



Planning Department
W240 N3065 Pewaukee Road
Pewaukee WI 53072
Phone: 262-691-0770

**PLAN COMMISSION
MEETING NOTICE AND AGENDA
Thursday, January 15, 2026
6:00 PM**

Pewaukee City Hall Common Council Chambers
W240N3065 Pewaukee Road, Pewaukee, WI

1. Call to Order and Pledge of Allegiance
2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes
 - 2.1 August 21, 2025
 - 2.2 September 18, 2025
3. Items for Discussion and Action
 - 3.1 Discussion and Action Regarding the Site and Building Plans for Samuel and Megan Steiner for the Purpose of Constructing a Detached Garage and Detached 5,400 Square Foot Accessory Structure Upon Property Located at N43 W23700 Fieldstone Road (PWC 0870998004)
 - 3.2 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit to Allow for the Construction of a New Boathouse Upon Property Located at N27 W27074 Woodland Drive as Requested by Brian and Beth Bautz (PWC 0933119)
 - 3.3 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit to Allow for an Animal Sanctuary Upon Property Located at N47 W26699 Lynndale Road as Requested by Cold Noses Sanctuary (PWC 0882999001)
 - 3.4 Discussion and Action Regarding the Site and Building Plans for Border States for the Purpose of Locating an Eight-Foot Tall Fence With Barbed Wire Upon Property Located at W227 N2837 Duplainville Road (PWC 0914973)
 - 3.5 Discussion and Action Regarding the Site and Building Plans for American Transmission Company for the Purpose of Locating Two Chiller Plants and Mechanical Equipment Adjacent to the Southwest Corner of the Building Located at W234 N2000 Ridgeview Parkway Court (PWC 0953983)
 - 3.6 Discussion and Action Regarding the Site and Building Plans for Terex for the Purpose of Installing Overhead Doors and an Overhead Lift Upon Property Located at N4 W22610 Bluemound Road (PWC 0963999016)
4. Adjournment

Ami Hurd
Deputy Clerk
Community Development Coordinator
January 9, 2026

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum at the above stated meeting. No action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner/Community Development Director Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

In attendance:

Mayor S. Bierce, Alderwoman C. Brown, J. Endl, D. Kiser, D. Linsmeier, and A. Schoenemann.

Also in attendance:

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, and Department of Public Works Director M. Wagner.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 6:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes

2.1 November 21, 2024

2.2 January 16, 2025

A motion was made and seconded (C. Brown, D. Linsmeier) to approve the November 21, 2024 and January 16, 2025 Plan Commission meeting minutes. Motion Passed: 5-For, 0-Against, 1-Abstain (D. Kiser).

3. Conceptual Review

3.1 Discussion Regarding a Conceptual Review Application for a Pre-Preliminary Plat for a Single-Family Residential Subdivision Development Upon Property Located at N12 W26506 Golf Road, as Requested by Veridian Homes, LLC (PWC 0944994)

Mr. Fuchs noted this was for the single-family portion of the Pewaukee Golf Club redevelopment. The plat includes 147 lots that range in size from 9,125 square feet to 42,297 square feet. The Planned Unit Development standards would allow a lot size of 9,000 square feet versus the typical Rs-6 District lot size of 12,500 square feet. There are also reduced setback options for the front and rear yards. Mr. Fuchs pointed out that the staff report discussed the option of sidewalks, due to the concerns and complaints made regarding traffic in existing subdivisions.

Ben Lang with Veridian Homes introduced himself and his team and gave some background about the company. He noted that they were under contract for Lot 2 and Lot 3 of the CSM that was approved, which amounted to approximately 75 acres. They are proposing 147 homes with diverse lot sizes and a number of different options for buyers.

Chairman Bierce felt this subdivision would be exactly like all of the other subdivisions that have been built in the City, and he felt this subdivision was not for people who work for a living.

Mr. Lang then discussed a Veridian subdivision previously completed in Dane County and discussed its housing options. He noted the homes that were built by Veridian in the 1990's are selling for about the same amount as the homes they are currently building today. Mr. Lang noted that they wanted options for different family types. He stated they would be comfortable doing a subdivision that was first-time homebuyer-oriented blended in with estate-type, high-end homes in order to blend together and create a sense of community.

Chairman Bierce questioned what the reason would be to cram in as many houses as possible. He questioned what would be wrong with building smaller houses.

Commissioner Brown felt the City has always looked for high-quality developments and there has always been a standard. She was unsure if building smaller homes would fit that standard, but she mentioned there was not enough to the homes and suggested adding things such as brickwork.

Discussion took place regarding the progression from rentals to home ownership.

Commissioner Schoenemann did not believe it was a reality to build that cheap of a home for \$400,000. She noted that infrastructure and building costs continue to rise and margins are low. She mentioned that multiple communities were trying to develop problems to fix the housing crunch, and she did not believe the answer was trying to jam in multiple lots.

Commissioner Brown suggested the applicant come back to the Plan Commission to show the variation in the neighborhood to see what it would look like. She also suggested having sidewalks due to the potential density of the subdivision and she felt the residents would be safer with them.

Discussion then took place regarding the sidewalks as relates to snow clearing and long-term maintenance. Ms. Wagner noted there was a wide variation amongst municipalities as to their sidewalk policies. Mr. Lang cautioned that it could become a challenge for the Homeowner's Association, specifically with HOA fees getting too high.

Commissioner Kiser disagreed and stated he would stay away from sidewalks. He suggested widening the main thoroughfare so that there could be a designated walking lane on both sides of the road. He questioned who would maintain the sidewalks and felt a multi-use path would be easier.

Commissioner Brown referred to the western area and suggested having a path or opening so that people could walk down the street to get to that park area. She felt it was jam packed with homes, and she did not want someone to have to walk between houses. Commissioner Brown also suggested signage directing people how to get there.

Commissioner Schoenemann felt the subdivision looked too dense with houses when first entering and she felt there was no relief throughout the entire area. Mr. Lang felt the density was a product of the lot sizes. He referred to the homes backing up to the west side and noted that they would have really nice views, and it would not feel nearly as dense as the plan view

looked. Commissioner Schoenemann felt there could be a round about at the major intersections to slow people down, and she stated it seemed too basic.

Commissioner Brown suggested making the entrance bigger and adding an architectural piece to it.

Commissioner Schoenemann felt the subdivision needed sidewalks and felt it would be scary for any of the people that would choose to build a house on the road. She suggested sidewalks on both sides of the spine road and again suggested installing roundabouts. Commissioner Brown felt what they would lose in potential roundabouts they would gain with putting more houses on a smaller plot of land to make up for some of the lost density from the roundabouts.

Commissioner Kiser noted that he would not be in favor of smaller lot sizes.

No action was taken.

4. Adjournment

A motion was made and seconded (C. Brown, D. Kiser) to adjourn the meeting at 7:14pm.

Motion Passed: 6-For, 0-Against.

Respectfully Submitted

Ami Hurd
Deputy Clerk/
Community Development Coordinator

In attendance:

Mayor S. Bierce, Alderwoman C. Brown, J. Endl, D. Kiser, D. Linsmeier, A. Schoenemann, and S. Sullivan.

Also in attendance:

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, Department of Public Works Director M. Wagner, and Deputy Clerk/Community Development Coordinator A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 6:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes

2.1 February 20, 2025

A motion was made and seconded (D. Linsmeier, D. Kiser) to approve the February 20th, 2025 Plan Commission meeting minutes. Motion Passed: 7-For, 0-Against.

2.2 April 17, 2025

A motion was made and seconded (D. Linsmeier, D. Kiser) to approve the April 17th, 2025 Plan Commission meeting minutes. Motion Passed: 6-For, 0-Against, 1-Abstain (C. Brown).

3. Mitigation Plans

3.1 Discussion and Action Regarding a Mitigation Plan for the William and Beth Redmond Residence Located at N37 W26697 Kopmeier Drive (PWC 0894030)

Ms. Wagner stated this was a revision to a previous mitigation plan. The homeowners added some additional impervious area but still qualified and were meeting the City's requirements. The pond was shifted to accommodate the new area and Ms. Wagner recommended approval.

A motion was made and seconded (D. Linsmeier, D. Kiser) to approve the Mitigation Plan for the William and Beth Redmond residence. Motion Passed: 7-For, 0-Against.

3.2 Discussion and Action Regarding a Mitigation Plan for the Rebecca Krueger Residence Located at N27 W27128 Woodland Drive (PWC 0933126)

Ms. Wagner stated the lot was less than 10,000 square feet, so they would be allowed 30 percent impervious surface, and up to the maximum of 35 percent with mitigation. The residence was at 32.88 percent for the lot, and the mitigation plan would meet the requirements set forth in the City's ordinance, so Ms. Wagner recommended approval.

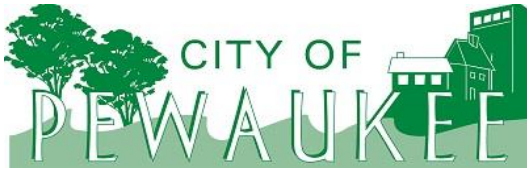
A motion was made and seconded (D. Linsmeier, S. Sullivan) to approve the Mitigation Plan for the Rebecca Krueger residence. Motion Passed: 7-For, 0-Against.

4. Adjournment

A motion was made and seconded (D. Kiser, S. Sullivan) to adjourn the meeting at 6:03pm.
Motion Passed: 7-For, 0-Against.

Respectfully Submitted

Ami Hurd
Deputy Clerk/
Community Development Coordinator



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of January 15, 2026

Date: January 7, 2026

Project Name: Steiner Site & Building Plan Review Application

Project Address/Tax Key No.: N43W23700 Fieldstone Road / PWC 0870998004

Applicant: Sam & Megan Steiner

Property Owner: Sam & Megan Steiner

Current Zoning: A-1 Agricultural District and LC Lowland Conservancy District

2050 Land Use Map Designation: Low-Medium Density Residential (1/2 Ac. - 2 Ac. / D.U.) and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas

Use of Surrounding Properties: Single-family residential and the Pewaukee Sports Complex to the north, Swan View subdivision to the south and west, and A-1 Agricultural zoned property to the east

Project Description/Analysis

The applicant filed a Site & Building Plan Review Application requesting approval of the construction of two accessory structures upon property located at N43W23700 Fieldstone Road, zoned A-1 Agricultural District. Note the A-1 District requires Plan Commission approval of a Site & Building Plan Review Application for all accessory structures located within agricultural districts with certain exceptions, which do not apply due to the square footage proposed.

The property owners recently submitted a building permit for a new home on the property and are proposing to construct accessory structures at the same time as the home. Note a building permit must be obtained and the home under construction prior to construction of accessory structures in accordance with Section 340-2.9 of the Zoning Code.

The subject property is approximately 52.71 acres. The property owners intend to construct a new home, the two accessory structures, and continue the agricultural use of the property.

The site plan includes a garage attached to the home by a port cochere. The zoning code states that structures attached by breezeways or like structures are considered detached. Building materials and colors of the garage will match that of the home.

The second accessory structure is located to the east of the home, is 5,400 square feet, and has a height of 16-feet. This structure will be utilized for both personal use as well as storage of materials and equipment to manage the property. This building consists of metal siding, which has been allowed previously on agricultural properties. For example, a similar building was approved in 2022 upon property located at W262N4521 Ryan Road.

Both buildings meet the A-1 District development standards, including building height and minimum setbacks. Elevations of both buildings are attached for Plan Commission consideration.

Staff Recommendation

Staff recommends approval of the proposed Site & Building Plan Review Application.

APPLICATION NARRATIVE FOR APPROVAL OF ACCESSORY STRUCTURES

Applicants seek approval of plans to construct accessory buildings on the property located at N43 W23700 Fieldstone Road (the "Property"). The Property, depicted on the attached GIS map, consists of 52.7091 acres and is zoned for Agricultural use.

Applicants intend to construct a primary residence on the Property, and the accessory structures will be constructed as part of the construction of the primary residence. The attached TRIO survey depicts the location of both the principal structure and the accessory structures. The property abuts Fieldstone Road and access to the residential structures, including the accessory structure, will be from Fieldstone Road. Although approval of the principal structure is not required, plans depicting the structure and floor plans are submitted with this application. The site plans include a driveway that will allow access by vehicles that might be needed for emergency services.

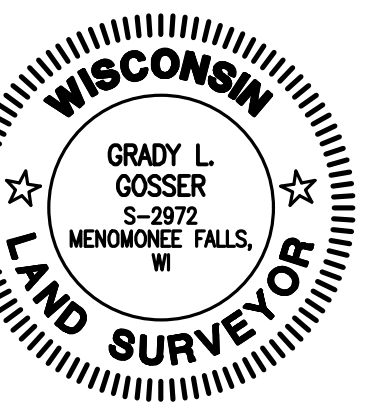
The detached garage structure will be connected to the primary residence by a roof overhang and is depicted in both the elevations and floor plans of the submitted home plans. The exterior of this structure will match the exterior materials being used on the primary residence. This structure will be used to store vehicles.

A rendering of the other accessory structure is appended to the Application. The exterior of the structure will be metal with cedar posts by the door entrances, as depicted on the attached image. The dimensions of the accessory structure are (60 feet wide x 90 feet long x 16 feet height) and the materials that will be used in construction are detailed in the Proposal of October 30, 2025, a copy of which is appended. Also appended is a depiction/rendering of the structure prepared by the contractor, Everlast Structures.

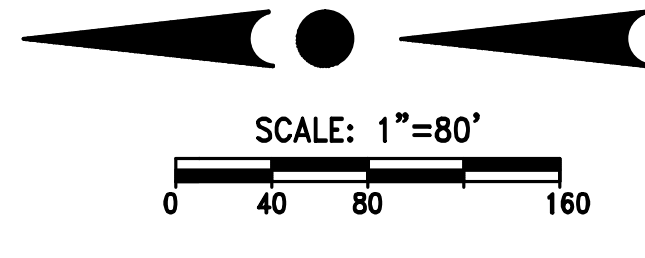
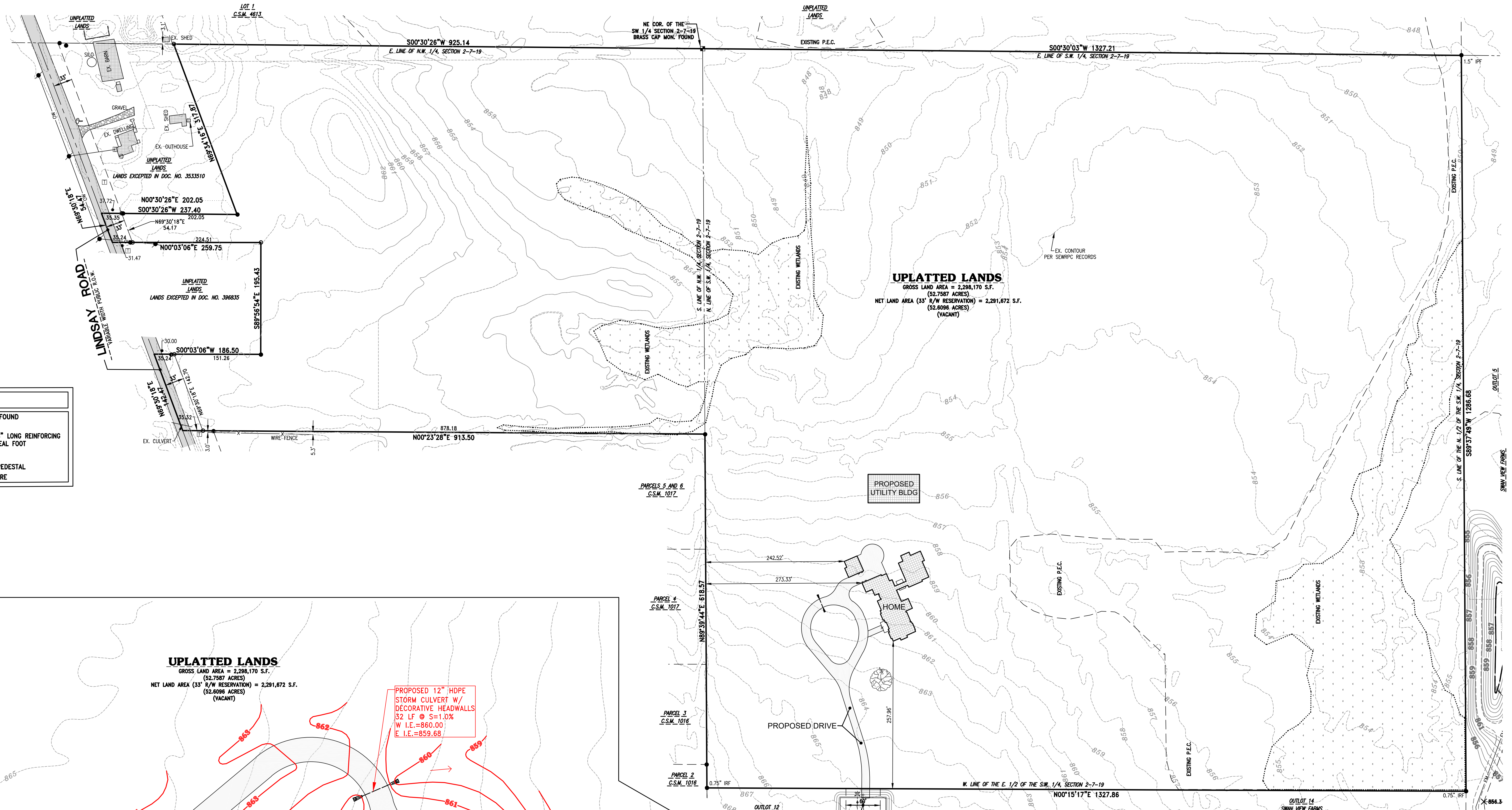
The accessory structure will be used to store UTV's needed for snow removal and property maintenance, tractor and implements, ATV's and lawn mowing and maintenance equipment. The accessory structure will also house sporting and exercise equipment consistent with sport courts allowed by Sec. 340-2.9 of the Zoning Code.

Applicant has neither any plan nor any intention to further develop the Property. Rather, it is Applicants' intention to maintain and use the Property in accord with the current agricultural zoning classification and the uses permitted by the Zoning Code for those zoning classifications.

PLAT OF SURVEY

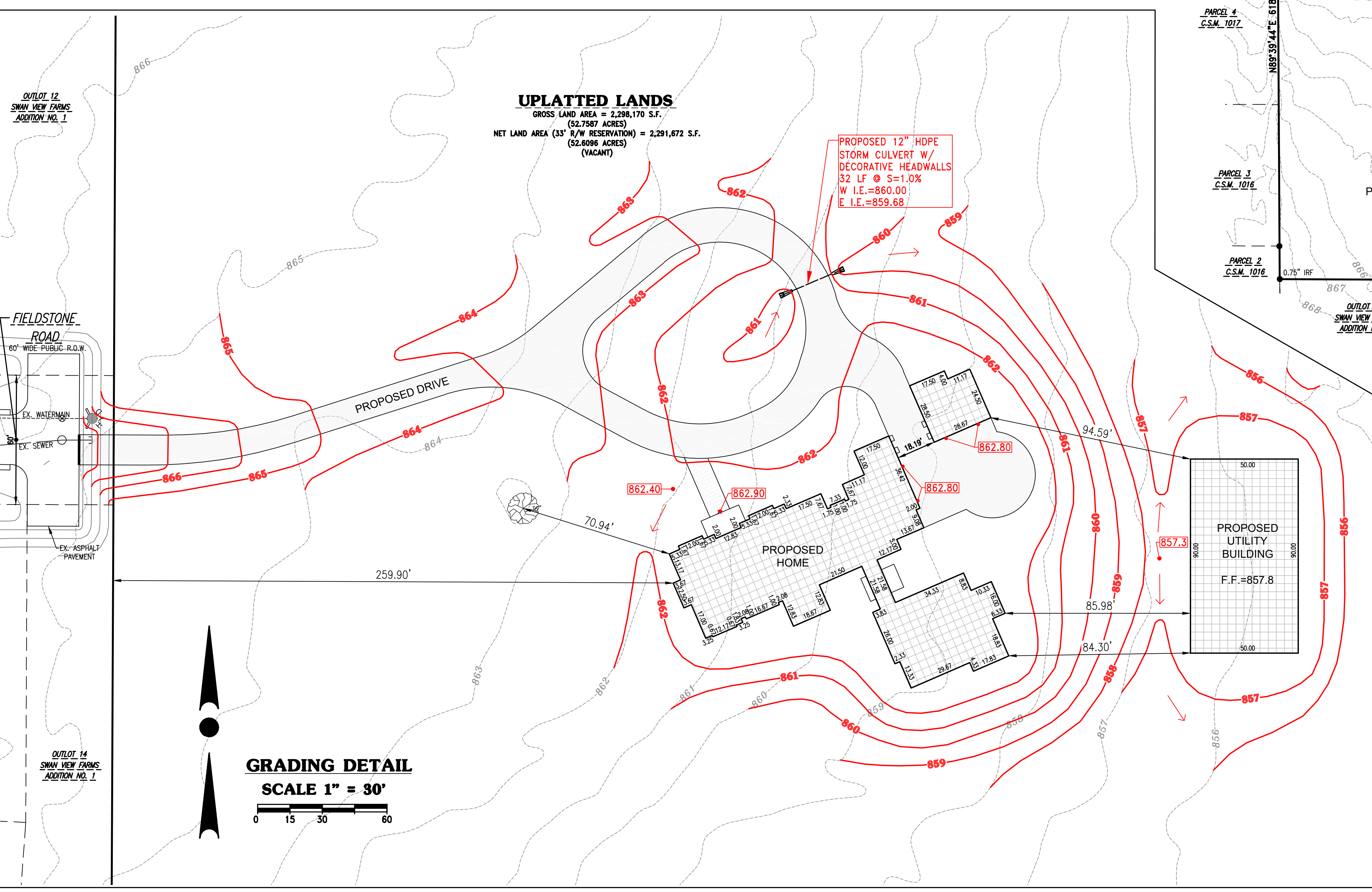


19035 W. CAPITOL DRIVE, SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
EMAIL: info@trioeng.com



LEGEND:

- INDICATES FOUND 1" IRON PIPE FOUND (UNLESS STATED OTHERWISE)
- INDICATES "SET" 0.750" O.D. X 18" LONG REINFORCING BAR WEIGHING 1.502 LBS. PER LINEAL FOOT
- ⚡ INDICATES EXISTING POWER POLE
- INDICATES EXISTING TELEPHONE PEDESTAL
- INDICATES EXISTING OVERHEAD WIRE



LEGAL DESCRIPTION:
Document Numbers 4705707, 4705708, and 4705709
The North East 1/4 of the South West 1/4 of Section 2, in Township 7 North, Range 19 East, containing 40 acres more or less.

Also all that certain piece and parcel of land being a part of the East 1/2 of the Northwest 1/4 of Section 2, Township 7 North, Range 19 East bounded and described as follows:
Beginning at a point of the common center of Section 2 thence West on said center line 674.52 feet to a post, thence North and parallel to the center subdivision line, 911.46 feet to a post in the middle of the public highway (Lindsay Road), thence North 70 degrees East along the middle of said highway 724.02 feet to a point in the center of Lindsay Road which point is distant South 0°33' West, 1,427 feet more or less from the North quarter section corner, thence South to the place of beginning. All in the City of Pewaukee, Waukesha County, Wisconsin. EXCEPTING THEREFROM the parcel described in Warranty Deed recorded on May 15, 1954 in Volume 633, on page 1, as Document No. 396835 and EXCEPTING THEREFROM, the parcel of land described in a Quit Claim deed recorded on December 19, 2007 as Document No. 3533510.

SUGGESTED CONSTRUCTION GRADES:

- PROPOSED YARD GRADE = 862.80
- PROPOSED TOP OF FOUNDATION WALL ELEV. = 863.47
- PROPOSED FIRST FLOOR ELEV. = 864.65
- PROPOSED GARAGE FLOOR ELEV. = 862.80
- PROPOSED TOP OF FOOTING ELEV. = 858.47 (5' WALL)
- PROPOSED BASMT CRAWL SPACE FLOOR ELEV. = 858.72

LOT COVERAGE CALCULATIONS:
ESTIMATED HARD SURFACE AREA = 20,510 SQ. FT.
ESTIMATED % IMPERVIOUS OF TOTAL LOT AREA = 00.89%
ESTIMATED % OF REMAINING OPEN SPACE = 99.11%

LOT AREA = 2,291,672 SQ. FT.
HOUSE AREA = 7,204 SQ. FT.
AUX BLDG AREA = 772 SQ. FT.
PORCH/SIDEWALK AREA = 562 SQ. FT.
DRIVEWAY AREA TO R/W = 11,972 SQ. FT.

- NOTES:**
- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE EAST LINE OF THE S.W. 1/4 OF SECTION 2, TOWN 7 NORTH, RANGE 19 EAST, BEARS SOUTH 00°30'03" WEST.
 - AS OF THE DATE OF THIS SURVEY: NO TITLE POLICY WAS PROVIDED AND THIS SURVEY WAS DRAFTED BASED UPON CURRENT DEEDS AND ITS RESPECTIVE INFORMATION AND HAS BEEN FIELD VERIFIED AND THEREFORE THIS PLAT OF SURVEY DOES NOT GUARANTEE THE EXISTENCE, SIZE AND LOCATION OF ANY EASEMENTS, ENCUMBRANCES, RESTRICTIONS OR OTHER FACTS THAT COULD OTHERWISE BE DISCLOSED IN A TITLE SEARCH OR CURRENT TITLE POLICY.
 - THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" AS DESIGNATED ON THE FLOOD INSURANCE RATE MAP: COMMUNITY PANEL NUMBER 55133C02026, DATED NOVEMBER 5, 2014. ZONE "X" IS DESCRIBED AS "AREA OF MINIMAL FLOOD HAZARD".
 - THE WETLANDS SHOWN HEREON ARE WERE DELINEATED BY ERIC PARKER (SPWS), HEARTLAND ECOLOGICAL GROUP, INC ON OCTOBER 17, 2022, AND PROVIDED TO TRIO ENGINEERING, LLC IN DIGITAL FORMAT.
 - THE PRIMARY ENVIRONMENTAL CORRIDOR (P.E.C.) SHOWN HEREON IS FROM SEWRPC RECORDS.

SURVEYOR'S CERTIFICATE:
STATE OF WISCONSIN }
WAUKESHA COUNTY }
I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE MAP HEREON IS A TRUE REPRESENTATION THEREOF, AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, AND ROWWAYS, AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE TITLE THERETO WITHIN ONE YEAR FROM THE DATE HEREOF. FIELD WORK WAS COMPLETED ON NOVEMBER 16TH, 2022.

