVE GRADE
5	EXTEND ROOF OVER DECK & ENTRANCE STOOP
6	VERIFY CONDITION OF FRAMING & SHEATHING
7	CONTINUOUS RIDGE VENT
8	STEP FLASHING & CONTINUE SIDING BELOW
9	INFILL WINDOW
10	INFILL DOOR
11	2x4 WALL, EAVE TO VESTIBULE ROOF
12	COORDINATE DOOR WITH RETURN AIR GRILLE OPENING
13	PASS-THRU WINDOW
14	LP CLOSED VENTED SOFFIT w/ BAFFLES IN EVERY CAVITY

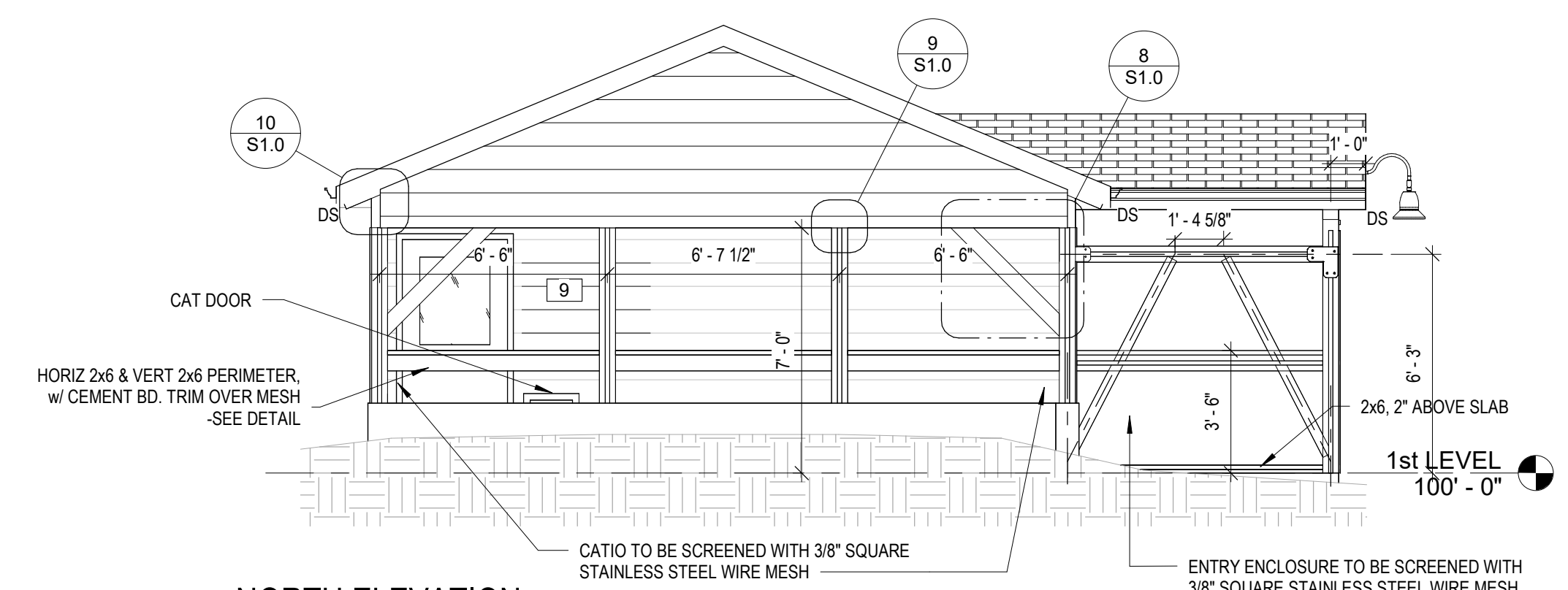
**Cold Noses Feline Facility**  
N47W26699 Lynndale Rd  
Pewaukee, WI