DATED THIS 25th DAY OF NOVEMBER 20 25
REVISED THIS 9th DAY OF DECEMBER 20 25
REVISED THIS 19th DAY OF DECEMBER 20 25



Grady L. Gosser
Professional Land Surveyor S-2972

PROJECT:
STEINER PROPERTY
CITY OF PEWAUKEE, WISCONSIN
PREPARED FOR:
ROB MILLER HOMES
706 MAIN ST.
DELAFIELD, WI 53088

REVISION HISTORY

DATE	DESCRIPTION
11/25/2025	CITY SUBMITTAL
12/9/2025	LOT GRADING
12/19/2025	UTILITY BUILDING

DATE:
DECEMBER 19, 2025

JOB NUMBER:
22-062-1174-01

DESCRIPTION:
PLAT OF SURVEY

SHEET

1 OF 1

FUTURE HOME OF:
**SAM & MEGAN
STEINER**

N43 W23100 FIELDSTONE ROAD
PEWAUKEE, WI 53072

LEGEND:

•	INDICATES FOUND 1" BORE PIPE FOUND (QUALITY CHECKED NEARNESS)
•	INDICATES "20" 4500' O.D. 6 1/2" DIA. REINFORCING BAR REBAR LAY LAY FOR LAYER FOOT
•	INDICATES EXISTING POWER POLE
•	INDICATES EXISTING TELEPHONE FURNISH
•	INDICATES EXISTING OVERHEAD WIRE

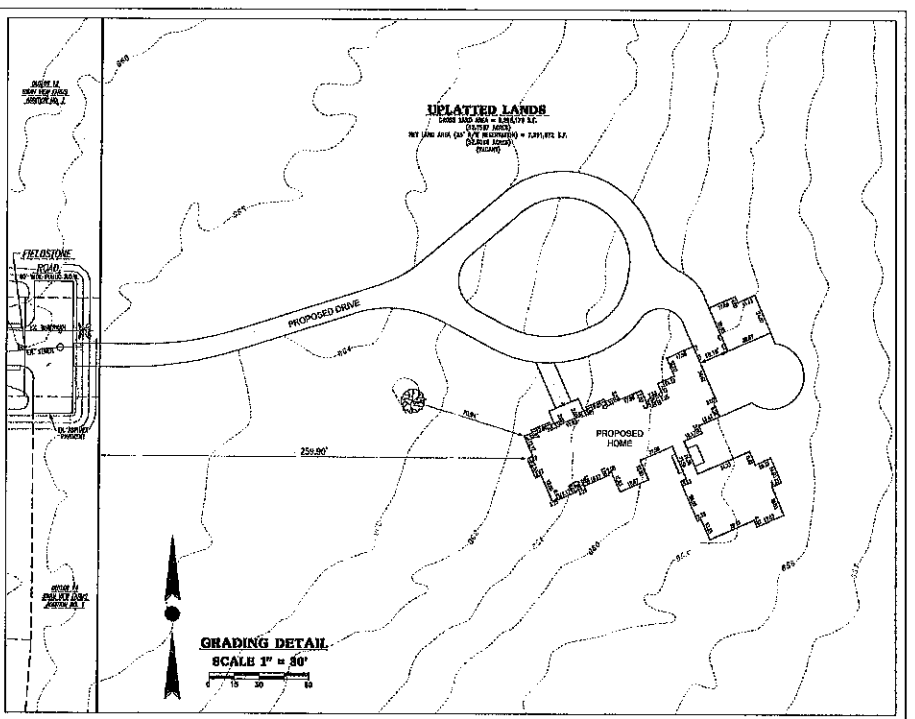
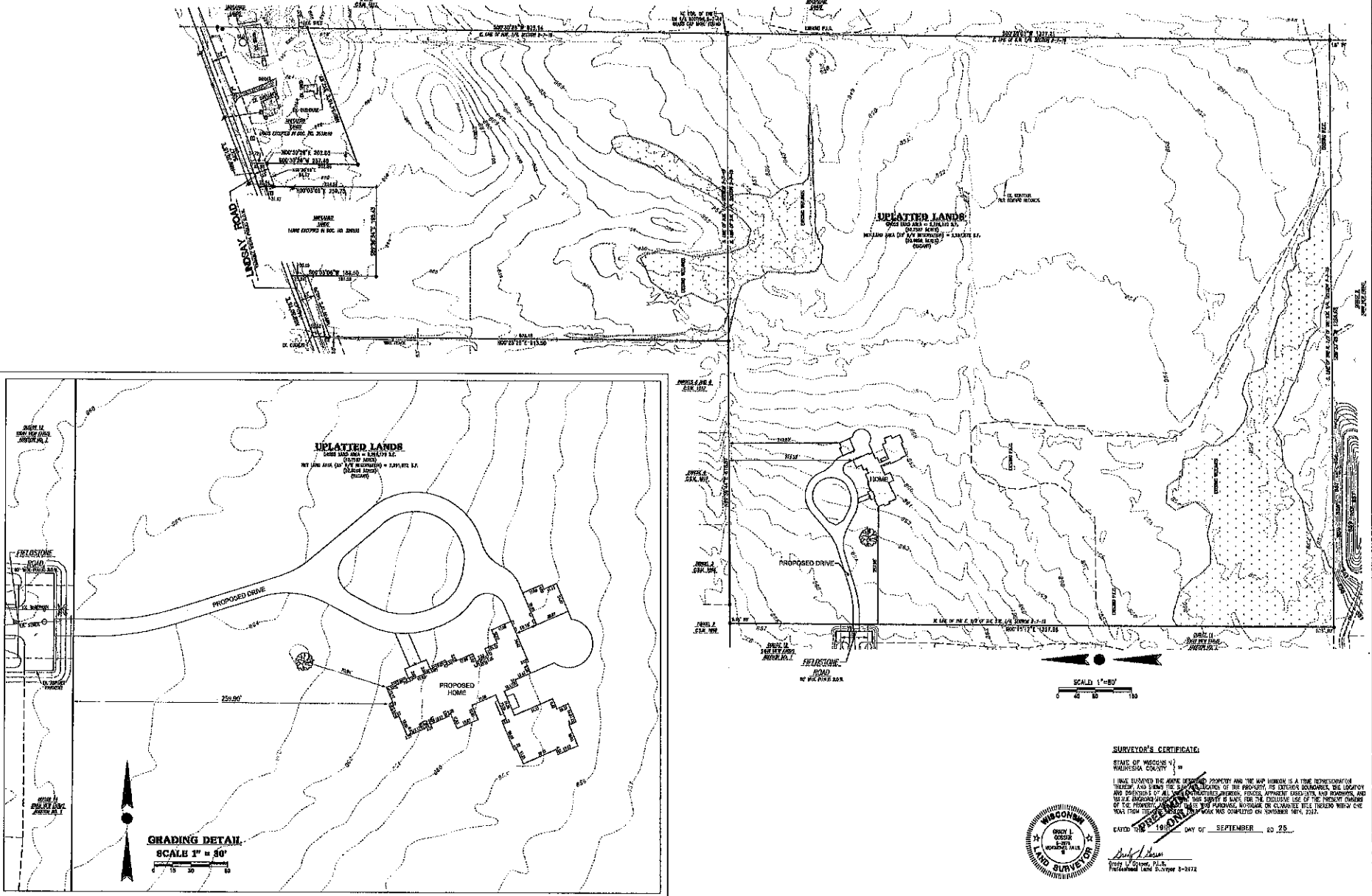
PLAT OF SURVEY

LEGAL DESCRIPTION:

Original Subdiv. #208221, #208228, and #308230. The North 1/4 of the South West 1/4 of Section 2, in Township 7 North, Range 13 East, containing 48 acres more or less. Also all that certain plan and parcel of land being a part of the 1st 1/2 of the Northwest 1/4 of Section 2, Township 7 North, Range 13 East located and described as follows:
 Beginning at a point at the corner center of Section 2, Range 13 North and the 21st 1/2 foot to a point, thence North and parallel to the center subdivision line, N11.48 East to a point in the center of the public highway (County Road) thence North 70 degrees East along the center of said highway 726.60 feet to a point in the center of County Road which point is about South 27.57 West, 1.887 feet more or less from the North corner center of Section 2, in the City of Pewaukee, Wisconsin County, Wisconsin.
 EXCEPTING therefrom the parcel described in Warranty Deed recorded in May 13, 1984 in Volume 157, in page 1, as Document No. 318859 and EXCEPTING therefrom the parcel of land described in a 2nd 1/2m deed recorded on December 18, 2002 as Document No. 203225.

NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, NORTH ZONE (NAD-83), BY WHICH THE EAST LINE OF THE S.W. 1/4 OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 13 EAST, BEARS SOUTH 00°00'00" WEST.
- AS OF THE DATE OF THIS SURVEY, NO TITLE POLICY WAS PROVIDED AND THIS SURVEY WAS BASED ON THE SURVEY DATA AND THE BEST AVAILABLE INFORMATION AND HAS BEEN FIELD VERIFIED AND INSPECTED. THIS PLAT OF SURVEY DOES NOT GUARANTEE THE EXISTENCE, SIZE AND LOCATION OF ANY EXISTING UTILITIES, STRUCTURES OR OTHER FEATURES THAT COULD BE SUBJECT TO DISCOVERY IN A TITLE INSURANCE OR CROWN TITLE POLICY.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE "X" AS DESIGNATED BY THE FLOOD INSURANCE RATE MAP, COUNTY OF WAUKESHA, WISCONSIN, DATED NOVEMBER 8, 2011. ZONE "X" IS DESIGNATED AS "AREA OF MINIMAL FLOOD HAZARD."
- THE WETLANDS BOUNDARIES ARE FIELD DETERMINED BY ERIC PAVONE (P.E.), WISCONSIN ECOLOGICAL SURVEY ONE ON OCTOBER 19, 2022, AND PROVIDED TO THE UNDERSIGNED BY A FIELD REPORT.
- THE FINANCIAL ENVIRONMENTAL CONDITION (F.A.C.) SURVEY CHECK IS FROM SURVEY RECORDS.



PROJECT:
STEINER PROPERTY
CITY OF PEWAUKEE, WISCONSIN
PREPARED FOR:
SAM & MEGAN STEINER
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION

DATE:
SEPTEMBER 17, 2025

JOB NUMBER:
22-052-1174-01

DESCRIPTION:
PLAT OF SURVEY

SHEET:
1 OF 1

SURVEYOR'S CERTIFICATE:
STATE OF WISCONSIN
PROFESSIONAL SURVEYOR
I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE MAP HEREON IS A TRUE REPRESENTATION THEREOF AND I HAVE THE SIGNATURES OF THE PROPERTY OR EXISTING OWNERS, THE LOCATION AND EXTENT OF ALL EXISTING UTILITIES, PUBLIC APPROVED UTILITIES, AND KNOWING AND BEING AWARE OF ALL APPLICABLE ORDINANCES, I HAVE PREPARED THIS PLAT OF SURVEY TO BE USED FOR THE EXCLUSIVE USE OF THE PROPERTY OWNERS AND THE PUBLIC PURPOSES OF THE FLOOD INSURANCE RATE MAP. THIS SURVEY WAS COMPLETED ON SEPTEMBER 17, 2025.
DATED 17th day of SEPTEMBER 2025.
Eric Pavone, P.E.
1000 N. Green, P.O. Box 1174
Pewaukee, WI 53072



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 PAGE 9: FINISH SCHEDULE/INFO
 PAGE 10: NOTES/ROOF

E-1: FIRST FLOOR ELECTRICAL
 E-2: SECOND FLOOR ELECTRICAL

FINAL CONSTRUCTION PLANS

OWNER	DESIGNER
SAM & MEGAN STEINER	TRIO

1ST FLOOR:	3845 SQ. FT.
2ND FLOOR:	2380 SQ. FT.
ENTERTAINING:	2214 SQ. FT.
TOTAL:	8439 SQ. FT.
ATTACHED GARAGE:	1079 SQ. FT.
DETACHED GARAGE:	171 SQ. FT.
ROAD COVERED PORCH:	175 SQ. FT.
SIDE COVERED PORCH:	89 SQ. FT.

NOTICE TO CONTRACTORS

ALIGNED TO ANY PROJECT, ALL CONTRACTORS MUST BE AWARE OF THE LOCATION AND EXTENT OF ALL EXISTING UTILITIES, PUBLIC APPROVED UTILITIES, AND KNOWING AND BEING AWARE OF ALL APPLICABLE ORDINANCES, I HAVE PREPARED THIS PLAT OF SURVEY TO BE USED FOR THE EXCLUSIVE USE OF THE PROPERTY OWNERS AND THE PUBLIC PURPOSES OF THE FLOOD INSURANCE RATE MAP. THIS SURVEY WAS COMPLETED ON SEPTEMBER 17, 2025.

ROB MILLER Homes

PLG. PROJ. #202509
 DELIVERED BY BOOK
 PAGES: 266, 370-400
 PLAN: 2025-09-09
 ROB@ROBMILLERHOMES.COM
 800.465.1118

FINAL PLANS
11.18.25

FINAL CONSTRUCTION PLANS

PLEASE REFER TO SHEET
SAM & MEGAN STEINER
 ADDRESS:
 N43 W23100 FIELDSTONE ROAD
 PEWAUKEE, WI 53072

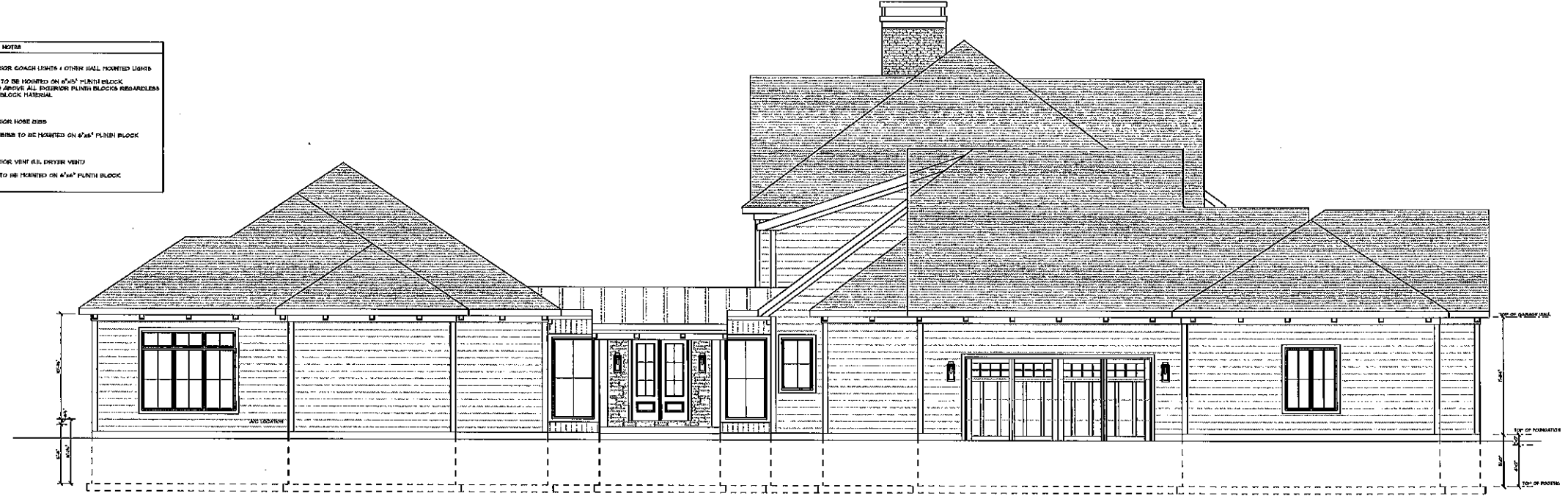
PAGE
1 OF 10



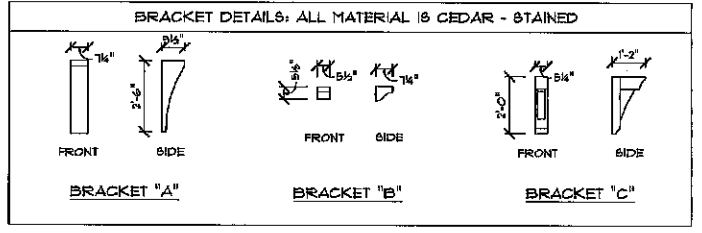
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS:
 HORIZONTAL SIDING: LP SHARPSIDE LAP SIDING
 BRICK: BRICK: LP SHARPSIDE 5" SLAKE
 WINDOW & DOOR TRIM: 1/2" x 4" BORAL (PLAN ABOVE)
 CORNER TRIM: 5/8" x 4" BORAL
 * LP SHARPSIDE CEDAR LOCATIONS
 CEDAR CORNER TRIM & CEDAR GALLON LOCATIONS
 BRICK FULL BRICK AS PER ELEVATION
 1/2" BRICK SILL AS SHOWN
 1/2" BRICK SILL AS SHOWN
 1/2" VENT BRICK ON FIREPLACE CHIMNEY
 FULL STONE - STONE AREA
 PARQUETRY: 1/2" BORAL PARQUET
 DO BORAL DRIL PARQUET ON SILLING
 LP SHARPSIDE ROOF ON ALL BEAMS
 1/2" x 1/2" CEDAR GIB FLOORING - GRAINED
 POSTS & HEADERS: CEDAR STAINED
 ROOF HEADERS ARE OVERSIZED 60 CEDAR IS BILLED TOGETHER
 BRICKS: 1/2" BRICK
 METAL ROOF PER ELEVATION
 OVERLAMPS:
 SILL OVERLAMPS ARE 1/4" x 1/4" * BRICK LOCATIONS
 GABLE OVERLAMPS ARE 1/4" x 1/4" * BRICK LOCATIONS
 OVERLAMPS REMAIN TRIM GIBS OF SHEATHING TO OUTSIDE OF SUBPACIA
 * DEEPER OVERLAMPS * FULL BRICK HEIGHT LOCATIONS
 CHIMNEY FUR CAP: SELECTION BY OWNER
 1" SQUARE ALUMINUM GUTTER
 3" x 4" RECTANGULAR DOWNPOUTS
 INCLUDE GUTTER GUARDS
 FLASHING: PRE-FINISHED ALUM. ABOVE ALL TOPS OF WINDOW/DOOR TRIM AND ANY MATERIAL THAT PROTRUDES FROM HOUSE AND AT MATERIAL ANCHORS.
 ALL SHUTTERS ARE CEDAR, JOE BUILT AND STAINED.

EXTERIOR NOTES:
 EXTERIOR COACH LIGHTS & OTHER SMALL MOUNTED LIGHTS
 LIGHT TO BE MOUNTED ON 4" x 4" PLINTH BLOCK
 PLAN ABOVE ALL EXTERIOR PLINTH BLOCKS REGARDLESS OF BLOCK MATERIAL
 EXTERIOR HOSE BIBS
 HOSE BIBS TO BE MOUNTED ON 4" x 4" PLINTH BLOCK
 EXTERIOR VENT (S, DRYER VENT)
 VENT TO BE MOUNTED ON 4" x 4" PLINTH BLOCK



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FINAL CONSTRUCTION PLANS

DATE	DATE
ROB MILLER HOMES, LLC	DATE

1ST FLOOR:	3846 SQ. FT.
2ND FLOOR:	2380 SQ. FT.
ENTERTAINING:	2214 SQ. FT.
TOTAL:	8438 SQ. FT.
ATTACHED GARAGE:	1078 SQ. FT.
DETACHED GARAGE:	171 SQ. FT.
ROAD COVERED PORCH:	178 SQ. FT.
SIDE COVERED PORCH:	83 SQ. FT.

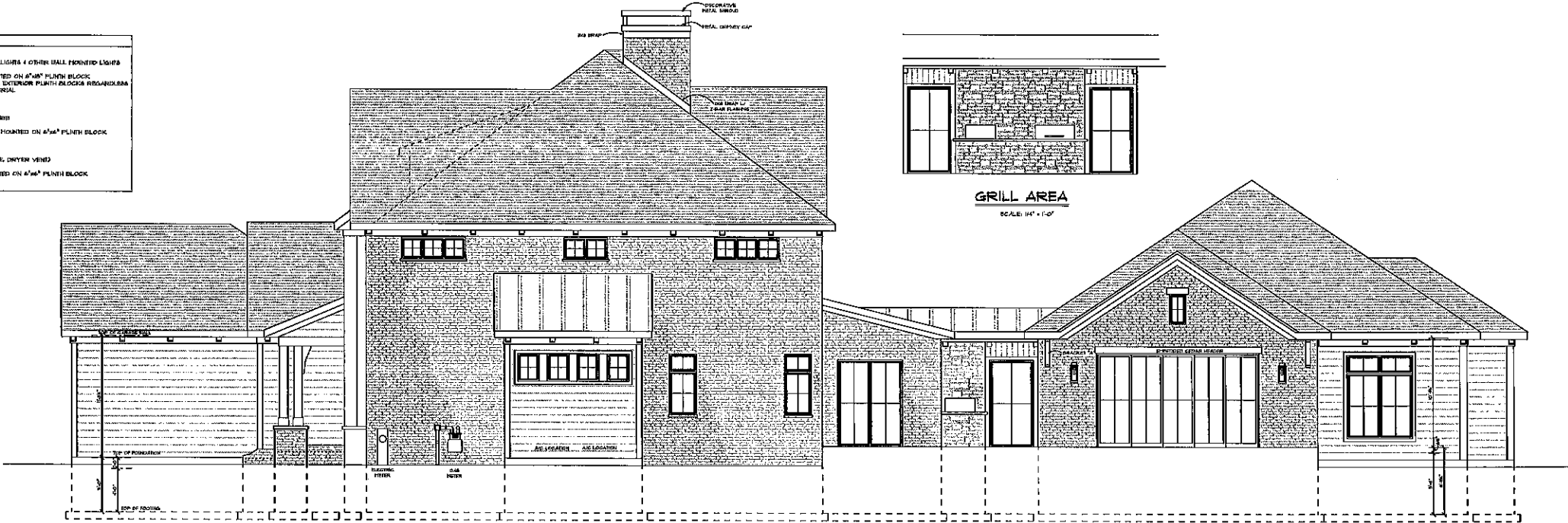
<p>DESIGN 4 STYLE 1221 27th Street, Suite 101 P.O. BOX 50558 DE MEAN, WI 53018 PHONE: 262-370-3100 FAX: 262-346-1191 WWW.DESIGN4STYLE.COM</p>	<p>NOTICE TO CONTRACTORS PLEASE READ THESE TERMS AND CONDITIONS CAREFULLY BEFORE SIGNING ANY CONTRACTS. THESE TERMS AND CONDITIONS SHALL APPLY TO ALL CONTRACTS FOR THE CONSTRUCTION OF RESIDENTIAL PROJECTS. ANY CHANGES TO THESE TERMS AND CONDITIONS SHALL BE MADE IN WRITING AND SIGNED BY BOTH PARTIES.</p>	<p>ROB MILLER Homes P.O. BOX 50558 DE MEAN, WI 53018 PHONE: 262-370-3100 FAX: 262-346-1191 WWW.ROBMILLERHOMES.COM</p>	<p>FINAL PLANS 11.18.25</p>	<p>PROJECT PROVIDED BY OR REVIEWED BY: SAM & MEGAN STEINER ADDRESS: N43 W2700 FIELDSTONE ROAD PEWAUKEE, WI 53072</p>	<p>PAGE 2 OF 10</p>
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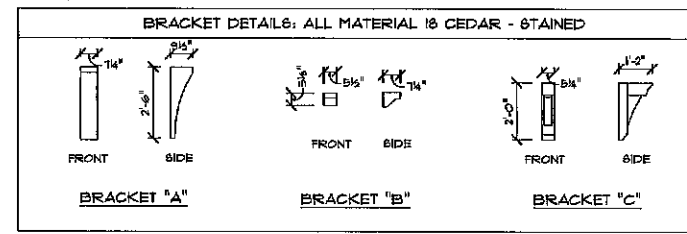
REAR ELEVATION
SCALE: 3/4" = 1'-0"

EXTERIOR MATERIALS:
 HORIZONTAL SIDING: LP SHAPED LAP SIDING
 BRICK: BRICK: LP SHAPED 2" BRICK
 WINDOW & DOOR TRIMS: 1/2" X 4" BRICK (FLASH ABOVE)
 CORNER TRIMS: 1/2" X 4" BRICK
 CEDAR: CEDAR TRIM & CEDAR GULLET LOCATIONS
 BRICK: FULL BRICK AS PER ELEVATION
 BY BRICK: BRICK AS SHOWN
 BY BEDROCK: BRICK & POST CAP LOCATIONS
 TRIM: VENEER BRICK ON PORCH PLACE CHAIRS
 FULL BRICK & STONE AREAS
 PARASOL: 2" BY 2" BRICK
 NO BRICK: SIDE, PORCH ON GARAGE
 LP SHAPED SIDING ON ALL EAVES
 BRICK: BRICK ON PORCHES - STAINED
 POSTS & HEADERS: CEDAR STAINED
 BOSE HEADERS ARE OVERLAP TO CEDAR IN GLEED TOGETHER
 ANCHORS: ASPHALT BRICKLE
 METAL ROOF PER ELEVATION
 OVERLAP: EAVE OVERLAP ARE 4" x 4" BRICK LOCATIONS
 GABLE OVERLAP ARE 4" x 4" BRICK LOCATIONS
 OVERLAP: TRIMMER FROM CAUSE OF
 BRICKING TO OUTSIDE OF SIDING
 DEEPEN OVERLAP ARE FULL BRICK HDHT LOCATIONS
 CHIMNEY: FULL CAP: BRICKING BY CORNER
 1" BRICK: ALUMINUM GUTTER
 2"x4" RECTANGULAR DOWNPOUT
 INCLUDE GUTTER GUARD
 FLASHING: PRE-FORMED ALUMINUM ABOVE ALL TOPS
 OF BRICK/DOOR TRIM AND ANY MATERIAL THAT
 PROTRUDES FROM HOUSE AND AT MATERIAL JUNCTIONS
 ALL BUTTERS ARE CEDAR, JOE BUILT AND STAINED

EXTERIOR NOTES:
 1. INTERIOR COACH LIGHTS & OTHER WALL MOUNTED LIGHTS
 LIGHT TO BE MOUNTED ON 4" X 4" PLIN BLOCK
 FLASH ABOVE ALL EXTERIOR PLIN BLOCK REGARDLESS
 OF BLOCK MATERIAL
 2. EXTERIOR HOME BRICK
 HOME BRICK TO BE MOUNTED ON 4" X 4" PLIN BLOCK
 3. EXTERIOR VENT (E, DRYER VENT)
 VENT TO BE MOUNTED ON 4" X 4" PLIN BLOCK



RIGHT ELEVATION

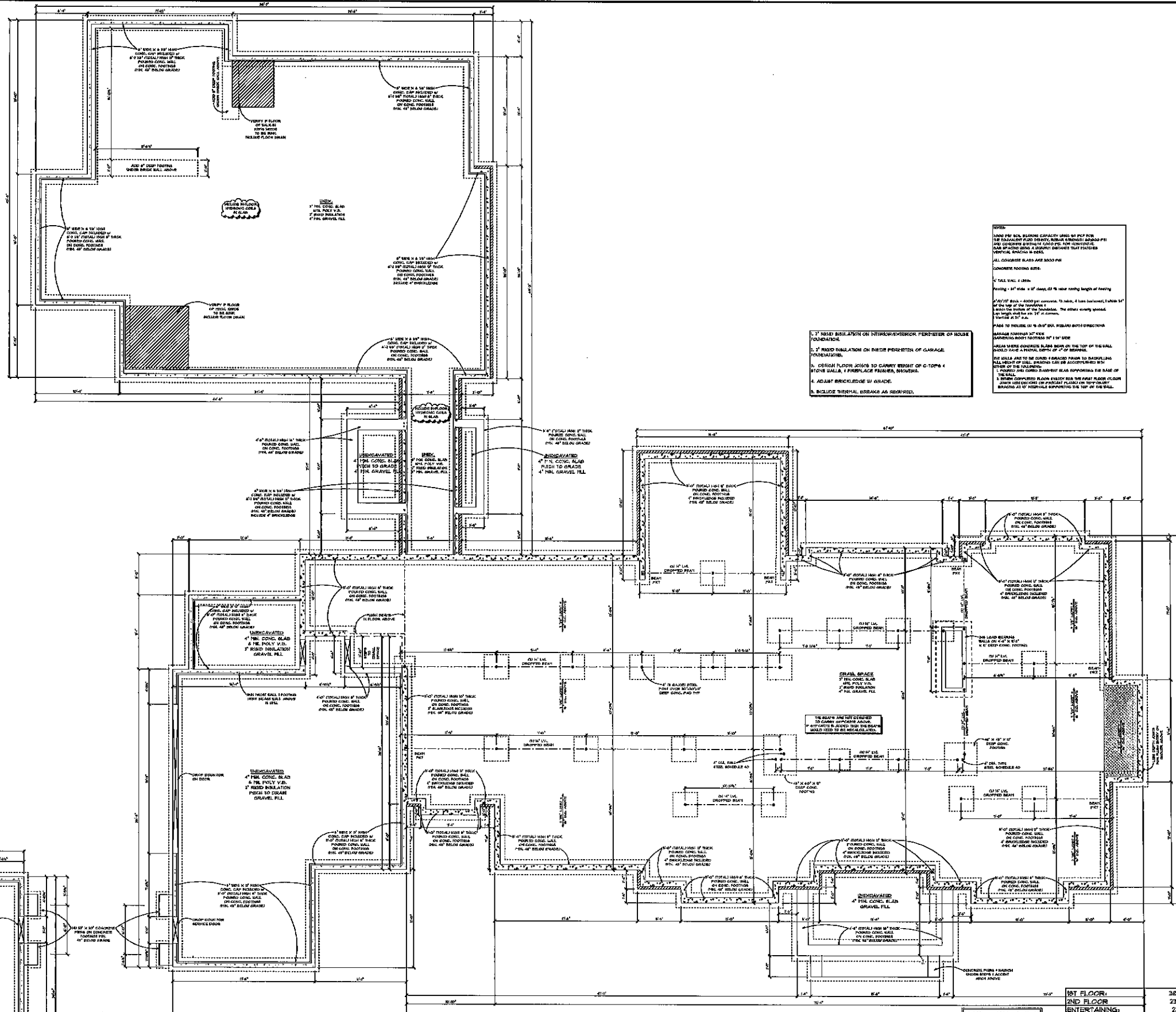


FINAL CONSTRUCTION PLANS

DATE:	DATE:
ROB MILLER HOMES, LLC	

1ST FLOOR:	3845 SQ. FT.
2ND FLOOR:	2380 SQ. FT.
ENTERTAINING:	214 SQ. FT.
TOTAL:	8439 SQ. FT.
ATTACHED GARAGE:	1079 SQ. FT.
DETACHED GARAGE:	111 SQ. FT.
ROAD COVERED PORCH:	115 SQ. FT.
SIDE COVERED PORCH:	83 SQ. FT.

<p>2025 COPYRIGHT DESIGN 4 STYLE, LLC</p> <p>Design 4 Style 7243 ST. J. ST. P. 34848-0445 P. 34848-0445</p>	<p>NOTICE TO CONTRACTORS I HEREBY AUTHORIZE THE CONTRACTOR TO OBTAIN THE NECESSARY PERMITS AND TO OBTAIN THE NECESSARY CONSTRUCTION OF THIS PROJECT IN ACCORDANCE WITH THE CITY OF MILWAUKEE ORDINANCES AND THE STATE OF WISCONSIN CONSTRUCTION OF THIS PROJECT.</p>	<p>ROB MILLER Homes</p> <p>P.O. BOX 30000 DELAWARE, WI 53009 PHONE: 262-592-3000 FAX: 262-592-3009 ROB.MILLER@ROBMILLERHOMES.COM WWW.ROBMILLERHOMES.COM</p>	<p>FINAL PLANS 11.18.25</p>	<p>OWNER: SAM & MEGAN OSTER ADDRESS: N43100 FIELDSTONE ROAD PELLWAUKEE, WI 53012</p> <p>PAGE: 3 OF 10</p>
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NOTES

1. 1000 PSI ACI SLABING CAPACITY USED AS PER FOR THE EQUIVALENT FLOOR DENSITY, SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION. THE CONCRETE SHALL BE PLACED IN A SINGLE LIFT UNLESS OTHERWISE SPECIFIED. ALL CONCRETE SHALL BE 3000 PSI.
2. ALL CONCRETE SHALL BE 3000 PSI.
3. ALL CONCRETE SHALL BE 3000 PSI.
4. ALL CONCRETE SHALL BE 3000 PSI.
5. ALL CONCRETE SHALL BE 3000 PSI.
6. ALL CONCRETE SHALL BE 3000 PSI.
7. ALL CONCRETE SHALL BE 3000 PSI.
8. ALL CONCRETE SHALL BE 3000 PSI.
9. ALL CONCRETE SHALL BE 3000 PSI.
10. ALL CONCRETE SHALL BE 3000 PSI.

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

1ST FLOOR:	3848 SQ. FT.
2ND FLOOR:	2380 SQ. FT.
ENTERTAINING:	2214 SQ. FT.
TOTAL:	8438 SQ. FT.
ATTACHED GARAGE:	1078 SQ. FT.
DETACHED GARAGE:	111 SQ. FT.
ROAD COVERED PORCH:	175 SQ. FT.
SIDE COVERED PORCH:	83 SQ. FT.

<p>DESIGN 4 STYLE 11111 11111 11111</p>	<p>NOTICE TO CONTRACTORS</p>	<p>ROB MILLER Homes</p>	<p>11.18.25</p>	<p>FINAL PLANS</p>	<p>11.18.25</p>	<p>11111 11111 11111</p>	<p>11111 11111 11111</p>
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INSPIRATION PHOTOS

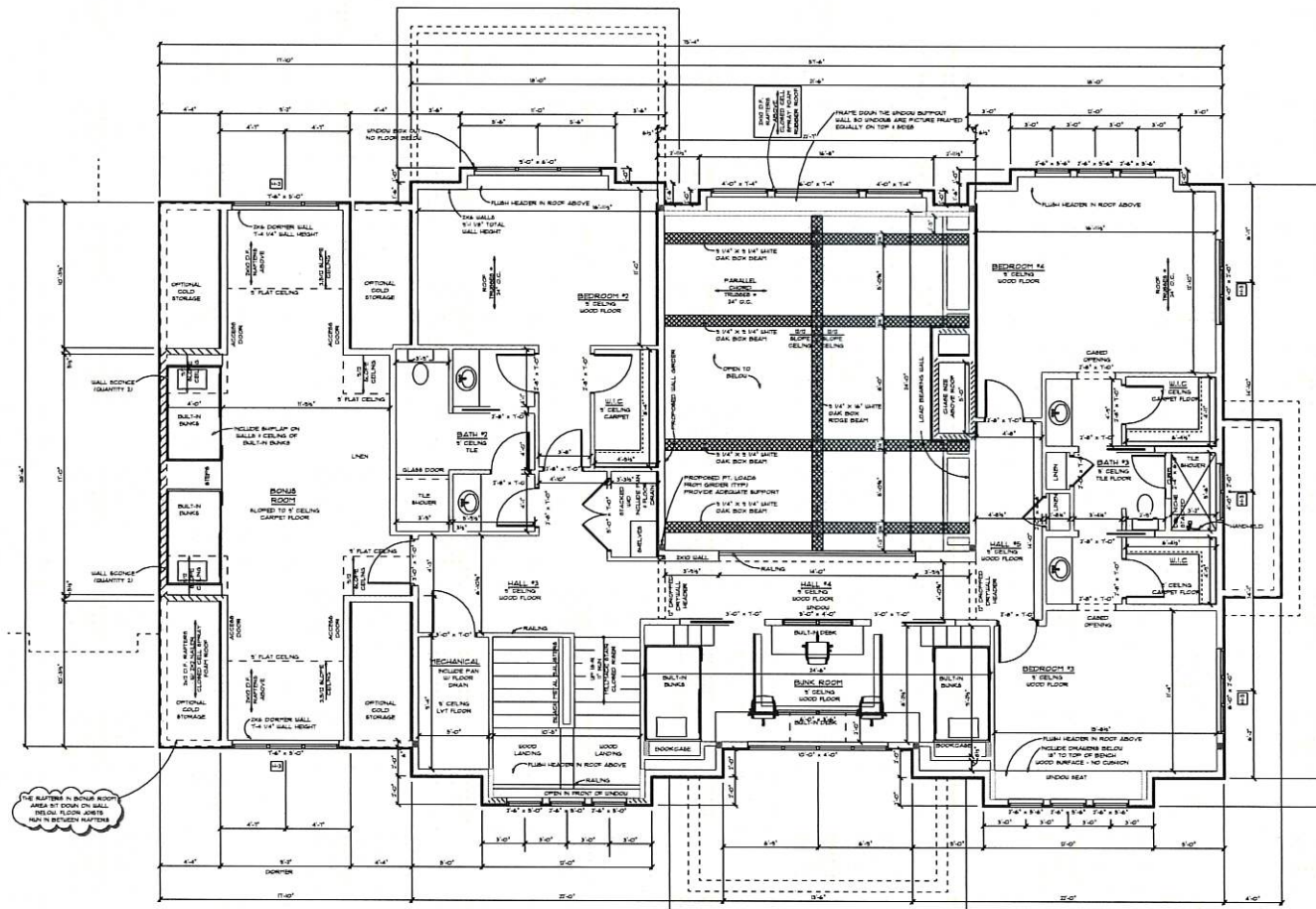


- FLOOR PLAN SPECIFICATIONS:
1. INCLUDE LVL STUDS AT ALL POCKET DOORS PER DETAIL AND LVL + TOP OF BOTTOM PLATE AND VERTICAL STUDS AT ALL POCKET DOORS.
 2. INCLUDE LVL STUDS AT ALL WALLS OF POCKET DOORS PER DETAIL. DOOR SILLER CARPET SILLER + 3/4" SILLER. REPLACE SILLER SILLER SILLER ON CEILING ON WALLS 1/4" PANELS.
 3. ANY WALL OVER 10' HIGHER TO BE LVL STUDS ON EXTERIOR WALLS. SILLER SILLER AND EXTERIOR SILLER SILLER SILLER.
 4. SET TOP OF EXTERIOR SILLER SILLER + DOORS UNDER NOTED PER FLOOR + 4" TO 1/2" OF JOIST SPACING UNLESS NOTED. SECOND FLOOR + 4" TO 1/2" OF JOIST SPACING UNLESS NOTED.
 5. FRAMES TO INCLUDE BACKERS FOR CROWN MOULDING WALL PANELING AND 1/2" SILLER.
 6. WALLS VERTICAL WALLS OF BATHROOMS, BEDROOMS + LAUNDRY ROOMS + HALLWAYS AT 1/2" FLOOR SYSTEMS.
 7. INCLUDE ATTC ACCESS OF TYPICAL 30" X 30".
 8. INCLUDE BLANKING, PREPARED ALUM, ABOVE ALL TOPS OF WINDOW/DOOR AND ANY MATERIAL THAT PROTRUDES FROM HOUSE AND AT MATERIAL JUNCTIONS.
 9. IN-FLOOR RADIANT HEAT IS AN OPTION FOR FIRST + SECOND FLOORS + GARAGE. IN-FLOOR RADIANT HEAT IS INCLUDED IN BATHROOMS PER PRECEDENT.
 10. REFERENCE COLLABORATE DESIGNER INTERIOR VIEWS FOR CABINET CHANGES + FINISHES.
 11. A 1/4" POLY AIRSPACE SHALL BE PROVIDED BETWEEN BRICK VENEER AND THE WALL SUBSTRATE UNLESS A MANUFACTURER'S SPECIFIC INSTRUCTIONS ALIAS METALLIC LAYER OR PAPER AND LAYER TYPED OVER THE WEATHERING TYPED.
 12. IF APPLICABLE: FRAMES TO INCLUDE BLOCKING FOR SHAR BARS. LOCATIONS TO BE DETERMINED ON SITE.
 13. FRAMES TO INCLUDE BLOCKING FOR VERTICAL BONGS.

HEADER SCHEDULE

H1	2X10'S D.P. #1 OR BTR
H2	2X12'S D.P. #1 OR BTR
H3	1 3/4" X 8 1/2" LVL 2.0E
H4	1 3/4" X 10" LVL 2.0E
H5	1 3/4" X 12" LVL 2.0E
H6	1 3/4" X 14" LVL 2.0E
H7	1 3/4" X 16" LVL 2.0E
H8	1 3/4" X 18" LVL 2.0E

OPTION BID:
HYDRIC HEAT COILS RUN THROUGH ENTIRE FIRST FLOOR + SECOND FLOOR. MUST BE DESIGNED TO CARRY ADDITIONAL WEIGHT. OVERSIZED PLATES UNDER ALL EXTERIOR + INTERIOR WALLS. 2"X4" EXTERIOR WALLS TO HAVE 2"X4" PLATE BELOW. 2"X4" INTERIOR WALLS TO HAVE 2"X4" WALL BELOW + 2"X4" INTERIOR WALLS TO HAVE 2"X4" PLATE BELOW. INCLUDE SLEEPERS WHERE WOOD FLOOR WILL BE INSTALLED AND INCLUDE FLASHING AS REQUIRED. ALL ENGINEERING MUST BE UPDATED @ OPTION BID IS ADDED TO FLOOR LOADS.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FINAL CONSTRUCTION PLANS

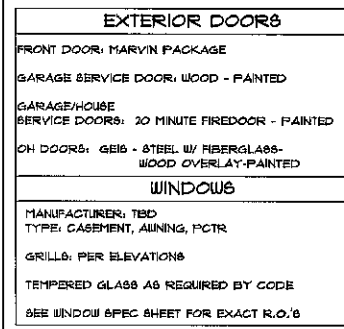
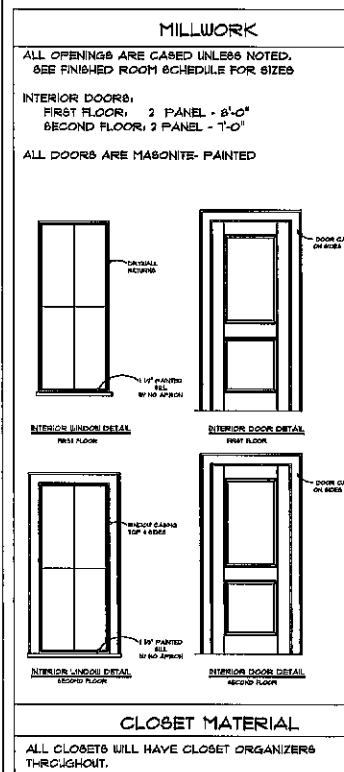
OWNER	DATE

1ST FLOOR:	3845 SQ. FT.
2ND FLOOR:	2380 SQ. FT.
ENTERTAINING:	2214 SQ. FT.
TOTAL:	8439 SQ. FT.
ATTACHED GARAGE:	1078 SQ. FT.
DETACHED GARAGE:	771 SQ. FT.
ROAD COVERED PORCH:	175 SQ. FT.
SIDE COVERED PORCH:	83 SQ. FT.

<p>DESIGN 4 STYLE LLC 11111 W. WISCONSIN AVE. MILWAUKEE, WI 53224 TEL: 414.224.4444 WWW.DESIGN4STYLE.COM</p>	<p>NOTICE TO CONTRACTORS 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO COMMENCEMENT OF WORK. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL AUTHORITIES. 3. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. 4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES NOT TO BE REMOVED. 5. CONTRACTOR SHALL MAINTAIN SAFE WORKING CONDITIONS AND PROTECT ALL PERSONNEL AND THE PUBLIC. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. 7. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS. 8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSES. 9. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. 10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS. 11. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOTICES. 12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS. 13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DOCUMENTS. 14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION. 15. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DATA. 16. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS. 17. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DOCUMENTS. 18. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION. 19. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DATA. 20. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS.</p>	<p>P.O. BOX 80558 DELAWARE, WI 53008 PHONE: 262.370.3000 FAX: 262.346.8199 WWW.ROBMILLERHOMES.COM</p>	<p>FINAL PLANS 11.18.25</p>	<p>OWNER RESIDENCE OF: SAM + MEGAN STEINER ADDRESS: N43 W23100 FIELDSTONE ROAD PEWAUKEE, WI 53072</p>	<p>PAGE 6 OF 10</p>
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ROOM FINISH SCHEDULE													
ROOM NAME	WALL FINISH	CEILING FINISH	FLOOR FINISH	BASE SIZE SPECIES/FINISH	INCLUDE SHOE	DOOR CASING SIZE SPECIES/FINISH	WINDOW CASING SIZE SPECIES/FINISH	WINDOW SILL SIZE SPECIES/FINISH	CABINETS	COUNTER TOPS	CROWN	BEAM	COMMENTS
2 1/2 CAR DETACH GARAGE	DRYWALL	DRYWALL	CONC. EPOXY	5 1/2" AZEK	NO	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	N/A	N/A	NO	NO	2 1/2 CAR DETACH GARAGE
2 1/2 CAR ATTACH GARAGE	DRYWALL	DRYWALL	CONC. EPOXY	5 1/2" AZEK	NO	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	SPORTS STORAGE	N/A	NO	NO	1 KIND OF CABINETS
STORAGE ROOM	DRYWALL	DRYWALL	CONC. EPOXY	5 1/2" AZEK	NO	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	STORAGE SHELVES BY OWNER
EXERCISE ROOM	DRYWALL	DRYWALL	RUBBER	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	N/A	N/A	NO	NO	EXERCISE ROOM
HALL	DRYWALL	T&G WHITE OAK SLOPE CEILING	CONC. FLOOR	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN EMBEDDED HEADER	1 1/2" WOOD SILL	N/A	N/A	NO	YES	T&G WHITE OAK CEILING AREA
HALL #1	DRYWALL CHAMFER EDGES	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	HALL #1
W.I.C.	DRYWALL	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	W.I.C.
HALL #2	DRYWALL CHAMFER EDGES	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	YES	1 1/4" X 1 1/4" WOOD BEAMS
LOCKER ROOM	DRYWALL W/BOFFIT	DRYWALL	TILE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	WINDOW SEAT	PAINTED	WOOD	NO	NO	LOCKER ROOM
OFFICE	DRYWALL CHAMFER EDGES	DRYWALL PANELING	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	QUARTZ	NO	NO	OFFICE
LIBRARY ALCOVE	DRYWALL CHAMFER EDGES	DRYWALL BOFFIT	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	LIBRARY ALCOVE
LAUNDRY	DRYWALL	DRYWALL	TILE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	QUARTZ	NO	NO	LAUNDRY
WALK-THROUGH PANTRY	DW 4 SHIPLAP SUBWAY TILE	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	QUARTZ	NO	NO	WALK-THROUGH PANTRY
OFFICE VESTIBULE	DRYWALL BOFFIT	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	OFFICE VESTIBULE
BATH #4	DRYWALL 4 WALL TILE	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	PAINTED	QUARTZ	NO	NO	BATH #4
STAIR VESTIBULE	DRYWALL CHAMFER EDGES	DRYWALL	WOOD	1 1/4" PAINTED	YES	N/A	DRYWALL RETURN	1 1/2" WOOD SILL	N/A	N/A	NO	NO	STAIR VESTIBULE
KITCHEN	DRYWALL PLASTER HOOD	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	PAINTED	QUARTZ	NO	YES	WRAP DROPPED HEADER
DINETTE	DRYWALL	DRYWALL BOFFIT T&G WHITE OAK	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	N/A	N/A	NO	YES	1 1/4" X 1 1/4" WOOD BEAMS
GREAT ROOM	DRYWALL CHAMFER EDGES	DRYWALL	WOOD	1 1/4" PAINTED	YES	N/A	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	PAINTED	NO	NO	GREAT ROOM
FOYER	DRYWALL	DRYWALL BOFFIT T&G WHITE OAK	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	N/A	N/A	NO	YES	3 1/4" X 3 1/4" WOOD RAFTERS & RIDGE BEAM
BEDROOM #1	DRYWALL CHAMFER EDGES	DRYWALL BOFFIT	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	N/A	N/A	NO	NO	BEDROOM #1
BATH #1	DRYWALL	DRYWALL 4 TILE	TILE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	QUARTZ	NO	NO	BATH #1
W.I.C.	DRYWALL	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	QUARTZ	NO	NO	W.I.C.
BEDROOM #1 ALCOVE	DRYWALL	DRYWALL	WOOD	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	BEDROOM #1 ALCOVE
GATHERING ROOM	DRYWALL	DRYWALL MURAL DROP PANEL	POLISHED CONCRETE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	GATHERING ROOM
BATH #5	DRYWALL	DRYWALL	POLISHED CONCRETE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	PAINTED	QUARTZ	NO	NO	BATH #5
SECRET SAFE ROOM	DRYWALL	DRYWALL	POLISHED CONCRETE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	SECRET SAFE ROOM
GAME AREA	DRYWALL	DRYWALL	POLISHED CONCRETE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	WOOD	NO	NO	GAME AREA
REFRIG WALK-IN	DRYWALL	DRYWALL	POLISHED CONCRETE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	BAR WALK-IN
BAR	DROPPED CEILING	DRYWALL	POLISHED CONCRETE	1 1/4" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	DRYWALL RETURN	1 1/2" WOOD SILL	PAINTED	QUARTZ	NO	NO	BAR

ROOM NAME	WALL FINISH	CEILING FINISH	FLOOR FINISH	BASE SIZE SPECIES/FINISH	INCLUDE SHOE	DOOR CASING SIZE SPECIES/FINISH	WINDOW CASING SIZE SPECIES/FINISH	WINDOW SILL SIZE SPECIES/FINISH	CABINETS	COUNTER TOPS	CROWN	BEAM	COMMENTS
BONUS ROOM	DRYWALL	DRYWALL SLOPED	CARPET	5 1/2" PAINTED	NO	3 1/2" PAINTED W/ INTEGRATED BACKBAND	3 1/2" PAINTED	1 1/2" SILL W/ NO APRON	N/A	N/A	NO	NO	SHIPLAP ON BUNK WALLS & CEILING
BEDROOM #2	DRYWALL	DRYWALL	WOOD	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	3 1/2" PAINTED	1 1/2" SILL W/ NO APRON	N/A	N/A	NO	NO	BEDROOM #2
BATH #2	DRYWALL	DRYWALL	TILE	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	PAINTED	QUARTZ	NO	NO	BATH #2
W.I.C.	DRYWALL	DRYWALL	WOOD	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	W.I.C.
MECHANICAL	DRYWALL	DRYWALL	LVP	5 1/2" PAINTED	TBD	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	MECHANICAL
HALL #3/4/5	DRYWALL	DRYWALL	WOOD	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	HALL #3/4/5
BUNK ROOM	DRYWALL	DRYWALL	WOOD	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	3 1/2" PAINTED	1 1/2" SILL W/ NO APRON	STAINED	WOOD	NO	NO	BUNK ROOM
BEDROOM #3	DRYWALL	DRYWALL	WOOD	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	3 1/2" PAINTED	1 1/2" SILL W/ NO APRON	N/A	N/A	NO	NO	BEDROOM #3
W.I.C. BED #3	DRYWALL	DRYWALL	CARPET	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	W.I.C. BED #3
BATH #3	DRYWALL	DRYWALL	TILE	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	3 1/2" PAINTED	1 1/2" SILL W/ NO APRON	PAINTED	QUARTZ	NO	NO	BATH #3
BEDROOM #4	DRYWALL	DRYWALL	WOOD	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	3 1/2" PAINTED	1 1/2" SILL W/ NO APRON	N/A	N/A	NO	NO	BEDROOM #4
W.I.C. BED #4	DRYWALL	DRYWALL	CARPET	5 1/2" PAINTED	YES	3 1/2" PAINTED W/ INTEGRATED BACKBAND	N/A	N/A	N/A	N/A	NO	NO	W.I.C. BED #4



STAIRS

STAIR 1:
LOCATION: FIRST TO SECOND;
TYPE: HILLMADE STAIR
TREAD MATERIAL: WHITE OAK
EXPOSED TREADS: YES
RAILING: WOOD - STAINED
BALUSTERS: WROUGHT IRON BALUSTERS
CARPET RUNNER: NO

STAIR 2:
LOCATION: GARAGE TO CRAWL
TYPE: JOB BUILT STAIR
TREAD MATERIAL: PINE
EXPOSED TREADS: NO
RAILING: WOOD; N/A
BALUSTERS: N/A

PLUMBING

PER PLAN

ELECTRIC

SEE CONCEPTUAL LAYOUT
GENERATOR: INCLUDE

MISC.