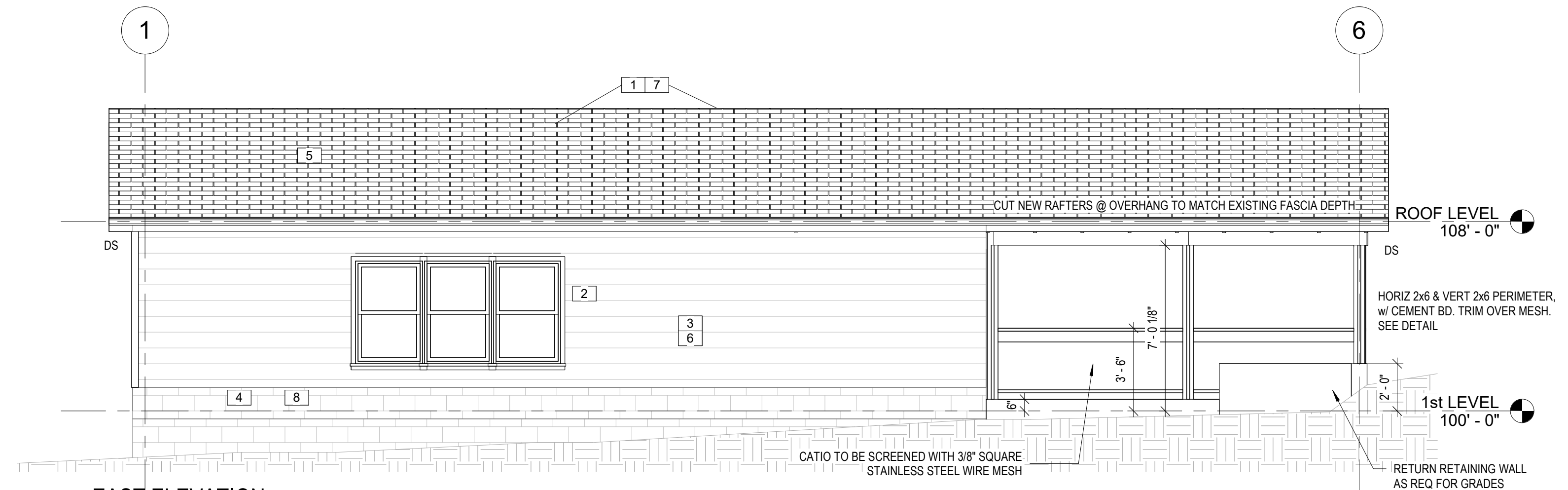
**6 SECTION E-W**  
3/8" = 1'-0"



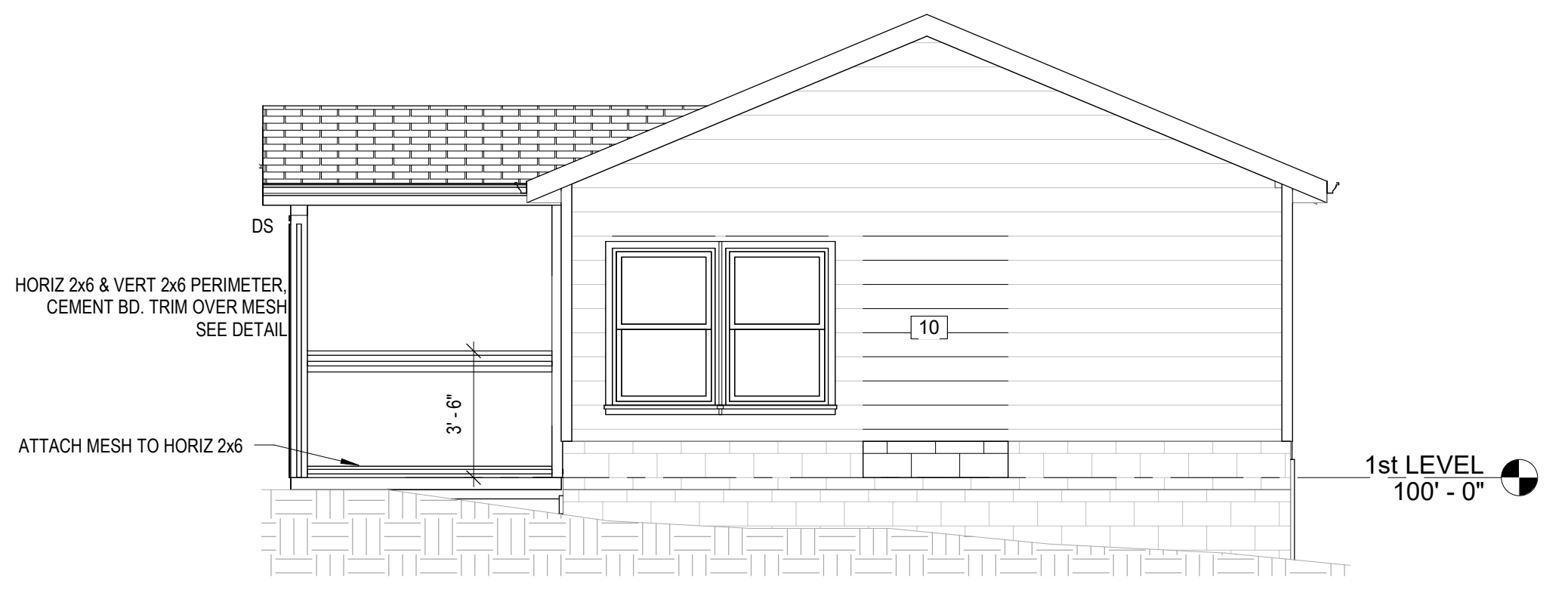
**5 WALL DETAIL**  
1 1/2" = 1'-0"