RADON MITIGATION - INCLUDE
BOUND SYSTEM - INCLUDE
SECURITY - INCLUDE
CENTRAL VAC - N/A

FLOORING

NO TRANSITIONS ON FINISHED FLOOR, ADD 1/2" O.S.B. UNDERLAYMENT AS REQUIRED UNDER WOOD AREAS.

INSULATION

SEE CROSS SECTION FOR R-VALUES
INSULATE WALLS OF BATH/BED/LAUNDRY

DRYWALL

TEXTURE:
CEILING: LIGHT SKIP TROUPEL
FIRST FLOOR: LIGHT SKIP TROUPEL
SECOND FLOOR: LIGHT SKIP TROUPEL
GARAGE: LIGHT SKIP TROUPEL
DRYWALL CORNER: SQUARE BEAD

LIMESTONE TEXTURE FOR FIREPLACE

APPLIANCES

INCLUDE IN ALLOWANCE
REFERENCE APPLIANCE LIST BY BUYER
VERIFY ALL SIZES

HVAC

TYPE: (3) FORCED AIR W/ A.C.
ALL APPLIANCES ARE DUAL FUEL
IN-FLOOR RADIANT HEAT INCLUDED FOR SECRET SAFE ROOM, BATH #5, BATH #5 ENTRY, GAME AREA, MECHANICAL ROOM, GATHERING ROOM, BAR, HALL & GARAGES.

FINAL CONSTRUCTION PLANS

1ST FLOOR:	3845 SQ. FT.
2ND FLOOR:	2960 SQ. FT.
ENTERTAINING:	214 SQ. FT.
TOTAL:	6439 SQ. FT.
ATTACHED GARAGE:	1078 SQ. FT.
DETACHED GARAGE:	771 SQ. FT.
ROAD COVERED PORCH:	176 SQ. FT.
SIDE COVERED PORCH:	85 SQ. FT.

DESIGN & STYLE ARCHITECTURE, INC. 1111 S. 11TH ST. SUITE 100, MILWAUKEE, WI 53233

NOTICE TO CONTRACTORS: THESE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.

ROB MILLER HOMES

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WWW.MILLERHOMES.COM

FINAL PLANS 11.18.25

DATE: _____

NAME: _____

9 OF 10

GENERAL NOTES:

ALL WORK SHALL BE PERFORMED WITH ALL APPLICABLE WISCONSIN UNIFORM DWELLING CODE (UDC), CODES, AS WELL AS LOCAL CODES, NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION. ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS FOR REFERENCE ONLY AND IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE SUBCONTRACTOR TO MAKE SURE PLUMBING, MECHANICAL, ELECTRICAL WORK IS INSTALLED TO CODE.

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, SUBCONTRACTOR OR SUPPLIER TO CONTACT THE GENERAL CONTRACTOR OR OWNER IF THERE ARE ANY CONCERNS OR DISCREPANCIES DURING THE CONSTRUCTION OF THESE PLANS.

LOADS

ROOF DESIGN: LIVE LOAD = 30 PSF (MINU LOAD) DEAD LOAD = 30 PSF REFERENCE UDC 603.03 HAP 1 REVISE IF NECESSARY

1/4"X6 LIVE LOAD DEFLECTION

ROOFERS SHALL WITHSTAND A PRESSURE OF AT LEAST 30" H₂O ACTING UPWARD NORMAL TO THE ROOF SURFACE.

FLOOR DESIGN: LIVE LOAD = 40 PSF DEAD LOAD = 10 PSF 1/4"X6 LIVE LOAD DEFLECTION

ANY TILE AREAS SHALL BE DESIGNED FOR AN ADDITIONAL 10 PSF DEAD LOAD LOAD TOTAL LOAD = 7600 LIVE LOAD

DESIGN FLOOR JOISTS TO CARRY WEIGHT OF COUNTERTOPS, STONE WALLS & OR TILE SHOWERS.

CONCRETE, SOL. & BACKFILL

SOIL TEST ARE RECOMMENDED BEFORE ANY CONSTRUCTION BEGINS.

2000 PSF SOIL BEARING CAPACITY USING 40 PCF FOR THE EQUIVALENT FLUID DENSITY. NEAR STRENGTH 40000 PSI AND CONCRETE STRENGTH 4000 PSI FOR HORIZONTAL BAR SPACING USING A UNIFORM DISTANCE THAT MATCHES VERTICAL SPACING IS BEST.

AREAS WHERE CONCRETE ALABS BEAR ON THE TOP OF THE WALL SHOULD HAVE A MINIMAL DEPTH OF 4" OF BEARING.

THE WALLS ARE TO BE CURED & BRACED PRIOR TO BACKFILLING FULL HEIGHT OF WALL. BRACING CAN BE ACCOMPLISHED WITH EITHER OF THE FOLLOWING:

- POURED AND CURED BRACED ALAB SUPPORTING THE BASE OF THE WALL.
- EITHER COMPLETED FLOOR SYSTEM FOR THE FIRST FLOOR FLOOR JOISTS WITH DECKING OR PRECAST PLANKS OR TEMPORARY BRACING AT 10' INTERVALS SUPPORTING THE TOP OF THE WALL.

REFERENCE FOUNDATION PLAN FOR CONCRETE & REBAR SPECIFICATIONS.

ADD REBAR STRIP IN CONCRETE IF MORE THAN 8" IS EXPOSED & REBAR WILL BE APPLIED.

ADJUST ALL BRICKWORK AND FOOTINGS WITH GRADE IF IT VARIES FROM PLANS.

STEEL

STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING LATEST EDITION:

- AISC SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS.
- AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDING AND BRIDGES.
- AISC DESIGN STRUCTURAL STEEL DETAILING MANUAL.
- AISC STRUCTURAL STEEL DETAILING MANUAL.

PROVIDE 3 MIL THICKNESS WED OR GREY OXIDE PRIMER ON ALL STEEL SURFACES UNLESS NOTED.

ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED PER ASTM A153 AND FASTENERS HOT DIPPED GALVANIZED PER ASTM A153.

ANCHOR BOLDS SHALL BE PRESENT WITH TEMPLATES.

CONNECTIONS MAY BE BOLTED OR WELDED AT THE FABRICATION OPTION. BOLTED CONNECTIONS SHALL BE AS FOLLOWS:

MINIMAL BOLT DIAMETER OF 3/4" UNLESS NOTED.

HIGH STRENGTH BOLTS IN SINGLE OR DOUBLE SHEAR UNLESS NOTED.

SIMPLE BEARING CONNECTIONS SHALL BE CAPABLE OF END ROTATION PER AISC REQUIREMENTS FOR UNRESTRAINED MEMBERS.

THE ERECTION OF ANY STRUCTURAL STEEL MEMBERS SHALL NOT COMMENCE UNTIL ALL SUPPORTING CONCRETE/MASONRY ELEMENTS HAVE ATTAINED AT LEAST 75% OF THEIR INTENDED MINIMAL COMPRESSIVE STRENGTH.

GRADE

EROSION CONTROL: WHERE LAND DURING CONSTRUCTION ACTIVITY IS TO OCCUR EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE PROVIDED, AS NECESSARY, TO PREVENT OR REDUCE THE POTENTIAL DEPOSITION OF SOIL OR SEDIMENT TO ADJACENT AREAS OF THE STATE AND ADJACENT PROPERTIES.

GRADE: SLOPE GRADE AWAY FROM DWELLINGS.

IF ACTUAL GRADE VARIES FROM ARCHITECTURAL PLANS, THE BUYER IS RESPONSIBLE FOR ALL COST INCREASES FROM ADDITIONAL HEIGHT OF FOUNDATION WALLS, FRAMED WALLS, EXTERIOR FACED MATERIAL OR ANY ADDITIONAL BUILDING MATERIALS & LABOR.

RAILINGS

INTERIOR AND EXTERIOR RAILINGS ARE FOR REFERENCE ONLY. CONTACT BUILDER FOR RAILING SPECIFICATIONS AND RAIL/SPOULE DESIGN AND PLACEMENT.

HORIZONTAL RAILINGS TO BE LOCATED AT LEAST 36" ABOVE TOP OF SURFACE DECKING OR FINISHED FLOOR. RAILING MUST WITHSTAND 200 LB LOAD IN ANY DIRECTION. RAILING TO BE INSTALLED TO PREVENT PASSAGE OF OBJECTS OVER 4" DIA.

WALLS

SQUASH BLOCKING & BRD COLUMNS BELOW POINT LOADS ARE TO CONTINUE AND TRANSFER LOADS DOWN TO FOUNDATION AND FOOTINGS.

ENGINEERED GUSSET PLATE, LVL, STEEL COLUMNS OR METAL SUPPORT COLUMNS ARE TO BE INCLUDED UNDER ALL POINT LOADS AS REQUIRED BY CALCULATED LOADS. SOME OF THESE LOADS WILL BE SUPPLIED BY TRUSS SUPPLIERS AND ON LUMBER AND AFTER FINAL ENGINEERING IS COMPLETE ON THEM END. IT IS THE RESPONSIBILITY OF THE GENERAL TO ACQUIRE THESE LOADS & UPDATE DESIGN & STYLE LLC SO FINISHED COLUMN DESIGN CAN BE INCLUDED ON PLANS.

ANY WALL OVER 10'4" HIGH ARE TO BE LVL, STEEL OR ENGINEERED TALL WALL EXCEPT GARAGE WALLS UP TO 9'0" BUT VARYED WITH LOADS.

UNLESS OTHERWISE NOTED ALL MEMBERS BEARING ON WOOD MUST BE 1/2" MIN.

UNLESS OTHERWISE NOTED ALL MEMBERS BEARING ON CONC. OR MASONRY MUST BE 3" MIN.

ALL FRAMING FOR BRD WALLS AND PLATES IS 8"X12 UNLESS NOTED. ALL BRACING ON EXTERIOR WALLS IS 1/2" O.C. UNLESS NOTED. BRD SHOULD NOT BE NOTICED MORE THAN 1/2" OF DEPTH.

WOOD FRAMED WALLS MUST COMPLY WITH 1612 OF CODEBOOK, CHAPTER 3 COPY TABLE 2.3.2-A.

EXTERIOR HEADERS TO EXTERIOR OR BEARING ON EXTERIOR SIDE OF WALLS AND INTERIOR SIDE OF EXTERIOR BRD ON INTERIOR SIDE. ALL INTERIOR BRD MEASURE TO THE ROUGH BRD.

FRAMER TO INCLUDE BACKERS FOR CROWN HOLDING WALL PANELING, DECORATIVE BEAMS/TRUSSES AND VERTICAL BORDS IF APPLICABLE.

FIRE BLOCKING

INCLUDE FIRE BLOCKING & FLOOR LEVELS CONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES AT TOP & BOTTOM OF STAIRWAY STRINGERS.

REFERENCE FLOOR PLANS FOR HEADER HEIGHTS.

ALL HEADERS ON EXTERIOR WALLS OR LOAD BEARING WALLS ARE NOTED ON PLAN. ALL HEADERS ARE DROPPED UNLESS NOTED OTHERWISE.

DOUBLE SHOULDER STUDS FOR HEADERS OVER A WIDE IN BEARING WALLS.

DOUBLE SHOULDER STUD FOR HEADERS OVER A WIDE.

ALL INTERIOR OPENINGS THAT HAVE DROPPED HEADERS ARE TO MATCH HEIGHT OF INTERIOR ROOMS. ALL OPENINGS TO HAVE DETAIL FINISH UNLESS NOTED TO BE CAMEO.

BUILDER MUST FOLLOW ALL INSTALLATION INSTRUCTIONS PROVIDED BY LOGIX, LVL, FLOOR TRUSS, TALL WALL OR ROOF TRUSS MFG. REFER TO PRODUCT INSTALLATION GUIDE FOR ALL CONNECTION DETAILS.

ALL HOLES IN HANGERS, ANGLES, BRACKETS, CLIPS, AND TIE DOUGS MUST BE FILLED WITH THE APPROPRIATE MATERIALS PER THE MANUFACTURERS SPEC.

HEADERS

ALL REFERENCE TO WOOD STOVE, FIREPLACE, PLUMBING, CHIMNEY AND ROOFING FOR FIREPLACE ARE FOR SUGGESTED LOCATIONS ONLY. THE CONTRACTOR MUST MAKE SURE THAT WOOD STOVE, FIREPLACE STRUCTURE MEET OR EXCEEDS ALL APPLICABLE BUILDING CODES. NO BUILDING STRUCTURE SHALL REST ON OR BE WITHIN 2" OF WOOD STOVE, FIREPLACE STRUCTURES AND EACH SPACE MUST BE FIRE STRIPPED WITH NON-COMBUSTIBLE MATERIALS. ALL STOVES AND PIPES MUST BE INSTALLED IN COMPLIANCE WITH MANUFACTURERS SPECIFICATIONS.

DUE TO ANY DEVIATION OF THE PLANS, ALL CHIMNEY CHASES SHALL BE FRAMED 2" ABOVE ANY ROOF OR SHALL WITHIN 1" OF THE TOP OF THE CHASE OR 3" ABOVE ADJACENT RIDGE LINE.

ANYTIME FIREPLACE IS WOOD BURNING, THE ENTIRE CHIMNEY CHASE MUST BE INSULATED TO PEAK TO PREVENT CONDENSATION AND BACKDRAFTS.

BUILDER SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF PROPER METAL FLASHING MATERIALS IN ALL LOCATIONS THAT REQUIRE THIS MATERIAL.

BUILDER TO VENT DRYER AND RANGE EXHAUST TO EXTERIOR.

ABBREVIATIONS

AB.	ANCHOR BOLT	H.D.	HIGH DENSITY INSULATION
APP.	APPROXIMATELY	LB/LF	LEAD BEARING WALL
BTR	BETTER	MFR	MANUFACTURER
CAB	CABINET	FIN	FINISH
CANT	CANTILEVER	O.C.	ON CENTER
CATH	CATHEDRAL	O.H.	OVERHEAD
CE	CELLAR	P.T.	PRESSURE TREATED
CV	CENTRAL VAC OUTLET	REQD	REQUIRED
CONC.	CONCRETE	R.O.	ROUGH OPENING
CONV.	CONVENTIONAL	R.G.	ROUGH GROUND
DAL	DANIEL	SH	SHIELD AND POLE
DCH	DUPLEX	SG	SQUARE
DPT	DUPLEX	T.B.	TIE BAR
DR	DRAWER	T.R.	TOLERANCE
DS	DRAWER	T.R.	TOLERANCE
EXT.	EXTERIOR	TYP.	TYPICAL
FIBERGLASS	FIBERGLASS	VOL	VOLUME
FD	FOUNDATION	VAN	VANITY
FG	FOOTING	VB	VAPOR BARRIER
G.B.	GARAGE BAR	W	WALL
G.D.	GARAGE DISPOSAL	WT	WALL POINT

DECAY-RESISTANT MATERIAL

IF THIS PROJECT IS BEING BUILT IN AN AREA WHERE NECTS (SUCH AS TERMITES, BEETLES OR CARPENTER ANTS) ARE KNOWN TO EXIST, BUYER IS RESPONSIBLE TO DETERMINE IF ANY PROTECTIVE MEASURES ARE NEEDED AGAINST SUCH NECTS.

NO RESPONSIBILITY WILL BE ASSUMED BY DESIGN & STYLE LLC FOR VARYING OR UNUSUAL SOIL CONDITIONS AFFECTING FOUNDATION DESIGN. OWNER OR BUILDER TO VERIFY SOIL BEARING CAPACITY AND GRADES AND SHALL INSTALL FOUNDATION IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.

ALL UNREATED WOOD PRODUCTS MUST MAINTAIN A 6" MINIMUM ABOVE GRADE EXCEPT SIDING MUST MAINTAIN A 6" MINIMUM ABOVE GRADE.

ALL P.T. MATERIAL SPECIFIED ON PLAN IS:

- 4X4 BTR #1 & BTR #4
- 4X6 BTR #1 & BTR #4
- 2X10 BTR #1 & BTR #4
- 2X12 BTR #1 & BTR #4

DECAY RESISTANT WOOD MUST BE USED ON ANY JOISTS LESS THAN 18" FROM EARTH, GIRDERS LESS THAN 12" FROM EARTH, ALL LESS THAN 8" FROM EARTH.

JOISTS SHALL NOT BE LESS THAN 18" FROM EARTH UNLESS PREVENTIVE DECAY MEASURES ARE TAKEN.

GIRDERS SHALL NOT BE LESS THAN 12" FROM EARTH UNLESS PRESERVATIVE DECAY MEASURES ARE TAKEN.

IF GRADE DROPS BELOW 8" OF THE TOP OF FOUNDATION THE FRAMER IS TO PROVIDE FURRING STRIPS IN THE EXTERIOR SIDE OF THE FOUNDATION WALL FOR SIDING ATTACHMENT.

ROOF

ROOF FRAMING MEMBERS & TRUSS MATERIAL IS MADE FROM ENGINEERED GRADED LUMBER.

ROOF FRAMING MEMBERS SPANNING MORE THAN 8' AND HEAVIER FROM THE DOWNWARD EDGE OF THE ROOF SHALL BE PERMANENTLY FASTENED TO THE TOP PLATE OF LOAD BEARING WALLS USING ENGINEERED CLIPS, STRAPS OR HANGERS.

ALL ROOF TRUSSES ARE TO BEAR ON EXTERIOR WALLS (UNLESS NOTED).

TRUSS MEMBERS SHALL NOT BE CUT, BORED OR NOTICED ONLY IF NOTICING OR BORING OF ENGINEERED WOOD PRODUCTS SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PROVIDED THESE INSTRUCTIONS WERE DEVELOPED THROUGH STRUCTURAL ANALYSIS OR PRODUCT TESTING.

BUILDER TO FOLLOW TRUSS MANUFACTURER TRUSS LAYOUT AND SPECIFICATIONS.

IF TRUSS HEIGHT VARIES FROM THE ARCHITECTURAL PLANS, IT IS THE RESPONSIBILITY OF THE TRUSS MFG TO CONTACT DESIGN & STYLE LLC SO ANY ACCOMMODATIONS CAN BE MADE IN WINDOW SIZES OR ANY OTHER BUILDING MATERIALS & LABOR AFFECTED BY THIS CHANGE.

COVER ALL ROOF SHEATHING AS SOON AS POSSIBLE WITH ROOFING FELT OR SINGLE UNDERLAYMENT FOR PROTECTION AGAINST EXCESSIVE MOISTURE PRIOR TO ROOFING APPLICATION.

ANY GABLE ROOF OVERHANG OF MORE THAN 12" SHALL BE PROVIDED WITH LADDERS WHICH EXTEND INTO THE EXTERIOR. THE LADDERS SHALL BE FASTENED TO THE INTERIOR END OF EACH LADDER SHALL BE ATTACHED TO A RAFTER OR TRUSS WITH A HANGER. THE TOP CHORD OF THE TRUSS IS DROPPED FOR THIS EXTENSION BACK INTO ROOF.

MASONRY

COLD WEATHER WORK: WHEN AMBIENT AIR TEMPERATURE IS BELOW 40 DEG. F, THE COLD WEATHER CONSTRUCTION PROCEDURES UNDER ACI 308.1 SHALL BE FOLLOWED.

GORBELLS ARE NOT TO EXCEED 1' AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 308.

TYPES OF MORTAR FOR VARIOUS KINDS OF MASONRY MUST FOLLOW 1/2" DEPTH OF COURSE, CHAPTER 3 COMPLY TABLE 2.3.2-A.

MASONRY OR BRICK VENEER SHALL BE ABOVE ABOVE FINAL EXTERIOR GRADE UNLESS THERE IS THROUGHSHALL FLASHING AT GRADE OR WITHIN 3 COURSES ABOVE GRADE.

VENEERS SHALL BE ANCHORED OR ADHERED IN ACCORDANCE WITH ACI 308.1 & ACI 308.3.

ANY WOOD FRAMED WALL WHERE BRICK IS LOCATED A MIN. 1" AIRSPACE SHALL BE PROVIDED BETWEEN BRICK AND THE WALL SHEATHING UNLESS A MANUFACTURER SPECIFIED MATERIAL IS USED. ALSO, INSTALL LAYER TAR PAPER AND 1 LAYER TYVEK OVER THE SHEATHING (TYP).

VENEER FLASHING SHALL CONSIST OF MATERIALS THAT ARE DURABLE AND PERMANENTLY WEATHER RESISTANT. FLASHING SHALL BE INSTALLED AT THE BOTTOM OF VENEER AND SHALL EXTEND OVER THE TOP OF THE FOUNDATION AND UP AT LEAST 8" AND BE EMBEDDED IN THE BACKING COURSE.

WEATHERSHIELD SHALL BE 3/8" MIN. DIA. LOCATED EVERY 2' AND NOT BE PLACED BELOW FINAL GRADE.

1. CONCRETE TO BE EMBEDDED IN 2" JOINT REQUIRED ON EVERY 2 SQ. FT. OF VENEER

REPRESENTS MASONRY VENEER PRODUCT UNLESS OTHERWISE SPECIFIED

BRACED WALL ENGINEERING

IF A TALL WALL IS CALLED OUT ON THE PLANS, IT IS THE RESPONSIBILITY OF THE TALL WALL SUPPLIER TO DESIGN THAT SECTION OF TALL WALL SECTION FOR BRACED WALL ENGINEERING.

CS LWP REPRESENTS: CONTINUOUS SHEATHED WOOD STRUCTURAL PANEL.

FIN. BRACED MATERIAL THICKNESS OR SIZE: 2"X8 FOR MAX. 12' O.C. BRD SPACING. 2"X10 FOR MAX. 14' O.C. BRD SPACING.

FIN. FASTENERS: #6 COPPER NAIL OR #4 BOW NAIL (7 1/2" LONG X 0.93" DIA) OR 1/2" CROWN X GAGE STAPLES, 1 1/4" LONG.

MAX. SPACING: 8' EDGES, 12' FIELD (NAIL) 3' EDGES, 6' FIELD (STAPLES)

NMPER REPRESENTS: BRACING LENGTH

FP REPRESENTS: FIELD PORTAL

FIN. BRACED MATERIAL THICKNESS OR SIZE: 2"X8

FIN. FASTENERS: FASTEN SHEATHING TO HEADER WITH #6 COPPER OR GALVANIZED BOW NAILS IN 3" GRID PATTERN.

HEADER TO JACK-BIRD STRAP ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING. STRAP CAPACITY SHALL EQUAL 1000 LBS OR 4000 LBS, WHATEVER ONLY WALL IS PRESENT.

FIN. BRD. STED FRAMING COVERED WITH FIN. 1/2" WOOD STRUCTURAL PANEL. BRACING WITH #6 COPPER OR GALVANIZED BOW NAILS AT 3' O.C. IN ALL FRAMING (BRD, BLOCKING AND SILL) TYP.

MAX. SPACING: 8' EDGES, 12' FIELD (NAIL) 3' EDGES, 6' FIELD (STAPLES)

NMPER REPRESENTS: BRACING LENGTH

FIN. FASTENERS: TOUSE WRAP HOLDER TOUSE WRAP

OS REPRESENTS: GYPHUM BOARD (INSTALLED BOTH SIDES OF WALL)

FIN. BRACED MATERIAL THICKNESS OR SIZE: 2"X8 FOR MAXIMUM 12' O.C. BRD SPACING

FIN. FASTENERS: #6 COOLER NAILS OR 1/2" SCREWS

PRELAP WOOD JOIST & GENERAL NOTES

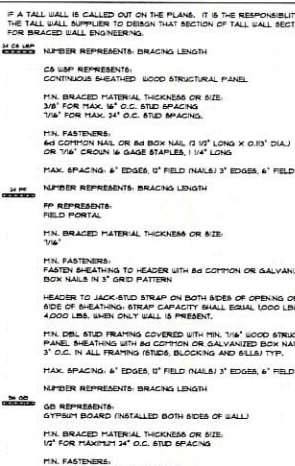
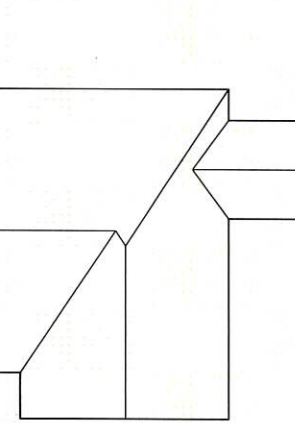
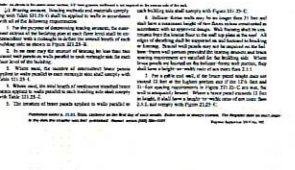
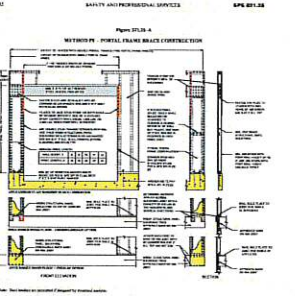
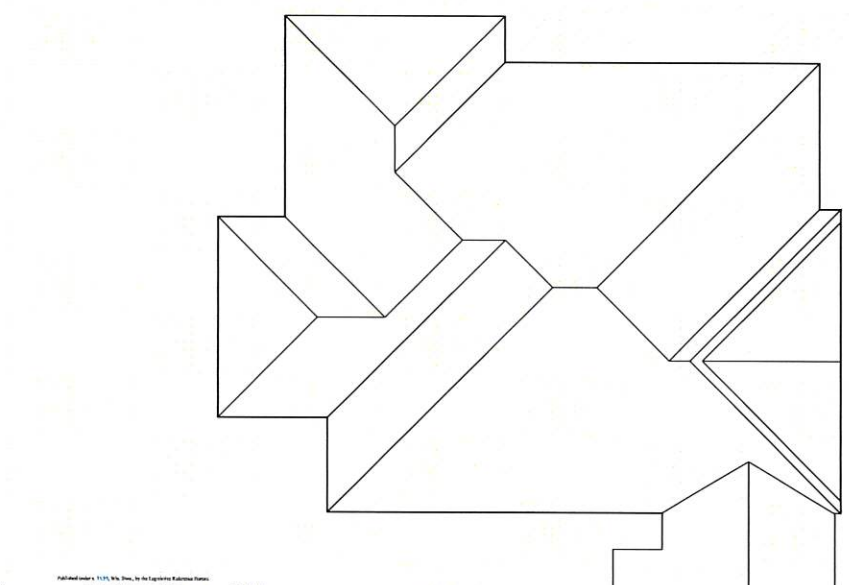
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DUE TO ANY DEVIATION OF THE PLANS, ALL CHIMNEY CHASES SHALL BE FRAMED 2" ABOVE ANY ROOF OR SHALL WITHIN 1" OF THE TOP OF THE CHASE OR 3" ABOVE ADJACENT RIDGE LINE.

ANYTIME FIREPLACE IS WOOD BURNING, THE ENTIRE CHIMNEY CHASE MUST BE INSULATED TO PEAK TO PREVENT CONDENSATION AND BACKDRAFTS.

BUILDER SHALL BE RESPONSIBLE FOR PROPER INSTALLATION OF PROPER METAL FLASHING MATERIALS IN ALL LOCATIONS THAT REQUIRE THIS MATERIAL.

BUILDER TO VENT DRYER AND RANGE EXHAUST TO EXTERIOR.



ROOF CONCEPT

OVERHANGS: OVERHANGS MEASURE FROM OUTSIDE OF SHEATHING TO OUTSIDE OF SUBPASCIA

EAVE OVERHANGS ARE 1'-4"

GABLE OVERHANGS ARE 1'-4"

TRUSS MFG MUST INFORM D4S OF GIRDER TRUSS LOCATIONS AND POINT LOADS THAT LAND ABOVE WINDOWS. HEADERS MUST BE VERIFIED & THESE LOCATION TO MAKE SURE ADEQUATE.

1" PRE-FINISHED BEAPLESS ALUMINUM GUTTER

3"X4" PRE-FINISHED RECTANGULAR DOWNSPOUTS INCLUDE GUTTER GUARDS

IF APPLICABLE:

1. INCLUDE 4" DEEPER OVERHANGS
2. IF GABLE OVERHANGS EXCEED 12" IN DEPTH, THEN TRUSS MFG TO DROP TOP CHORD ON GABLE TRUSSES FOR OVERHANG OUTLOOKERS.

FINAL CONSTRUCTION PLANS

BUYER: _____ DATE: _____

DESIGNER: _____ DATE: _____

1ST FLOOR:	3845 SQ. FT.
2ND FLOOR:	2380 SQ. FT.
ENTERTAINING:	2214 SQ. FT.
TOTAL:	8439 SQ. FT.
ATTACHED GARAGE:	1079 SQ. FT.
DETACHED GARAGE:	771 SQ. FT.
ROAD COVERED PORCH:	175 SQ. FT.
SIDE COVERED PORCH:	83 SQ. FT.

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MILWAUKEE, WI 53233
TEL: 414.224.1111
WWW.DESIGNANDSTYLE.COM

ROB MILLER Homes

FINAL PLANS
11.18.25

NOTICE TO CONTRACTORS
PLEASE READ THESE NOTES CAREFULLY BEFORE BIDDING. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 WISCONSIN UNIFORM DWELLING CODE (UDC) AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.

OWNER: MEGAN STEINER
ADDRESS: N43 W23100 FIELDSTONE ROAD, FEWAUKEE, WI 53072

PAGE: 10 OF 10

I HAVE ACCEPTED THE PRELIMINARY DRAWINGS

CUSTOMER SIGNATURE:

DATE:

DOOR & WINDOW SCHEDULE

MAINTAIN LEVEL APPROACH TO ALL WALKDOORS *FIELD VERIFY ALL WINDOW SILL HEIGHTS*
SEE PAGE G1 FOR PLYCO ROUGH OPENING SIZES

TAG	DESCRIPTION	QUANTITY
①	Overhead Door Opening: 10' 0"x8' 0" @ 68' 6"	1
②	Overhead Door Opening: 10' 0"x8' 0" @ 19' 6"	1
③	Overhead Door Opening: 10' 0"x8' 0" @ 44' 0"	1
④	Overhead Door Opening: 14' 0"x14' 0" @ 27' 0"	1
⑤	Thermal Break - Plyco 92 Series 3068 Black Walk Door w/ 9-lite Window and Leverset	1
◇A	6' x 2' Fixed Window	5



Walters Buildings

Jack Walters & Sons, Corp.
P.O. Box 388
6600 Midland Ct.
Allenton, WI 53002
1-800-558-7800
www.waltersbuildings.com

**PRELIMINARY
PLANS - NOT FOR
CONSTRUCTION**

OWNER NAME:

Sam Steiner

OWNER ADDRESS:

WI, 53072

PROJECT NAME:

Gym - Original Quote

PROJECT ADDRESS:

WI, 53072

SALES REP / DEALER:

SALES REP/DEALER

DRAFTER:

Ross Neumann

ESTIMATOR:

Charles Smith

LAST SAVED BY:

DNELSON ON: 12/12/2025

PAPER SIZE:

ARCH FULL BLEED C (18.00 X 24.00 INCHES)

SCALE:

AS NOTED

ENGINEER:

Caynen Klessig

JOB NUMBER:

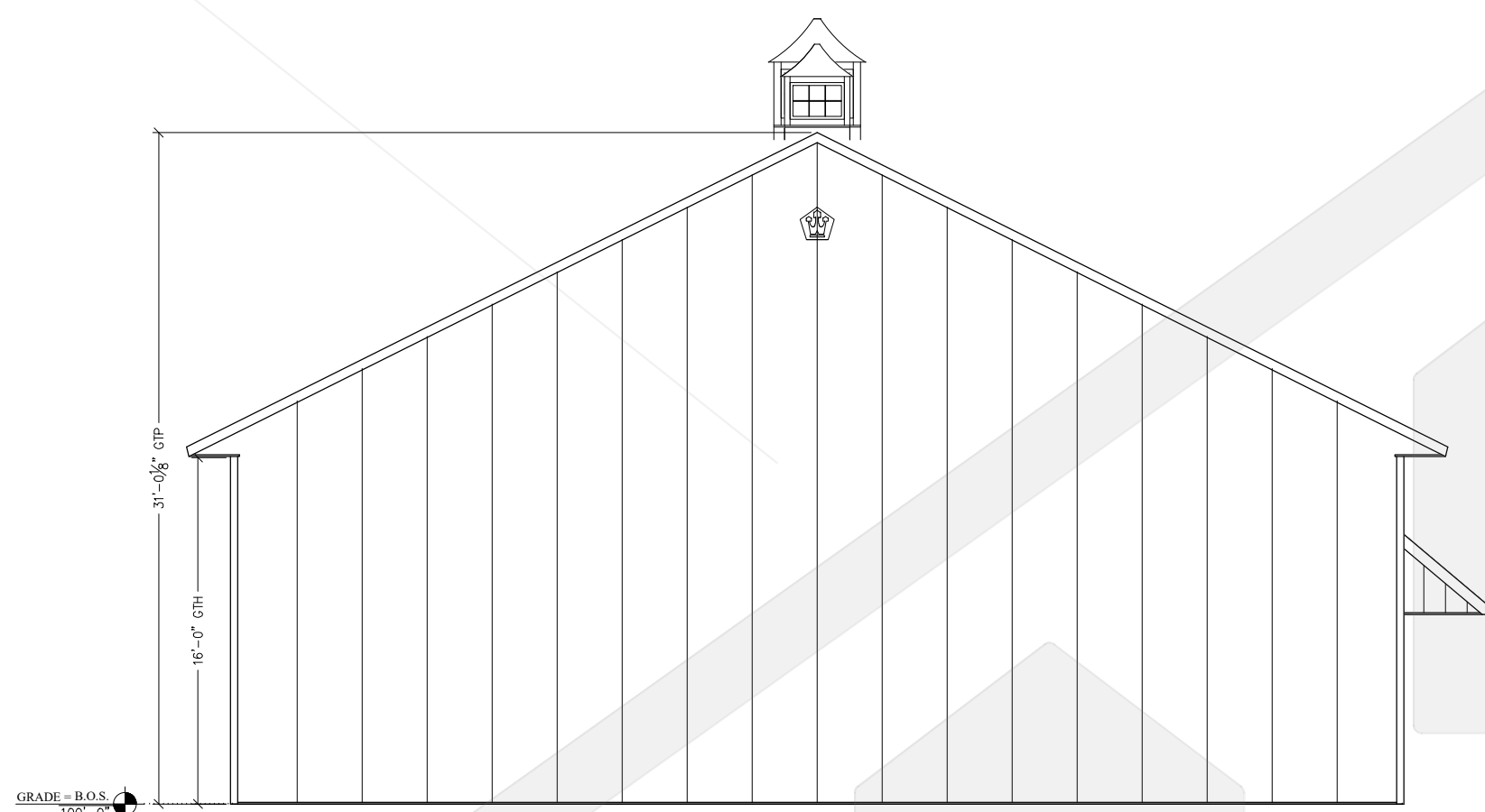
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PROJECT ID:

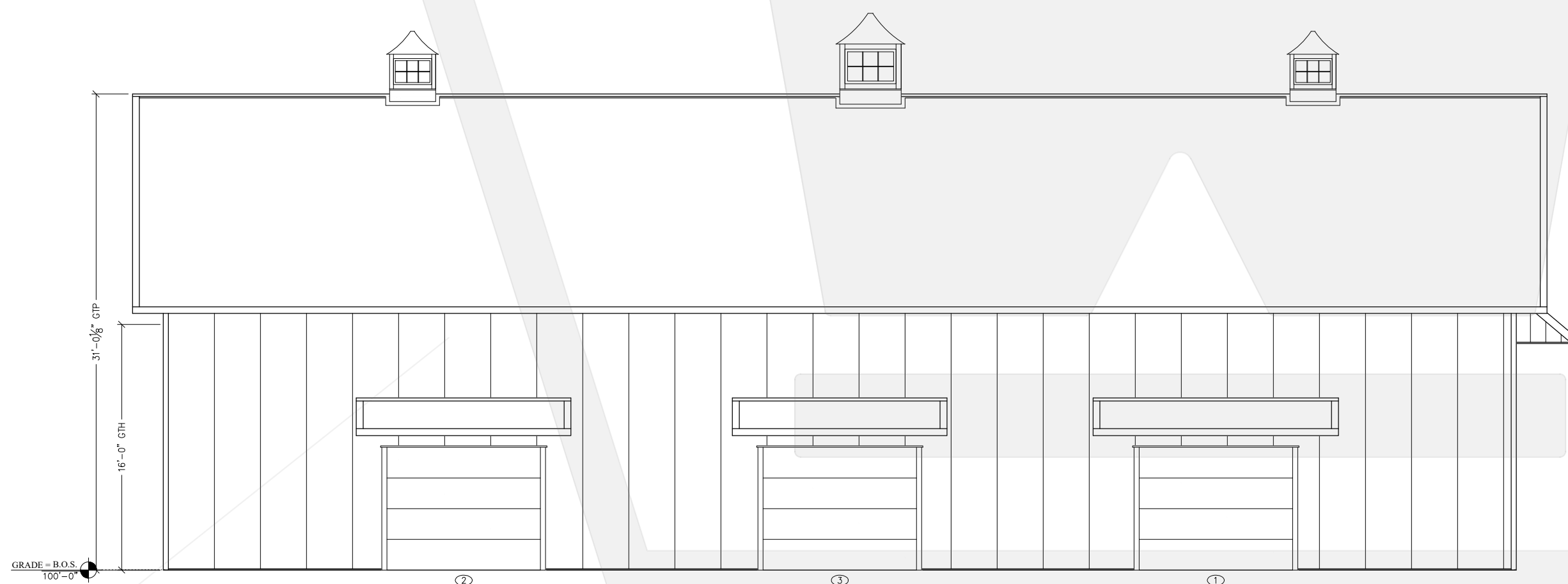
2025001453

SHEET NUMBER:

A1



1 LEFT END ELEVATION
A1 SCALE: 1/8" = 1'-0"



2 FRONT SIDE ELEVATION
A1 SCALE: 1/8" = 1'-0"

Notice: Design Intent Only

These drawings are the intellectual property of Walters Buildings and are provided solely for design and bidding purposes. They are not approved for construction and do not carry professional engineering certification. Structural or code-related revisions may be required to meet final approval.

I HAVE ACCEPTED THE PRELIMINARY DRAWINGS

CUSTOMER SIGNATURE:

DATE:

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Charles Smith

LAST SAVED BY:

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SCALE:

AS NOTED

ENGINEER:

Caynen Klessig

JOB NUMBER:

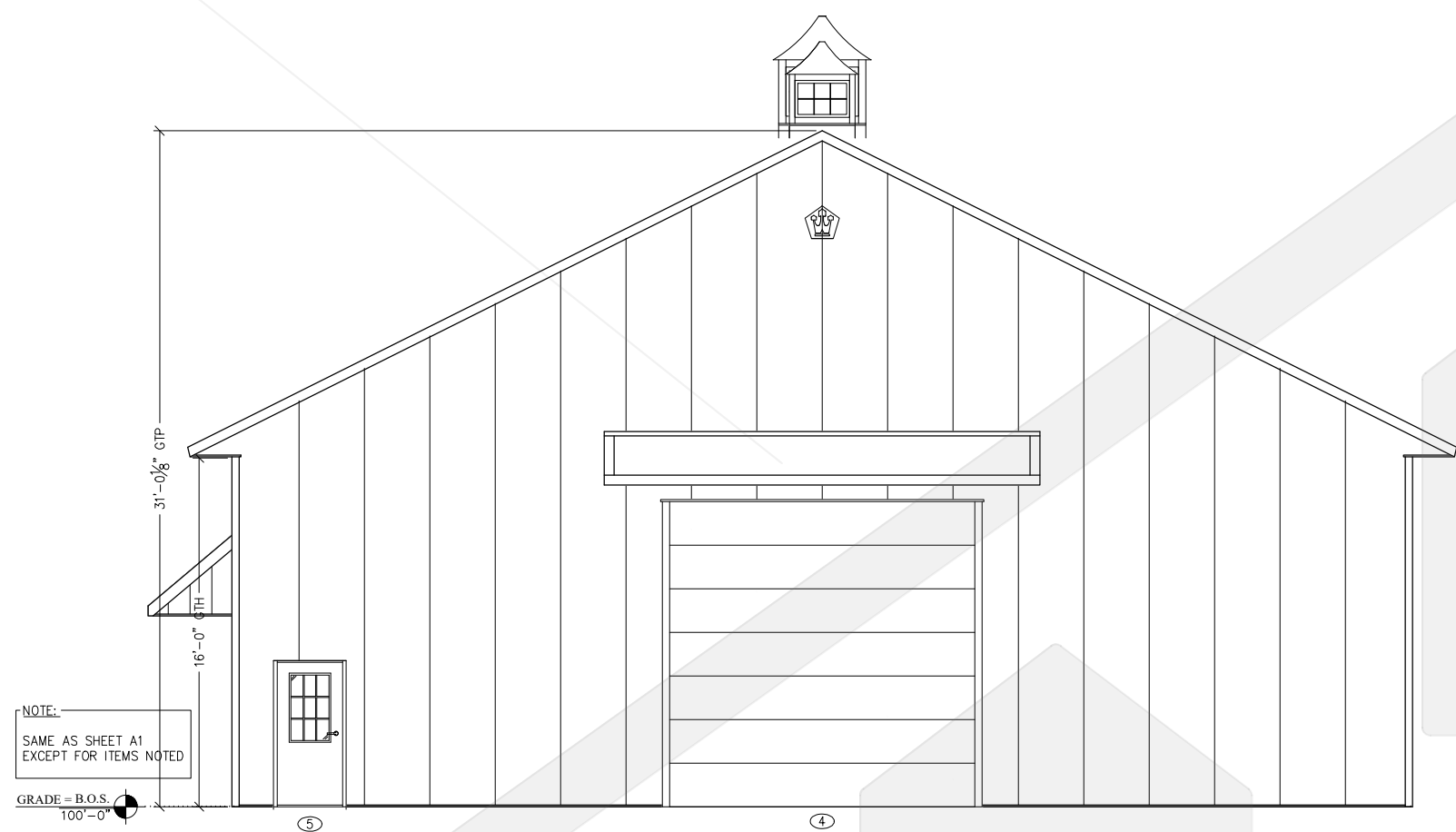
OUTPUT

PROJECT ID:

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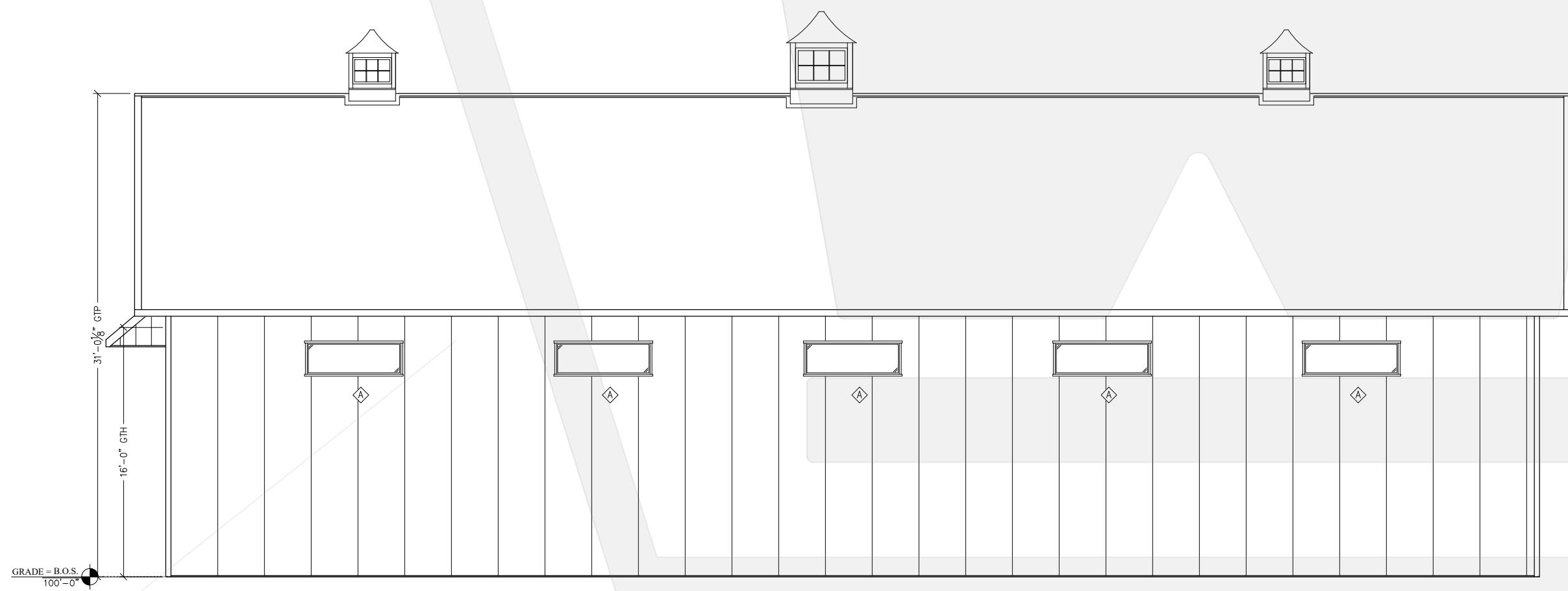
SHEET NUMBER:

A1.1



1 RIGHT END ELEVATION

A1.1 SCALE: 1/8" = 1'-0"



2 BACK SIDE ELEVATION

A1.1 SCALE: 1/8" = 1'-0"

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DATE:

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ESTIMATOR:
Charles Smith

LAST SAVED BY:
DNELSON ON: 12/12/2025

PAPER SIZE:
ARCH FULL BLEED C (18.00 X 24.00 INCHES)

SCALE:
AS NOTED

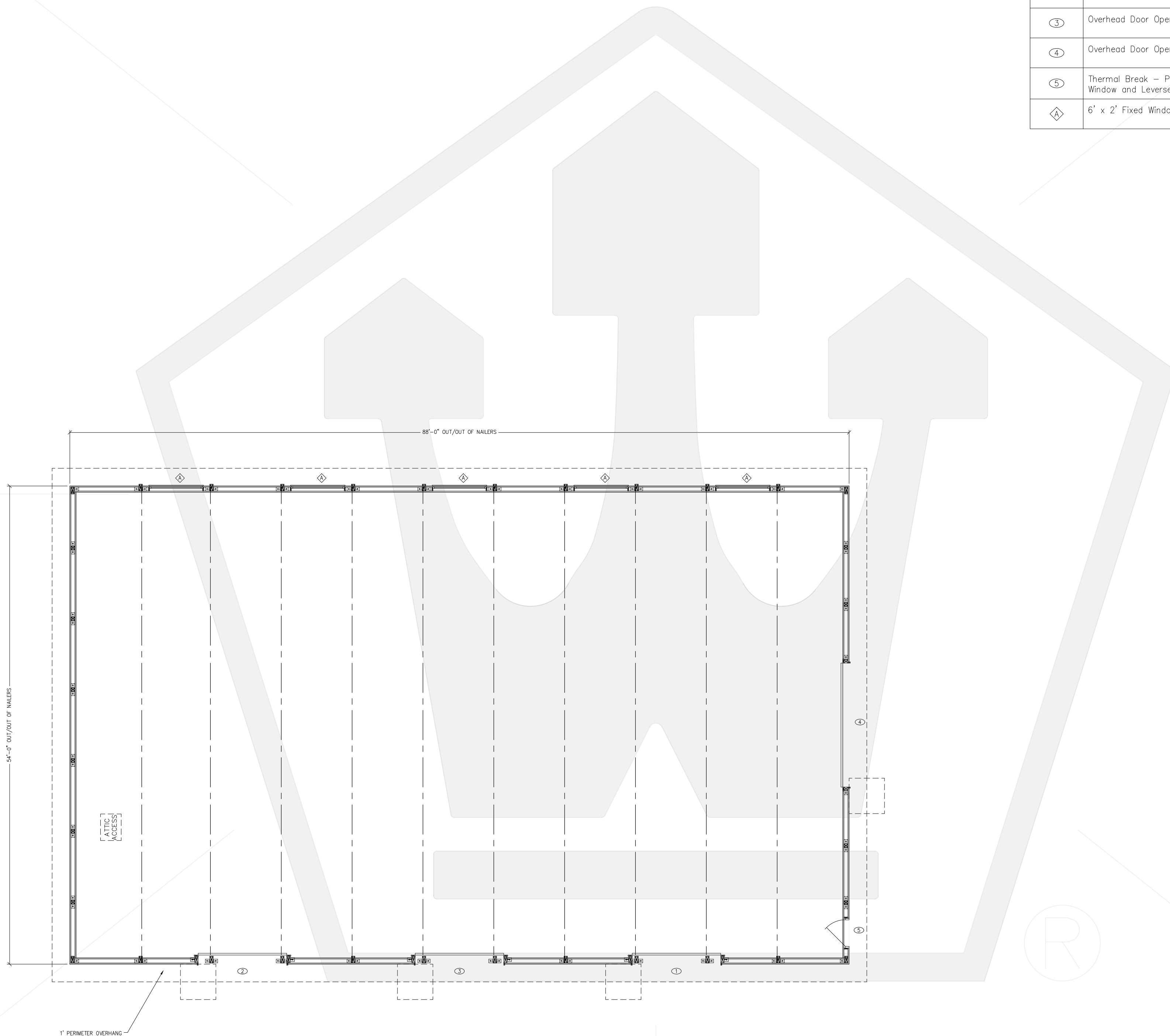
ENGINEER:
Caynen Klessig

JOB NUMBER:
OUTPUT

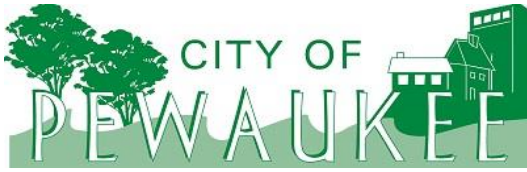
PROJECT ID:
2025001453

SHEET NUMBER:

S2



Notice: Design Intent Only
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Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of January 15, 2025

Date: January 7, 2026

Project Name: Bautz Boathouse Conditional Use

Project Address/Tax Key No.: N27W27074 Woodland Drive / PWC 0933119

Applicant: Brian and Beth Bautz

Property Owner: Brian and Beth Bautz

Current Zoning: Rs-7-Single Family Residential District, F-1 Floodplain District, and SO Shoreland Overlay District

2050 Land Use Map Designation: Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.) and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas

Use of Surrounding Properties: Pewaukee Lake to the north and single-family residential to the south, east and west

Project Description/Analysis

The applicant has filed a Conditional Use application and submitted plans for Plan Commission and Common Council review for the construction of a new boathouse upon property located at N27W27074 Woodland Drive.

The boathouse is located at the northeast corner of the property, has an area of approximately 294 square feet, and a height of fifteen feet. The boathouse consists of an overhead door on the front or north elevation, double service doors on the rear or south elevation and windows on the east side elevation. The exterior consists of fiber cement siding.

The plans provided show the boathouse ten feet from the east side property line and over five feet from the ordinary high-water mark. These setbacks are in conformance with the minimum required setbacks of the Zoning Ordinance. The property is also in conformance with lot coverage requirements of the Shoreland Overlay District and the mitigation plan previously approved by the Plan Commission.

The boathouse is partially located within the floodplain and construction of the boathouse shall comply with the requirements of Section 207-13B. of the Floodplain Zoning Ordinance.

In consideration of this review, it should be noted that the City defines a boathouse as “[a] structure designed to protect or store boats, which may be built no closer than five (5) feet from the ordinary high-water mark of a lake or stream.” Boat is defined as “[a] vessel that is designed to carry at least one individual on the surface of a body of water, and is propelled by oars, paddles, wind or motor power. Motor power includes, but is not limited to, power generated by steam engine, electric motor or combustion engine of any kind.”