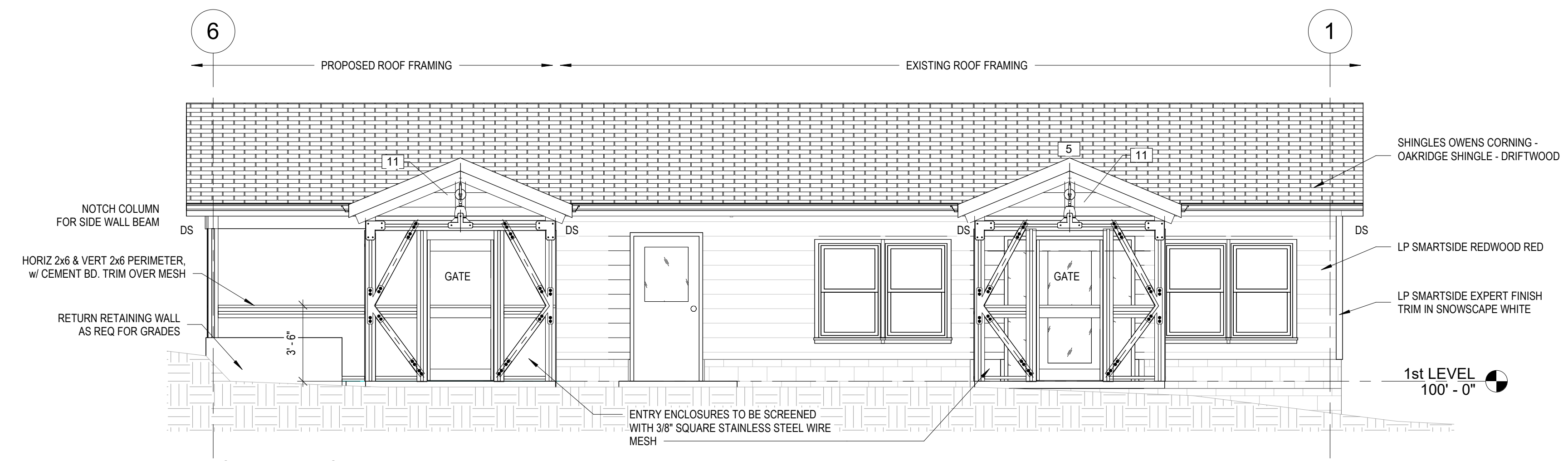
**4 NORTH ELEVATION**  
1/4" = 1'-0"



**3 EAST ELEVATION**  
1/4" = 1'-0"



**2 SOUTH ELEVATION**  
1/4" = 1'-0"



**1 WEST ELEVATION**  
1/4" = 1'-0"

REVISIONS		
No.	DATE	DESCRIPTION

**SITE PLAN APPROVAL**

SHEET TITLE:	EXTERIOR ELEVATIONS
JOB NUMBER:	25160
ISSUED DATE:	04.17.2026
DRAWN BY:	ks
SHEET NUMBER:	A2.0

**A2.0**