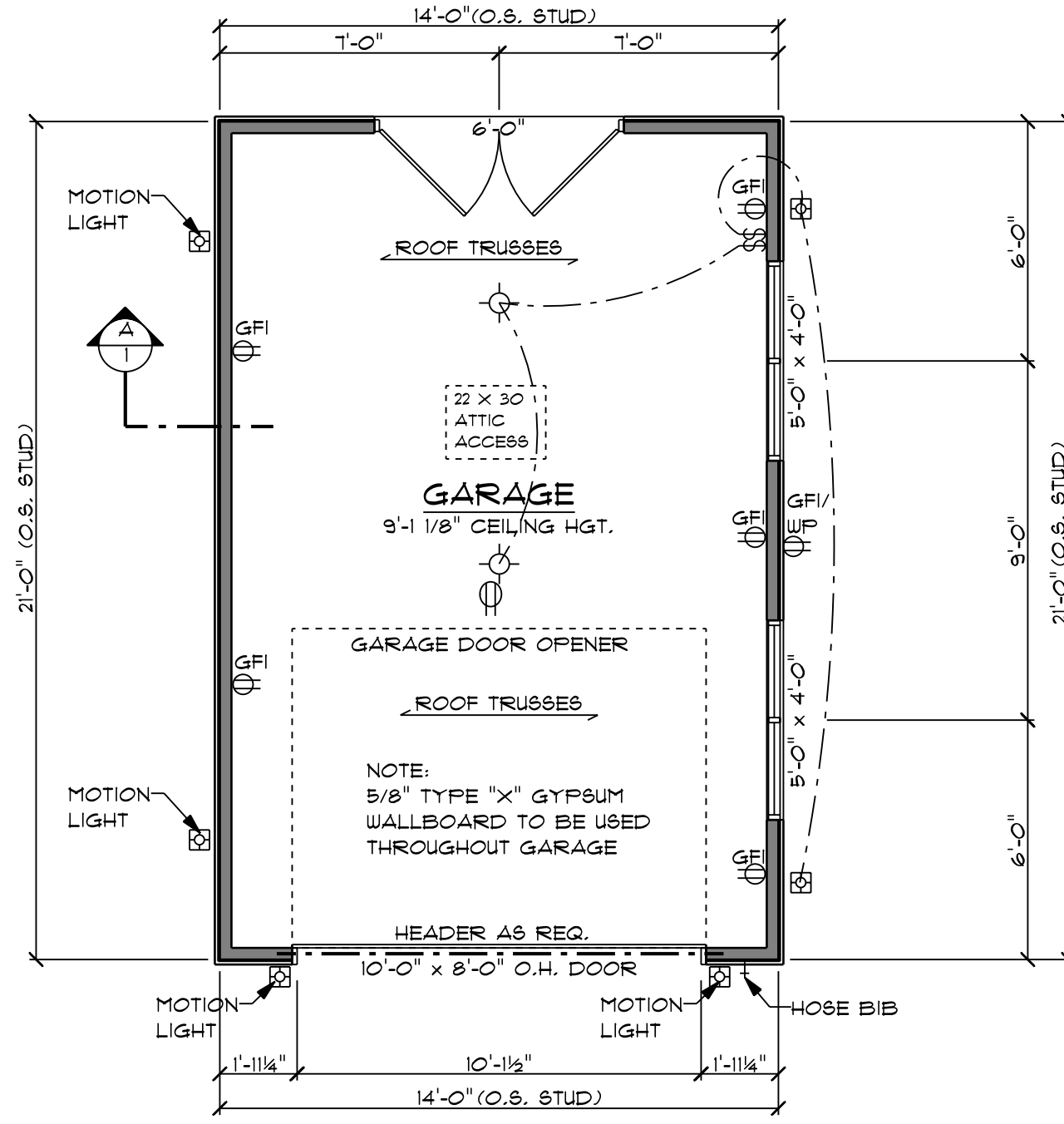
Furthermore, the State of Wisconsin defines a boathouse as “a permanent structure used for the storage of watercraft and associated materials and includes all structures which are totally enclosed, have roofs or walls or any combination of these structural parts.”

Recommendation

Staff recommends a motion to approve the Conditional Use application and plans for the construction of a new boathouse located at N27W27074 Woodland Drive.

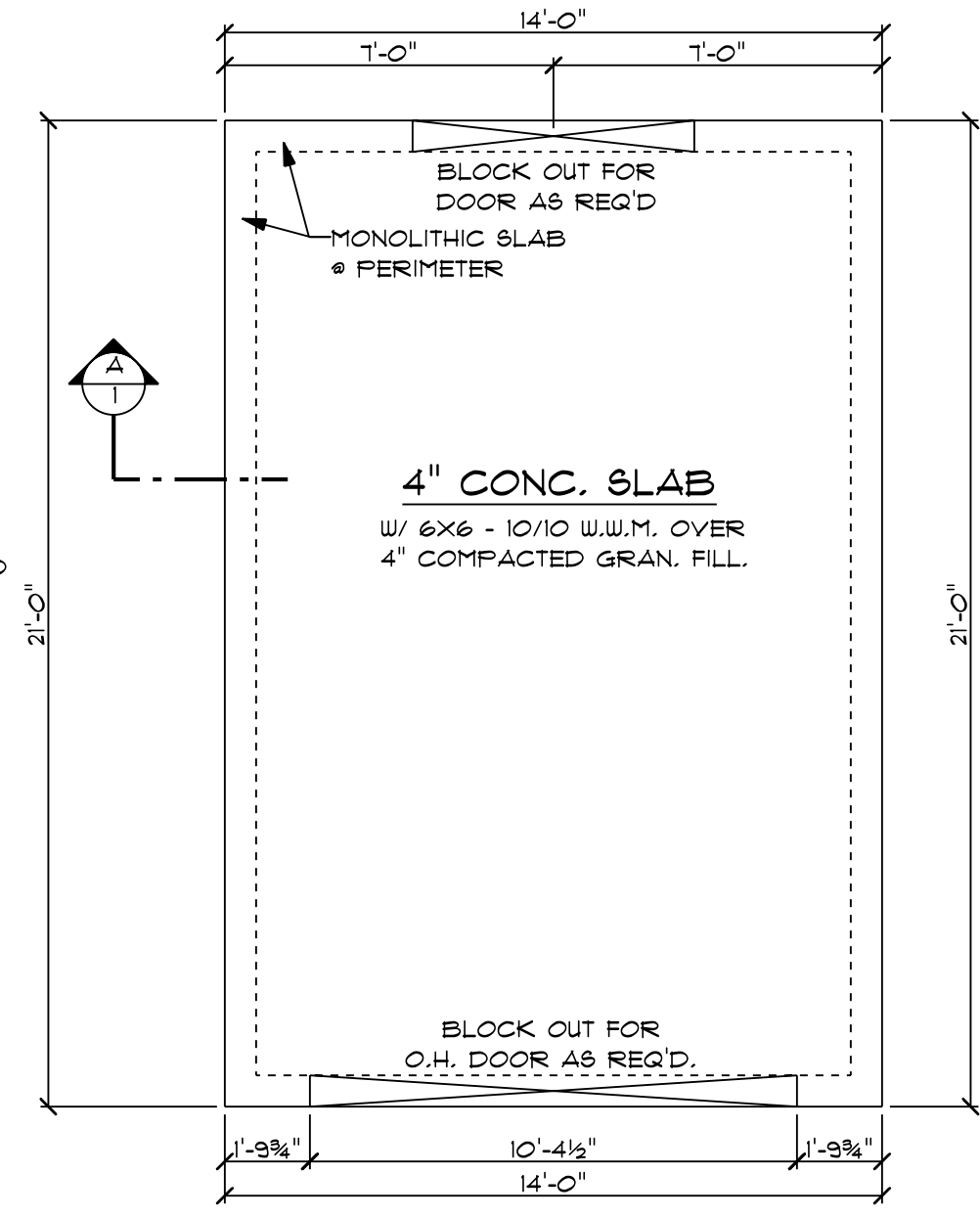
- FRAMING NOTES:**
- 9'-1 1/8" WALL HEIGHT/UNLESS NOTED
 - WINDOW R.O. DO NOT INCLUDE TRANSOMS OR ARCH TOPS.
 - ROOF TRUSSES TO BE DESIGNED & CERTIFIED BY AN ENGINEER, LICENSED IN THE STATE OR REGION OF CONSTRUCTION, FOR ALL DEAD & LIVE LOADS.
 - GARAGE WALLS 2x4's @ 16" O.C. ENGINEERED WALLS AS REQ'D
 - "MICROLAM" BEAM & EXTERIOR HEADER SIZES TO BE VERIFIED BY SUPPLIER.
 - 2x6 PLUMBING WALLS AS REQ.

- GENERAL NOTES:**
- CASEMENT WINDOWS / UNLESS NOTED TEMP. GLASS AS REQ. BY CODE.
 - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. RECOMMENDATIONS.
 - IT IS THE RESPONSIBILITY OF THE PLUMBING, ELECTRICAL AND HVAC SUB-CONTRACTORS TO DESIGN, BUILD THEIR SYSTEMS AND TO INSURE THAT THESE SYSTEMS ARE INSTALLED AND OPERATING PROPERLY.
 - IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
 - CONSTRUCTION MATERIALS REFERENCED HEREIN ARE FOR SCHEMATIC PURPOSES ONLY AND MAY NOT COMPLY WITH YOUR LOCAL ZONING OR SAFETY REGULATIONS. OWNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CHOICE AND SELECTION OF ALL CONSTRUCTION MATERIALS.
 - SMOKE DETECTOR (S)
 - VENT FAN (V)
 - SMOKE/CARBON MONOXIDE DETECTOR (S/CO)
 - INTERIOR WALL DIMENSIONS ARE TO CENTER OF STUDS.
 - EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF STUDS.



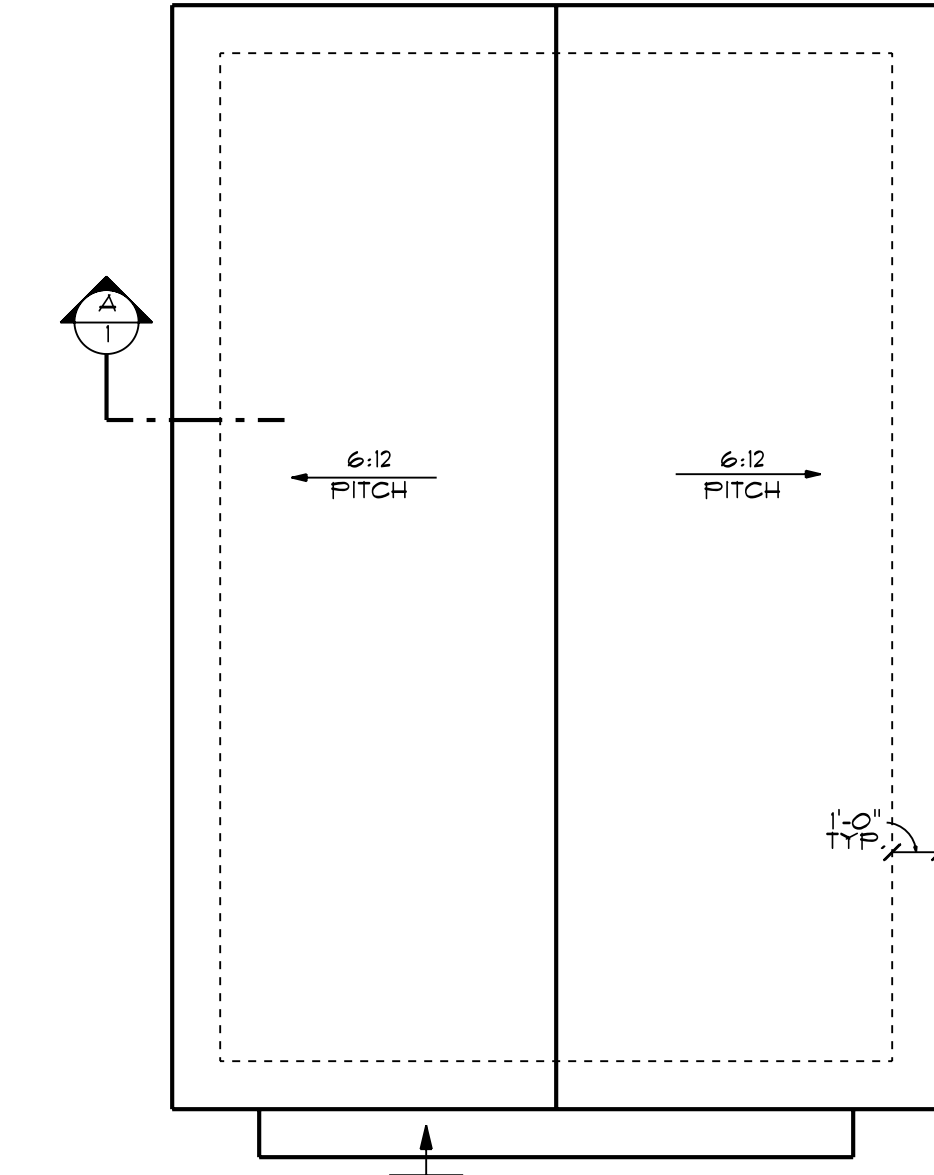
MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FOUNDATION NOTES:**
- 2,000 P.S.F. SOIL BEARING PRESSURE ASSUMED FOR FOOTING DESIGN. IF DIFFERENT CONDITIONS ARE ENCOUNTERED NOTIFY DESIGNER.
 - DO NOT BACKFILL BASEMENT WALLS UNTIL FIRST FLOOR IS IN PLACE.
 - 3,000 P.S.F. CONCRETE (TYPICAL)
 - DO NOT PLACE ANY FOOTINGS ON DISTURBED OR UNSTABLE SOIL - OVER EXCAVATE AND EXTEND FOOTING DEPTH.
 - CONCRETE WALL, FOOTING & PAD SIZES TO BE VERIFIED BY CONTRACTOR. REINFORCING SIZE & SPACING - BY OTHERS.
 - VERIFY DEPTH OF FROST FOOTINGS W/ LOCAL CODES, REGION AND SOIL BEARING.
 - PROVIDE TERNITE PROTECTION AS REQUIRED PER LOCAL CODE.
 - ACTUAL FLOOR JOIST LAYOUT & SPACING BY MFG.



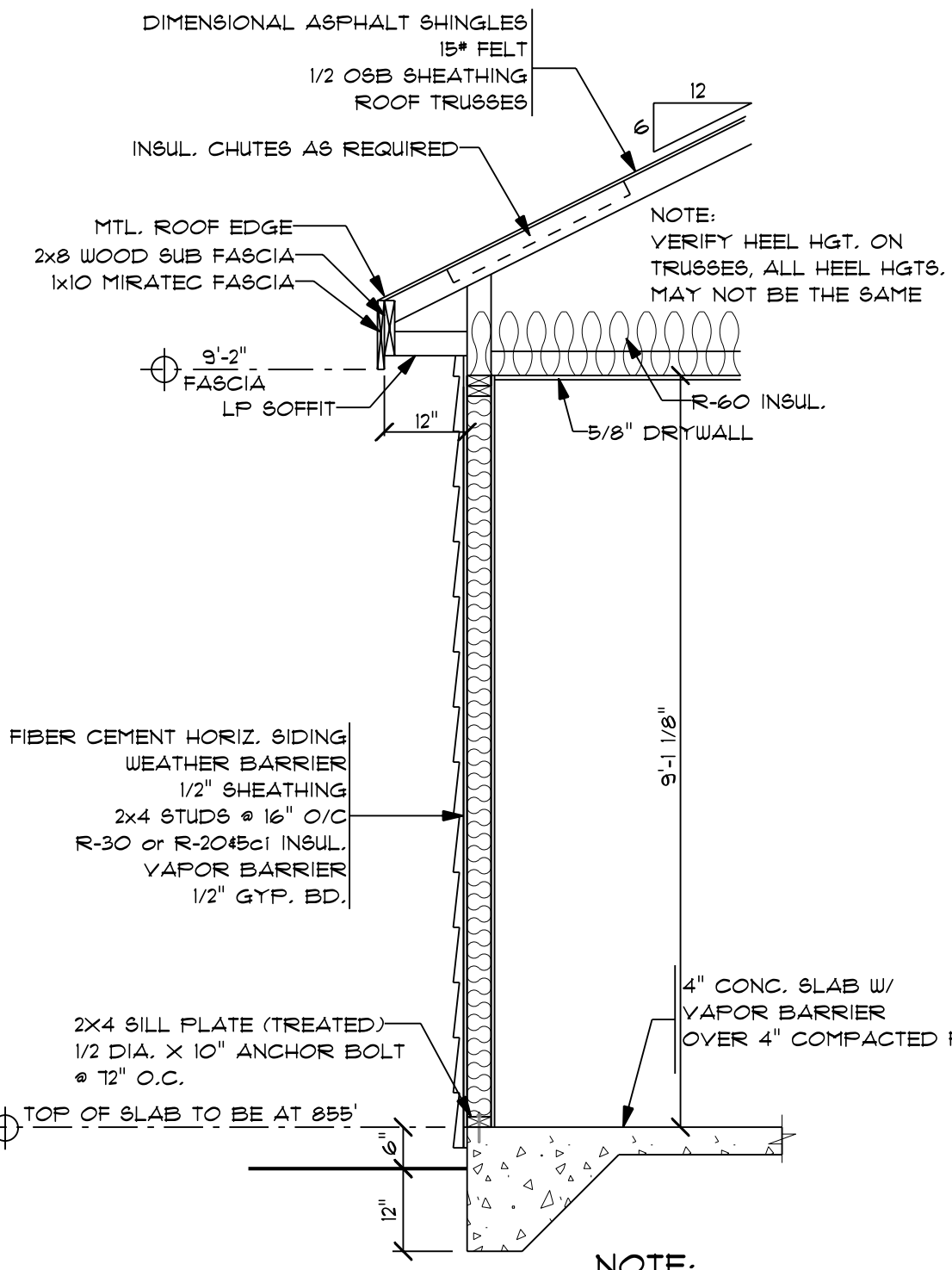
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE:
BUILDER TO VERIFY TOP OF SLAB TO BE AT 855'

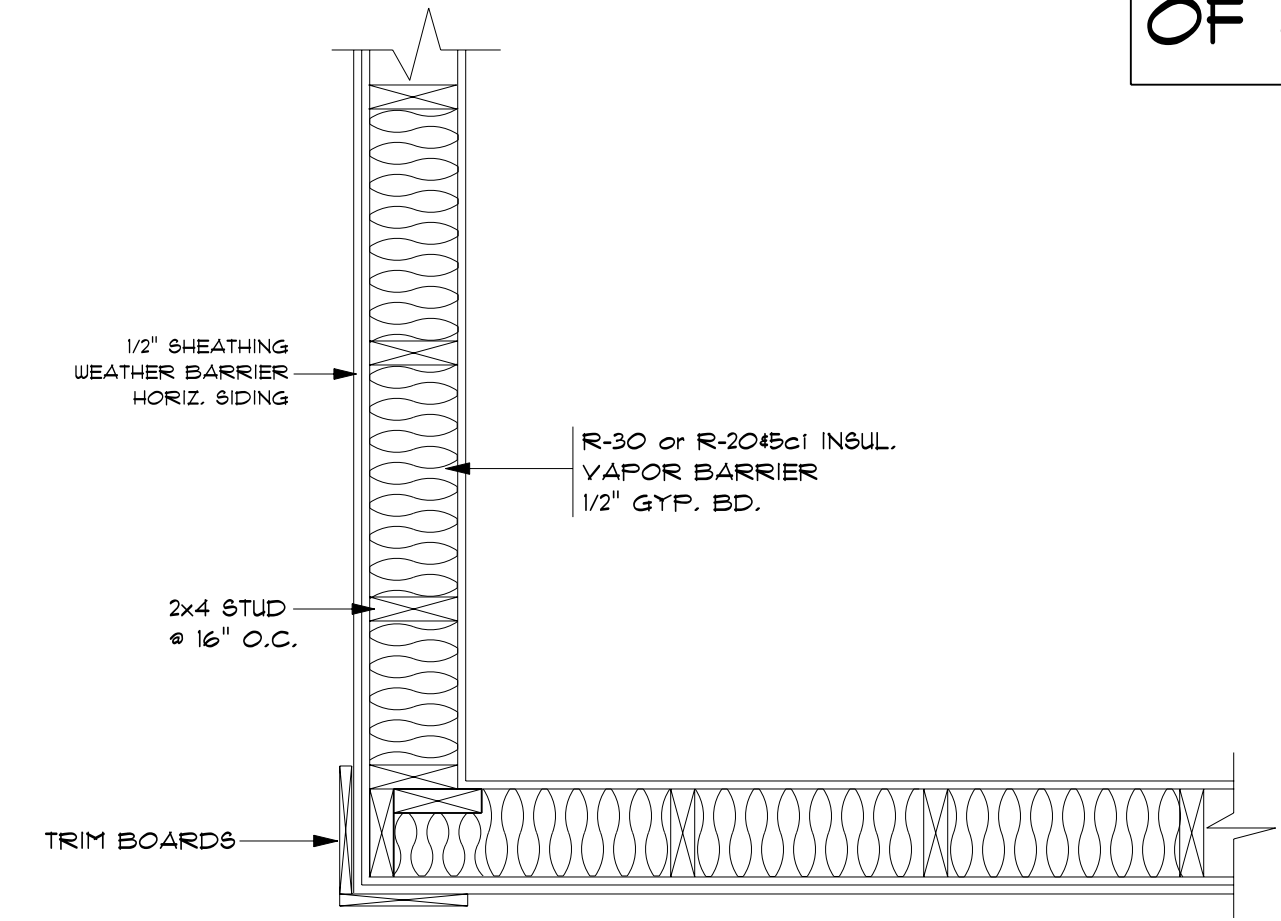


ROOF PLAN
SCALE: 1/4" = 1'-0"

- MATERIALS NOTES:**
- IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
 - CONSTRUCTION MATERIALS REFERENCED HEREIN ARE FOR SCHEMATIC PURPOSES ONLY AND MAY NOT COMPLY WITH YOUR LOCAL ZONING OR SAFETY REGULATIONS. OWNER OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CHOICE AND SELECTION OF ALL CONSTRUCTION MATERIALS.
- FLASHING TO BE INSTALLED:**
- AT WALL AND ROOF INTERSECTIONS
 - WHEREVER THERE'S A CHANGE IN ROOF SLOPE OR DIRECTION.
 - AROUND ROOF OPENINGS
- ICE PROTECTION:**
- 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET EXTENDED FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- ROOF DRAINAGE:**
- COLLECT AND DISCHARGE ALL ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST 5 FEET FROM FOUNDATION WALLS OR TO AN APPROVED DRAINAGE SYSTEM.
- ROOF DESIGN:**
- VERIFY HEEL HGTs. ON TRUSSES. ALL HEEL HGTs. MAY NOT BE THE SAME.
 - WALL HGTs. @ RAFTERED AREAS MAY NEED TO BE ADJUSTED UP OR DOWN TO MATCH HEELS @ TRUSSED AREAS SO FASCIA LINES MATCH UP. VERIFY HGTs. W/ TRUSS MFR.
- ROOF VENTILATION:**
- PROVIDE RIDGE VENTS AND SOFFIT VENTS AS REQ'D BY CODE.

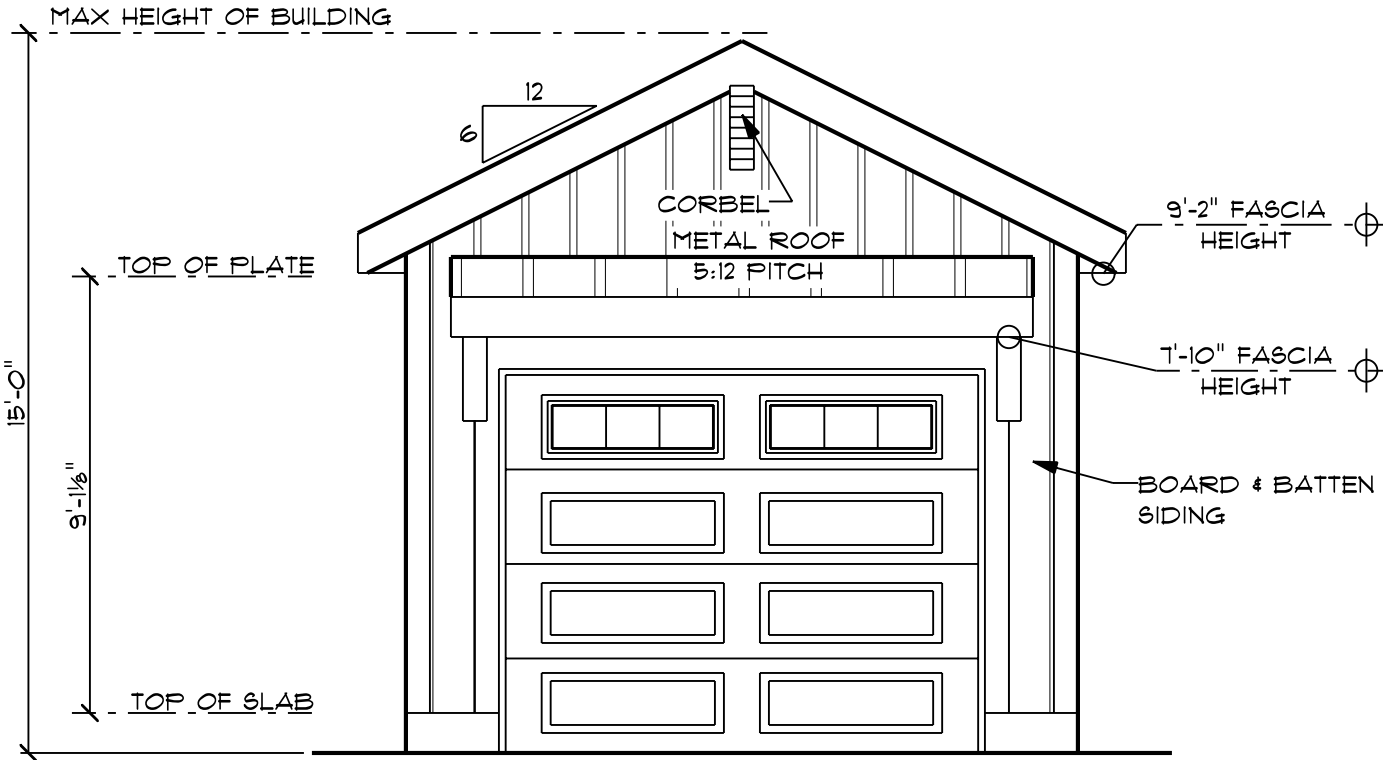


WALL SECTION 'A'
SCALE: 1/2" = 1'-0"

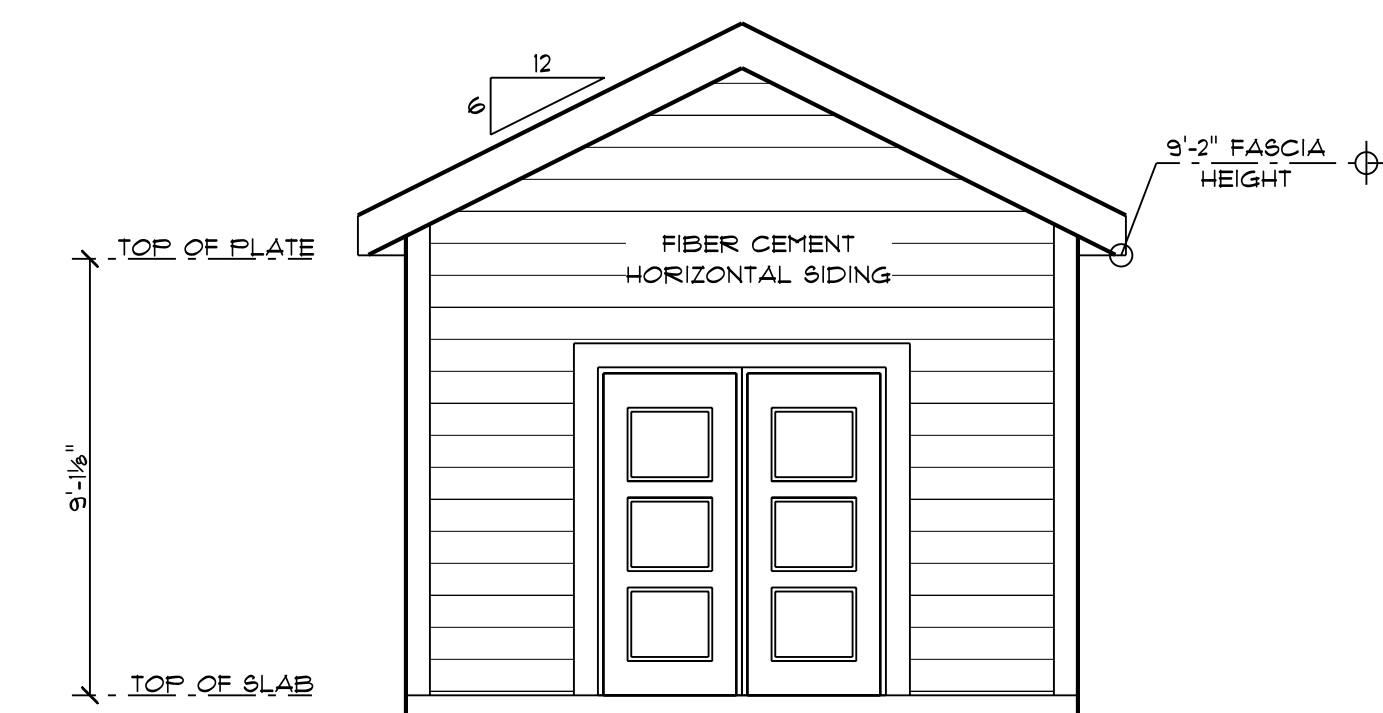


TYPICAL CORNER
• DOUBLE TOP PLATE

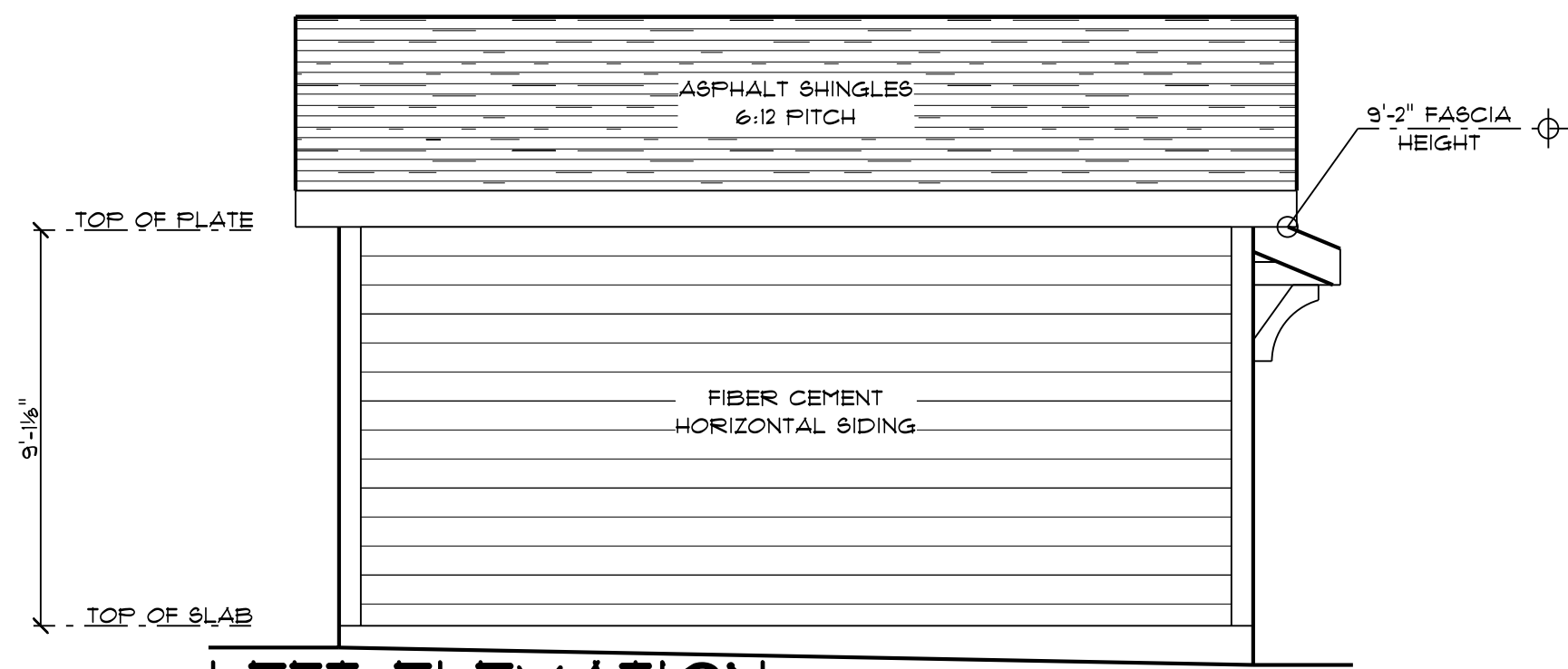
TYPICAL CORNER
• SOLE PLATE



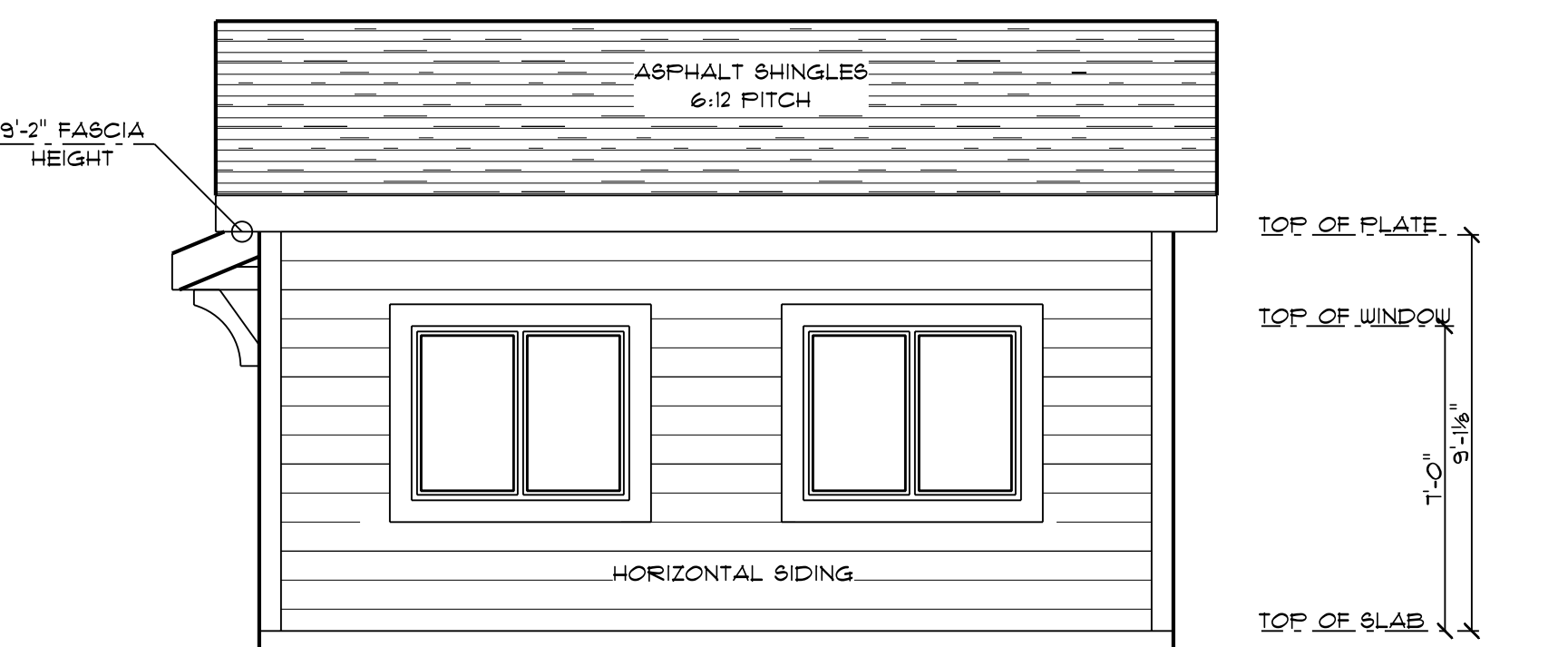
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



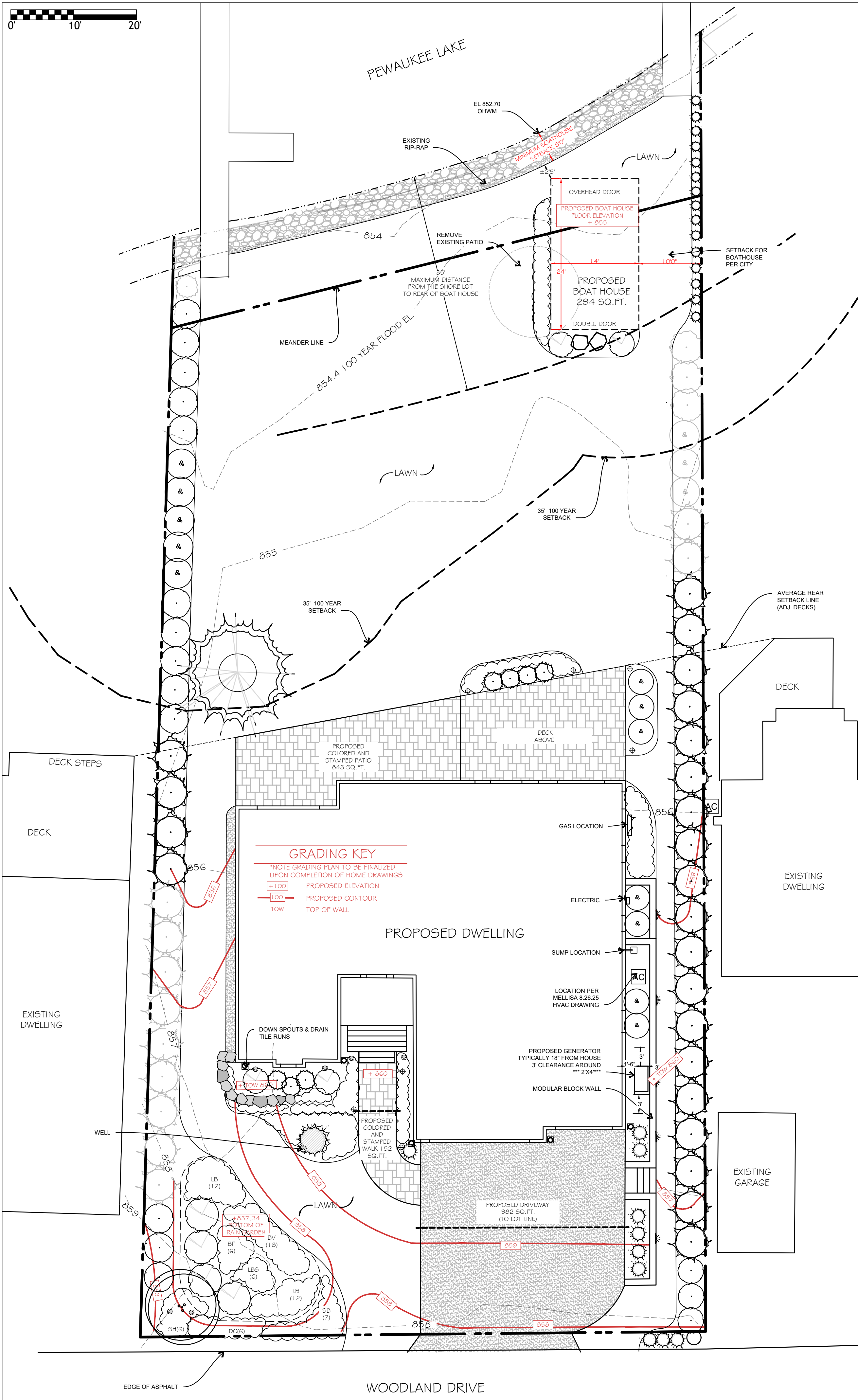
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

DRAWN BY: DK
CHECKED BY: MF
FINAL RELEASE: 8/12/25
REVISIONS: MF 10/14/25
MF 10/21/25 MF 10/22/25
JOB NO. 25-06600

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT AHMANN DESIGN, INC. @ (800) 725-6852 BEFORE CONSTRUCTION FOR CLARIFICATION. IF AHMANN DESIGN IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

PRELIMINARY GRADING PLAN & PROPOSED MITIGATION LOCATION

Scale: 1" = 10'-0" (NOTE: BASE PLAN DEVELOPED FROM SURVEY BY METROPOLITAN DATED OCTOBER 31, 2024. HOUSE & ROOF PLANS BY AHMANN HOME PLANS INC.



IMPERVIOUS SURFACE CALCULATIONS

UPDATED 11.17.25 (REMOVE EX. BLUESTONE PATIO)

Lot Area Per Survey No. 115036	16,178 sq.ft.
Impervious Allowed 27.5%	4,449 sq. ft.
Impervious Allowed 35% max w/ mitigation	5,662 sq. ft.
* Difference to Mitigate 7.5%	1213.3 sq. ft.
IMPERVIOUS SURFACE	
EXISTING FIRE PIT PATIO (is removed)	0 sq. ft.
PROPOSED HOUSE (does not include roof overhang)	2972 sq. ft.
PROPOSED PATIO (LAKESIDE)	834 sq. ft.
PROPOSED DRIVEWAY TO LOTLINE	982 sq. ft.
PROPOSED FRONT WALK & COVERED PORCH	282 sq. ft.
PROPOSED BOATHOUSE	294 sq. ft.
TOTAL	5364 sq.ft.

MITIGATION CALCULATIONS

LOT = 16,178 SQUARE FEET
 5,662 S.F. = 35% COVERAGE OF LOT PROPOSED WITH MITIGATION
 4,853 S.F. = 27.5 % COVERAGE OF LOT ALLOWED STANDARD

1,213.3 S.F. = DIFFERENCE TO MITIGATE

1,213.3 S.F. X 2.7" (WATER VOLUME FOR 2 YEAR, 24 HOUR STORM EVENT) =
 272.99 CUBIC FEET OF STORAGE NEEDED FOR MITIGATION

OR

10.11 CUBIC YARDS OF STORAGE NEEDED FOR MITIGATION

OR

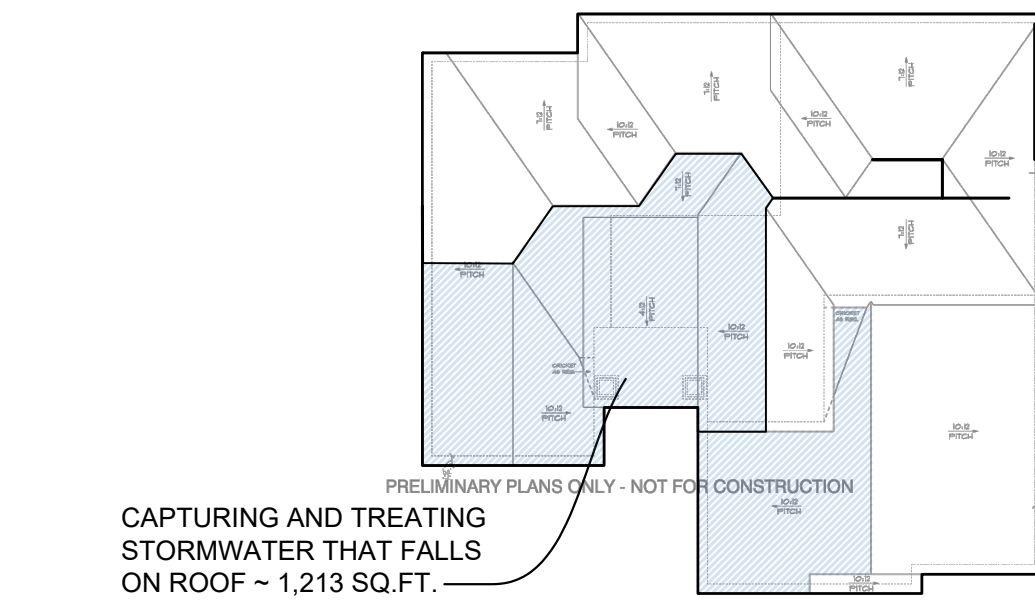
2042.1 GALLONS OF STORAGE NEEDED FOR MITIGATION

RAIN GARDEN CALCULATIONS
 415 SQ.FT. @ AVERAGE DEPTH OF 8"
 = 273.9 CU.FT. (2048.9 GALLONS) STORMWATER STORAGE PROVIDED

SITE SOIL COMPOSITION
 BsA Brookston silt loam,
 0-2% Slopes, parent material loamy glacial till,
 with excessively high infiltration potential
 (source: Waukesha county GIS)

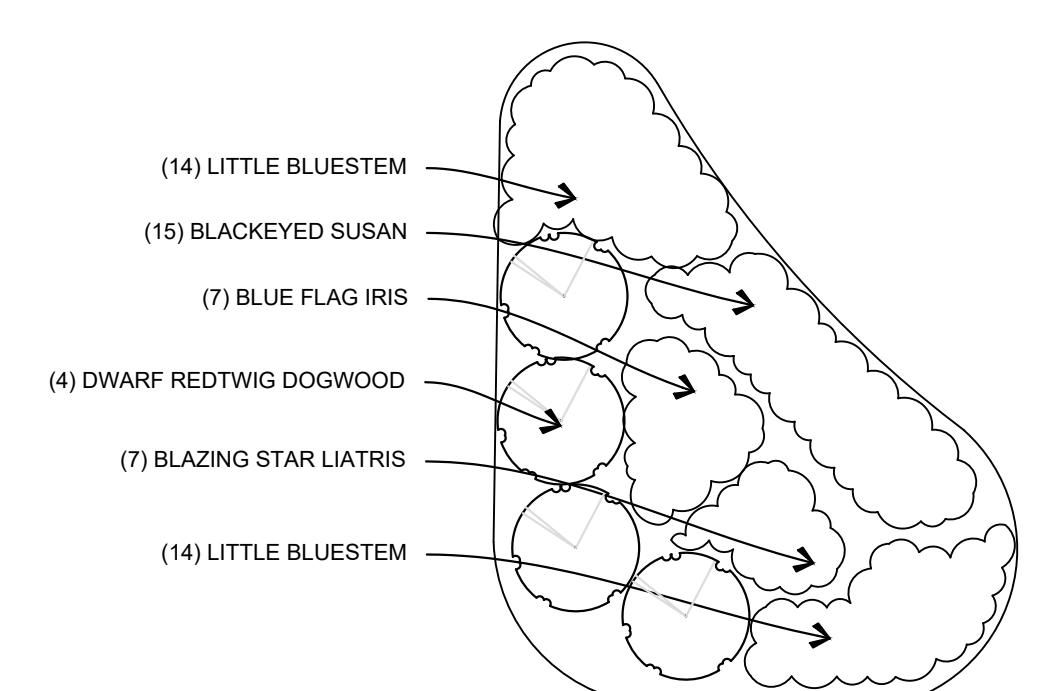
ROOF PLAN

Scale: 1" = 20'



RAIN GARDEN PLANTING DETAIL

Scale: 1/8" = 1'-0"

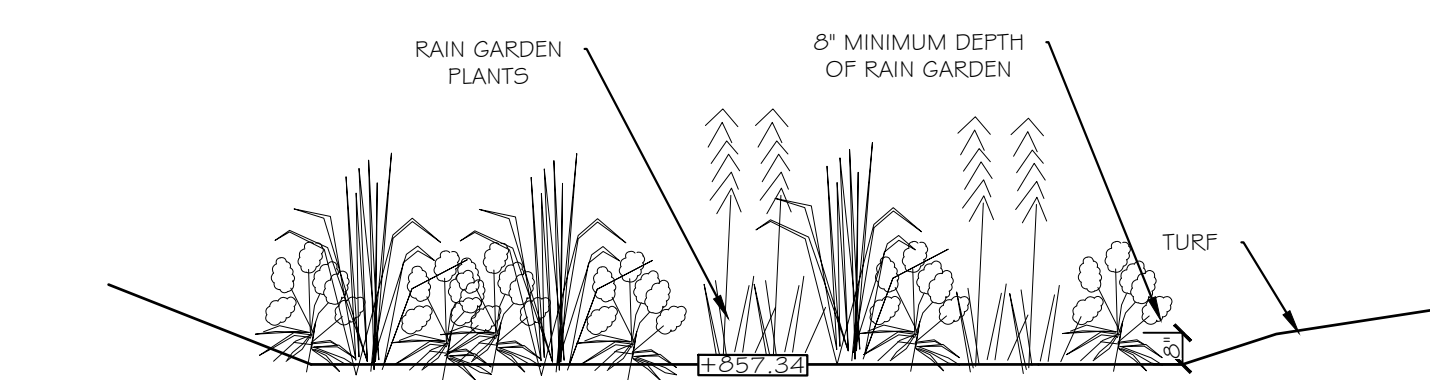


PLANT SCHEDULE

Common Name	Botanical Name	Size	Spacing	QTY
Shrubs				
Dwarf Red Twig Dogwood	Cornus sericea 'Flordance'	#5 container	4.5' O.C.	4
Perennials and Grasses				
Little Bluestem	Schizachyrium scoparium 'Standing Ovation'	1 gal.	18"	28
Blackeyed Susan	Rudbeckia speciosa 'Vette's Little Suzy'	1 gal.	18"	15
Blue Flag Iris	Iris versicolor	1 gal.	18"	7
Blazing Star Liatris	Liatris spicata	1 gal.	18"	7

RAIN GARDEN CROSS SECTION

Scale: 1/4" = 1'0"



BAUTZ RESIDENCE
 N27W27074 WOODLAND DR.
 PEWAUKEE, WI 53072

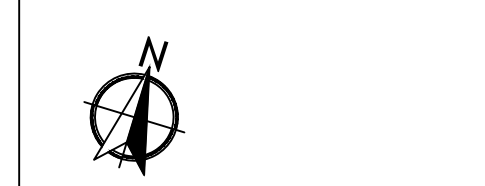


Preliminary Grading & Mitigation PLAN

LA Name:
SAM CARLSON
 PLA, ASLA
 Drafted By:

Date:
9.10.24
Revisions:
 9.10.24 - PRELIM GRADING AND MITIGATION LOCATION FOR CLIENT AND BUILDER REVIEW
 9.24.24 - ALTERNATE MITIGATION OPTION CHAMBERS
 10.5.24 - MITIGATION PLANS FOR REVIEW
 10.16.24 - FINAL MITIGATION PLANS FOR SUBMITTAL
 10.24.24 - REVISED MITIGATION PLANS ADJUSTED AVERAGE DECK STEP SETBACK
 10.31.24 - REVISED GRADING & MITIGATION PLAN
 8.26.25 - UPDATED IMPERVIOUS TO INCLUDE BOAT HOUSE
 10.15.25 - UPDATED BOAT HOUSE LOCATION
 10.21.25 - UPDATED BOAT HOUSE SIZE
 11.5.25 - UPDATED BOAT HOUSE SIDEYARD SETBACK/ NO GRAVEL MAINTENANCE STRIP

Sheet Number:
L-100



Scale: As Noted

DRAWINGS FOR PLANNING AND PERMITTING, NOT FOR CONSTRUCTION

**A COVENANT
REGARDING THE ISSUANCE OF A
CONDITIONAL USE PERMIT
BY THE
CITY OF PEWAUKEE**

**TAX KEY NUMBER(S)
OR PARCEL(S) INVOLVED:** **CONDITIONAL USE
PERMIT:
NO. CUP-26-1-1**

PWC 0933119

LEGAL DESCRIPTION:

LOT 13 & 14 EDGEWOOD NO 2 PT NE1/4 SEC 18 T7N R19E

**PERSON(S), AGENT(S) OR CORPORATION(S) PETITIONING
FOR PERMIT:**

Brian & Beth Bautz

Recording area

Name & Return Address

City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072

WHEREAS, It is understood by all parties to this covenant that Section 62.23 of WIS. Statutes prescribes the legal basis for the granting of a conditional use permit by a City and Chapter 17 of the City Codes and Ordinances provides for the issuance of such permits as well as the standards by which all such uses will be measured; and,

WHEREAS, The City Plan Commission has held a meeting on January 15, 2026; has reviewed the various elements of the petitioner’s proposal; and has recommended that a Conditional Use Permit be granted to the above-named petitioner for the property/parcel identified above; and,

WHEREAS, The City Common Council held a public hearing meeting on February 2, 2026.

NOW, THEREFORE, let it be known that the City Common Council by its action on February 2, 2026 has, hereby, granted a Conditional Use Permit for the following use(s):

FURTHER, such approved use of the above designated parcel(s) are hereby allowed based on the following conditions being continually met:

1. Construction of the boathouse shall comply with the requirements of section 207-13B. of the Floodplain Zoning Ordinance.

The parties hereto, namely the City of Pewaukee and the Equitable Owner of the property for which this conditional use has been sought, set their signatures or the signatures of their representatives below, thereby agreeing to the provisions and conditions set forth in this covenant.

Attest:

Signature of equitable owner

Date

Kelly Tarczewski
City Clerk

Steve Bierce
Mayor, City of Pewaukee

Date

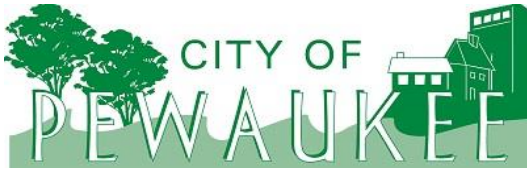
State of Wisconsin
County of Waukesha

Signed or attested before me on _____, 2026 by Steve Bierce, Mayor and Kelly Tarczewski, Clerk.

(Seal)

Ami Hurd
My Commission expires _____

This instrument was drafted by Ami Hurd, Deputy Clerk



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of January 15, 2026

Date: January 7, 2026

Project Name: Cold Noses Sanctuary Conditional Use

Project Address/Tax Key No.: N47W26699 LYNNDAL ROAD / PWC 0882999001

Applicant: Thalia Haseotes, Cold Noses Sanctuary Property LLC

Property Owner: Cold Noses Sanctuary Property LLC

Current Zoning: A-1 Agricultural District, UC Upland Conservancy District, and F-1 Floodplain District

2050 Land Use Map Designation: Low Density Residential (> 2 Ac. / D.U.) and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas

Use of Surrounding Properties: Village of Lisbon to the north, agricultural land to the south and east (planned for future industrial development), and single-family residential to the west

Project Description/Analysis

The applicant filed a Conditional Use Application requesting to utilize the property located at N47W26699 Lynndale Road for an animal sanctuary and hobby farm use. The use will consist of housing animals including, but not limited to dogs, cats, horses, goats, and donkeys. Animals may be kept on a short-term or long-term basis. Animals will be up for adoption; however, those not adopted will live out their lives on the farm.

The use will be operated by the owner and will include an onsite caretaker and volunteers. The applicant also noted that they will work with veterinarians on a regular basis.

The A-1 District permits several of the proposed uses including grazing or pasturing, vegetable or fruit raising, paddocks, barns and other non-residential buildings necessary for farm operations, and commercial and hobby kennels. The A-1 District also allows, as a Conditional Use, animal hospitals and shelters.

The applicant describes the use as agritourism, where the public will be invited to the site to experience the daily operations of the farm and visit or view the animals. Educational programs and activities are planned as well as other types of events.

Educational programs, classes, field trips, fundraisers, holiday events and other similar events and uses shall be limited to one hundred and fifty (150) people or less, unless otherwise approved by Special Event Permit. Furthermore, the property owner shall notify Police Services and the Fire Department of events of 50 to 150 people. Note the applicant may, in the future, request that this Conditional Use Permit be amended to allow a larger capacity for events. Staff notes that parking, restroom facilities, and other improvements may be needed at that time. Also, depending on the proposed size of events, traffic and access studies may be needed.

Staff also recommends that hours of operations for event type uses be limited to 8:00 a.m. to 9:00 p.m. Sunday through Thursday and 8:00 a.m. to 10:00 p.m. on Fridays and Saturdays.

The applicant states that the existing barn structure may incorporate other uses such as an area for events, fundraisers, picnic lunches, craft space, yoga, and retail space. Staff recommends that the existing 1910 barn may be used for agricultural purposes, consisting of permitted principal and accessory uses within the A-1 District. Any other use of this building shall be subject to approval of a Conditional Use Amendment. Furthermore, the 1910 barn shall comply with all applicable commercial building and occupancy codes, prior to the commencement of any commercial use of the structure. Moreover, staff recommends that a parking lot, approved by staff via Minor Site & Building Plan Review Application, shall be constructed prior to events being held within this facility.

The applicant has indicated plans in 2026 and 2027 to renovate existing buildings and construct new buildings. All applicable building permits and approvals for the renovations of existing buildings must be obtained prior to the commencement of any work on the existing buildings. New buildings and additions are subject to Plan Commission review of Site & Building Plan Review Applications in accordance with Section 340-2.9B(4) of the Zoning Code.

Again, staff recommends that the parking lot and drive expansion shown on the attached site plan be subject to staff review and approval of a Minor Building & Site Plan Review Application. Lighting, landscaping, storm water management facilities, and other future building and site modifications will require staff or Plan Commission review as determined by the City Planner.

There is 100-year floodplain and an unnamed intermittent stream on the property. The A-1 District requires a minimum building setback of 75-feet from the 100-year floodplain boundary. As such, no building, as defined in Section 340-16.2, shall be allowed within 75-feet of the 100-year floodplain. Fencing and non-walled structures shall be allowed up to the floodplain boundary unless more restrictive setbacks apply.

No building or structure shall be located within 75-feet of the ordinary high water mark of the intermittent stream on the property unless permitted under the Shoreland Overlay District.

The applicant has indicated that event parking will be located in front of the barn and within the fields on the south end of the property, but outside of the floodplain boundary. Staff recommends that event parking shall be allowed within unimproved areas of the site, but shall be setback a minimum of 75-feet from the ordinary high water mark of the intermittent stream onsite.

The applicant has noted that animals will be kept to the space requirements of the Association of Shelter Veterinarians. According to the applicant, these standards require one acre per horse, one acre per one to three goats, and 0.5 acres per donkey.

The applicant has indicated that they intend to keep up to five horses, twelve dogs, twelve cats, ten goats, and two donkeys onsite.

Below are recommended conditions of approval regarding the keeping of animals onsite. Several reference “net” acreage. This acreage is exclusive of the UC Upland Conservancy District and 100-year floodplain portion of the site. The remaining A-1 District portion of the site is roughly 14.5-acres.

- The property shall consist of no more than one horse per net acre. Stables and stalls for horses shall be a minimum of 300-feet from any single-family residential use.
- A maximum of twelve dogs shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit. The dog facility building shall be constructed, prior to keeping or boarding more than four dogs onsite.
- Dogs shall be kept indoors after 9:00 p.m., except for needed bathroom and exercise breaks and shall not be outdoors onsite without the property owner or staff present.
- The applicant shall apply for a Kennel License as may be required by the Municipal Ordinance.
- A maximum of twelve cats shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit.
- A maximum of ten goats shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit.
- A maximum of two donkeys shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use.
- Animal waste shall be collected daily and stored within the manure pit as shown on the site plan. This area shall be maintained in a clean and sanitary condition and shall be designed to prevent runoff, odor, and attraction of pests. Animal waste shall be removed from the property by a licensed waste hauler or transported to an approved disposal or composting facility at intervals not to exceed 15 days, or more frequently as needed to prevent accumulation. The property owner shall comply with all applicable federal, state, and local regulations regarding waste management, and the City reserves the right to require additional mitigation measures if complaints or nuisance conditions arise.
- All areas of the site utilized for housing, sheltering, walking or exercising, and generally caring for animals shall be a minimum of 100-feet from any single-family residential use, unless otherwise specifically restricted by this Conditional Use Permit. Note this is consistent with the A-1 District provision below.

Intensive farm operations involving animals permitted as a conditional use shall have a minimum setback of 100 feet from any abutting property, including street and highway right-of-way.

- All uses listed as permitted principal and accessory uses of the A-1 District shall be allowed under this Conditional Use Permit.
- This Conditional Use approval is subject to being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances and obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project and animal sanctuary use.

Recommendation

Staff recommends approval of the Conditional Use Permit for Cold Noses Sanctuary, subject to the conditions within this staff report.

Cold Noses Sanctuary Narrative

Overview

Cold Noses Sanctuary is a non-profit organization that will help rescue special needs animals (mainly dogs, cats, horses, goats and donkeys) from high-kill shelters and other emergency situations. Often, these animals need time, tenderness, and someone to make them feel safe in order for them to live out their lives in peace. As is often the case with all animals, special needs animals bring out the best in people and demonstrate resilience and perseverance to others facing their own challenges.

Cold Noses Sanctuary will be a place where animals are healing, and many will live out their lives here. Our hope is that we will be find forever homes for some of these animals through interactions with the public. Adoptions and fostering are not a regularly occurring part of our program, but we would expect them to happen occasionally. This is an opportunity for an animal to find their own forever family and thus open more space for us to help another. We will have adoption and foster applications, check Veterinary references and keep in close contact with our fosters and adopters with a “take back” policy if they cannot keep the animal for any reason.

On a daily basis this will appear as a small scale farm with onsite care taker, volunteers ,and the animals The activities set forth will fall well within the scope of agritourism, as defined by Wisconsin Department of Agriculture. ¹We will be a working farm, and the education and agritourism will be a source of revenue generation for our sanctuary. At all times- even at our busiest, tranquility and calmness will be sought to be maintained for the well-being of our resident animals. We are not a zoo, and therefore we will neither force nor guarantee animal encounters with the public. Part of our educational program is to show that these animals are living their lives and deserve to have a say in their daily interactions. This is ultimately the safest way to interact. The animals will be housed in secure buildings and have access to fenced yards (dogs), pastures (farm animals), and an enclosed “catio” for the cats. We adhere to the standards provided by the Association of Shelter Veterinarians¹ for minimum space requirements. Additionally, we follow protocol for standards for 1 acre per horse and 1 acre per 1-3 goats and .5 acre per donkey. ²

The sanctuary will be run daily by the live-in resident. (Lead Sanctuary Manager) There will be a core group of volunteers as the animal population grows, to help with the care and public outreach. We will work with several Veterinarians who will come to the farm on a regular schedule to oversee care processes and diagnose any conditions. Farriers will work with our livestock to ensure hoof health.

¹ https://www.sheltervet.org/assets/docs/4_Facilities_Final_06AUG2024.pdf

² <https://www.umass.edu/agriculture-food-environment/crops-dairy-livestock-equine/fact-sheets/basics-of-pasture-management>

Site Development

We will seek zoning approval for the site to include an additional building, parking for drives and parking, lighting, landscaping and any necessary storm water management that may be required. The buildings will require sanitary service and thus a new septic system will be developed to meet the demands.

Bowser's Bungalow: (New Build)

We will have a building for the dogs with a room for the dogs to each have their own sleeping space. There will be no more than 12 dogs living in the sanctuary at its largest. Each dog will have a "bungalow" or room to sleep at night and to separately feed. Their rooms each open up to a larger living room with couches, fireplace, dog beds, classical music and toys. For most of these dogs, this is their forever home, and as such, we intend to make this feel like home in every way possible. These are not kennels. We are not a kennel. In fact, we are often rescuing these animals from kennels where their survival is not guaranteed and often at extreme risk of euthanasia due to factors such as their age or a disability. A loud facility would not help these animals in anyway, and therefore we intend to have a very tranquil environment. The dogs may stay inside or choose to go outside during the day into the fenced in yard. Any excessive barking is a sign of a need not being met- so any barking dog will be promptly addressed and tended to. They will have constant opportunity for enrichment which will also reduce barking levels. Dogs will have no access to outdoors after bedtime. Essentially, this will be run exactly the same as a home is with a pet-other than potty breaks, the dogs are in at night. The dogs will not be loose outdoors if there is no one on the grounds.

Cat Barn: (Existing Structure)

free space for up to 12 cats to live comfortably. Reading nooks and couches for volunteers to interact, along with a prep sink and storage space. Catio outdoor screened porch for enrichment.

1910 Barn: (Existing Structure)

The current use would be to leave it as is. However, the barn is currently under structural evaluation with the intent restoring it subject to costs and availability of funds. The intent is to bring it up to commercial code purposes. The intended use will be to use the lower level (milking stalls) as a three season play space for the dogs that is covered from the elements. We will level the floor and clean the area to make it a bright, airy space for the dogs to run. The upper level of the barn will be used as 3-season event space subject to to modification and approval of the CUP. Picnic lunches, craft space, yoga etc. could held here. Eventually a space to host a fundraiser and a small area for retail.

Farm Animal Barn: (Existing Structure)

Renovate this barn to include 5 horse stalls, a wash stall, feed/tack room, and two large, herd stalls (goats and donkeys). Windows and Dutch doors and run out pasture. This is to be underway, by Morton Buildings, in the January of 2026. A manure holding area will be built by Morton as well and hold manure before it is hauled offsite.

Pastures

Several pastures will be placed throughout the fields both on the South and North fields for rotating the animals on pasture. We will expect to max at approximately 5 horses, 10 goats and 2 donkeys.

Growing Pastures

We expect to have several fields where vegetables will be planted. And many areas of wildflowers and fruit trees.

Community Outreach

We hope to provide people with all abilities the opportunity to meet and interact with these animals- many who may have the same “disabilities” as they do. In doing so, they see the strength and resilience of these animals and find it in themselves. We hope this special place will create an emotional bond between animals and humans for those suffering from physical illness or disabilities or non-physical ailments or disabilities such as: PTSD, anxiety, depression, & terminal diseases in an attempt to provide comfort, reduce stress, and support their emotional and physical well-being.

Educational programs could include class trips to visit the farm or come read to the animals (proven to help nervous readers and calming for the animals). Class visit sizes would be limited to under 30 and would be split into groups of 10 or less to visit the individual buildings. Groups will provide chaperones, and we will have at least one staff member with each group. We expect most classes to be under 25. Depending on the ages and maturity level of the groups, we will allow them to interact with certain animals in a controlled, calm manner with a staff member present. Craft and activities held on a weekly basis for regular fundraising will be limited to 15 people per class. Interactions with the animals are never forced. Animals will have free ability to retreat if they so choose. One of the important lessons we hope to instill in our visitors, is that this is the animal’s home, and as such, we must always respect their agency.

The site will be developed to include additional drives and parking along the east side of the 1910 barn on what we anticipate for daily usage and small groups. We would be using the fields outside the flood zone for parking for the larger events.

Large Fundraisers and educational days would remain small-scale so as not to stress the animals. We expect the first few years to remain this way with under 50 people at our largest gatherings at one time. As we grow and have renovated the 1910 barn we hope to grow these events to no more than 100 people. These would still be on occasion. If a once-per-year fundraiser were to be bigger, we would approach the town with such an event plan. The majority of these fundraisers will be small in nature, craft classes, meet and greets with the

animals, tours, Halloween and/or Christmas days at the farm, movies under the stars, pumpkin picking etc. Some of these activities (pumpkin picking for example) will be ongoing so there will be people coming and going throughout the day. Ultimately though, we are a sanctuary for these animals and need to maintain a healthy balance of fundraising, raising awareness and tranquility on the farm so as to allow these animals to live out their lives comfortably and with minimal stress.

All of our animals would be rescued, and people could adopt them, or they would live their lives out on a serene and beautiful farm. My son and I love to grow pumpkins and vegetables and just enjoy the farm life. Nothing about the farm would be for our financial benefit. Anything sold on the farm would benefit the non-profit. We want to be part of the community and a safe, calming space in an otherwise hectic and chaotic world.

Background

I am no stranger to the animal world or the business world. At age 25, I opened and operated a successful, upscale, doggie daycare and spa for over 60 dogs for 10 years before I had my son. This building was in VERY close proximity to several homes and businesses in Massachusetts and I was always able to retain a healthy relationship with our neighbors even with 60 excited dogs playing outdoors at one time!

As an owner of many special needs animals, I know the time and dedication and funding necessary to help these animals live to their full potential. I have founded and been acting President of Cold Noses *Foundation* since 2010- a global non- profit that funds animal rescues and shelters all over the world. Cold Noses Sanctuary is its own 501c 3 public charity. We carry non-profit insurance as well as liability for all of the proposed activities.

Our hope is to pay homage to the farmers that were working this land before us. We intend to create a general sense of responsibility to the environment and our land and nature with whom we share this property. Pollinator gardens and fruit trees will line the buildings and surrounding grounds. Walking trails for volunteers or visitors to enjoy will be marked with conservation-theme markers and plant and nature identifying signs.

Licensing and Requirements

Once we house 4 or more dogs we will apply for the hobby kennel license as is required by city ordinance. We will require all animals we intake from out of state to be quarantined as per state law. We will not be required by Wisconsin State law to have any rescue or animal shelter license as we will not house more than 25 dogs a year. We train our staff and volunteers through emergency protocols, animal handling techniques, and require various courses to be passed in order for volunteers to work with the animals as mandated by our insurance policy.

Waste Storage and Disposal

Dog and cat waste is collected daily of via pooper scoopers and litter scoops and disposed of into trash bags which is collected weekly.

Farm animal waste is shoveled daily and stored in the manure pit (to be built by Morton buildings). This pile will be collected on a monthly or bimonthly schedule by farmer and hauled off site.

Pastures will be dragged and maintained for healthy growth and grazing following best practices such as those recommended by University of Massachusetts.ⁱⁱ and as required by the Wisconsin DNR SOIL AND WATER RESOURCE MANAGEMENT PROGRAM³

³ https://docs.legis.wisconsin.gov/code/admin_code/atcp/020/50



Cold Noses

SANCTUARY

Introduction



Overview

Cold Noses Sanctuary is a non-profit organization that will help rescue special needs animals (mainly dogs, cats, horses, goats and donkeys) from high-kill shelters and other emergency situations. Often, these animals need time, tenderness, and someone to make them feel safe in order for them to live out their lives in peace. As is often the case with all animals, special needs animals bring out the best in people and demonstrate resilience and perseverance to others facing their own challenges.

Leadership

Name	Role	Description
Thalia Haseotes	<i>President/Founder</i>	Oversees daily operations, leads the Board of Directors
Andrea Baker	<i>Secretary/Board Member</i>	Records all necessary minutes and protocols for the board meetings and helps organize “behind the scenes”.
Karyn Soergyl	<i>Treasurer/Board Member</i>	Serves on the Board of Directors and oversight of spending.
Nina Race	<i>Board Member</i>	Serves on Board of Directors and helps implement volunteer programs.

Why a Sanctuary for Special Needs?



It is estimated that nearly 400,000 animals were euthanized in shelters across the USA last year alone.

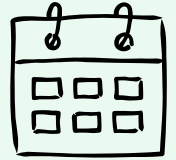
Many of these animals are healthy individuals and are killed for space alone. Usually, rural shelters and high kill city shelters will opt to kill the animals that require “special” needs. These could be things as simple as dental work to being adult rather than a puppy or kitten, or serious medical or behavioral issues.

We believe these animals all deserve a chance to live out their lives in peace and comfort. Humans have put these animals in this situation, and we should not and cannot “kill” our way out of it.

Cold Noses Sanctuary aims to help by taking animals at high risk of euthanasia (special needs and geriatric animals) to live out their days in safety and comfort on our farm. Being a small farm, we realize we will not have a large impact on the actual numbers of animals saved every year...but by engaging the community we hope that we will teach the next generation that every life matters and it is our responsibility to protect these animals. We will make a small dent in the euthanasia rates, but a huge impact on the lives we save and the human lives that interact with them.



Projected Time Line



All projects would be subject to city approval process. Dates are approximations.

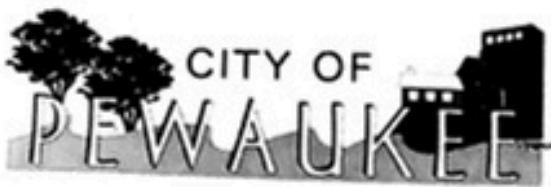
Item	Project start	Project completion
Farm Animal Barn Renovation	Jan 1, 2026	Mar 1, 2030
Estébans Enclave (Cat barn) Renovations	Jan 1, 2026	Feb 28, 2026
Bowser's Bungalows	Sep 1, 2026	Mar 1, 2027
Machine Shed Renovations	Apr 1, 2026	Apr 30, 2027

Contact Information



For Further Inquiries

Thalia@coldnosessanctuary.org/508-648-9115



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 W240 N3065 Pewaukee Road
 Pewaukee, Wisconsin 53072
 Phone (262) 691-0770
 Fax (262) 691-1798
 fuchs@pewaukee.wi.us

PETITION FOR CONDITIONAL USE

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin for a Conditional Use Permit for the purpose of: Animal Sanctuary

(see Narrative)

Legal description of property - Please attach.

Common property description or name: _____

Property Address: N47 W26699 Lynndale Rd. Tax Key Number(s): _____

Property owner(s) (Full Legal Name): Cold Noses Sanctuary Properties LLC.

Owner's Address: N47 W26699 Lynndale Rd. City/State/Zip: Pewaukee, WI 53072

Phone: 508 648 9115 Email: thalia@coldnosessanctuary.org

Applicant (Full Legal Name):

Name: Cold Noses Sanctuary

Company: _____

Address: N47 W26699 Lynndale Rd.

City/State/Zip: Pewaukee, WI 53072

Phone: 508 648 9115

Email: thalia@coldnosessanctuary.org

Contact Person (Full Legal Name):

Name: Thalia Haseotes

Company: Cold Noses Sanctuary

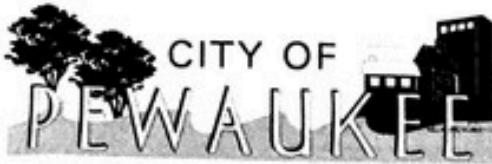
Address: N47 W26699 Lynndale

City/State/Zip: Pewaukee, WI 53072

Phone: 508 648 9115

Email: thalia@coldnosessanctuary.org

- This Application form accurately completed with original signatures.
- Application Filing Fee, payable to the City of Pewaukee:
 - o \$400.00, plus cost for publication, notice and all attorney fees related to project
- Five (5) complete collated sets of Application materials to include:
 - o A written project narrative detailing the request, business/operational information, future development plans, site and building improvements, tentative development schedule, and estimated project value.
 - o Scaled drawings, as may be applicable, including, but not limited to; a site plan, grading/erosion control plan, preliminary storm water management plan, landscape plan, lighting plan, building elevations, colored renderings, sign details and natural resource delineations.
- All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash drive or emailed to hurd@pewaukee.wi.us.
- Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



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The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the property for the purpose of conducting a site inspection. This authorization is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

PETITIONER'S/APPLICANT'S SIGNATURE: _____

NAME & TITLE (PRINT): Thalia Haseotes President

SIGN AND DATED this 12th day of November, 2025.

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): Thalia Haseotes

SIGN AND DATED this 12th day of November, 2025.

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ day of _____, _____.

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____ Date: _____

Cold Noses Sanctuary

Narrative

Overview

Cold Noses Sanctuary is a non-profit organization that will help rescue special needs animals (mainly dogs, cats, horses, goats and donkeys) from high-kill shelters and other emergency situations. Often, these animals need time, tenderness, and someone to make them feel safe in order for them to live out their lives in peace. As is often the case with all animals, special needs animals bring out the best in people and demonstrate resilience and perseverance to others facing their own challenges.

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Daily Activities

On a daily basis this will run as a small-scale hobby farms with an onsite care taker, volunteers, and animals. The activities set forth fall well within the scope of agritourism, as defined by Wisconsin Department of Agriculture. [1] We will be a working farm, and the education and agritourism will be a source of revenue generation for our sanctuary. At all times- even at our busiest, tranquility and calmness will be sought to be maintained for the well-being of our resident animals. We are not a zoo, and therefore we will neither force nor guarantee animal encounters with the public. Part of our educational program is to show that these animals are living their lives and deserve to have a say in their daily interactions. This is ultimately the safest way to interact. The animals will be housed in secure buildings and have access to fenced yards (dogs), pastures (farm animals), and an enclosed “catio” for the cats. We adhere to the standards provided by the Association of Shelter Veterinarians for minimum space requirements. [2] Additionally, we follow protocol for standards for 1 acre per horse and 1 acre per 1-3 goats and .5 acre per donkey. [3]

The sanctuary will be run daily by the live-in resident. (Lead Sanctuary Manager) There will be a core group of volunteers as the animal population grows, to help with the care and public outreach. We

will work with several Veterinarians who will come to the farm on a regular schedule to oversee care processes and diagnose any conditions. Farriers will work with our livestock to ensure hoof health.

Site Development

We will seek zoning approval for the site to include an additional building, parking for drives and parking, lighting, landscaping and any necessary storm water management that may be required. The buildings will require sanitary service and thus a new septic system will be developed to meet the demands.

Bowser's Bungalow: (New Build)

We will have a building for the dogs with a room for the dogs to each have their own sleeping space. There will be no more than 12 dogs living in the sanctuary at its largest. Each dog will have a "bungalow" or room to sleep at night and to separately feed. Their rooms each open up to a larger living room with couches, fireplace, dog beds, classical music and toys. For most of these dogs, this is their forever home, and as such, we intend to make this feel like home in every way possible. These are not kennels. We are not a kennel. In fact, we are often rescuing these animals from kennels where their survival is not guaranteed and often at extreme risk of euthanasia due to factors such as their age or a disability. A loud facility would not help these animals in anyway, and therefore we intend to have a very tranquil environment. The dogs may stay inside or choose to go outside during the day into the fenced in yard. Any excessive barking is a sign of a need not being met- so any barking dog will be promptly addressed and tended to. They will have constant opportunity for enrichment which will also reduce barking levels. Dogs will have no access to outdoors after bedtime. Essentially, this will be run exactly the same as a home is with a pet-other than potty breaks, the dogs are in at night. The dogs will not be loose outdoors if there is no one on the grounds.

Cat Barn: (Existing Structure)

free space for up to 12 cats to live comfortably. Reading nooks and couches for volunteers to interact, along with a prep sink and storage space. Catio outdoor screened porch for enrichment.

1910 Barn: (Existing Structure)

The current use would be to leave it as is. However, the barn is currently under structural evaluation with the intent restoring it subject to costs and availability of funds. The intent is to bring it up to commercial code purposes. The intended use will be to use the lower level (milking stalls) as a three season play space for the dogs that is covered from the elements. We will level the floor and clean

the area to make it a bright, airy space for the dogs to run. The upper level of the barn will be used as 3-season event space subject to modification and approval of the CUP. Picnic lunches, craft space, yoga etc. could held here. Eventually a space to host a fundraiser and a small area for retail.

Livestock Barn: (Existing Structure)

Renovate this barn to include 5 horse stalls, a wash stall, feed/tack room, and two large, herd stalls (goats and donkeys). Windows and Dutch doors and run out pasture. This is to be underway, by Morton Buildings, in the January of 2026. A manure holding area will be built by Morton as well and hold manure before it is hauled offsite.

Pastures

Several pastures will be placed throughout the fields both on the South and North fields for rotating the animals on pasture. We will expect to max at approximately 5 horses, 10 goats and 2 donkeys.

Growing Pastures

We expect to have a large field where vegetables will be planted. And many areas of wildflowers and fruit trees.

Community Outreach

We hope to provide people with all abilities the opportunity to meet and interact with these animals- many who may have the same “disabilities” as they do. In doing so, they see the strength and resilience of these animals and find it in themselves. We hope this special place will create an emotional bond between animals and humans for those suffering from physical illness or disabilities or non-physical ailments or disabilities such as: PTSD, anxiety, depression, & terminal diseases in an attempt to provide comfort, reduce stress, and support their emotional and physical well-being.

Educational programs could include class trips to visit the farm or come read to the animals (proven to help nervous readers and calming for the animals). Class visit sizes would be limited to under 30 and would be split into groups of 10 or less to visit the individual buildings. Groups will provide chaperones, and we will have at least one staff member with each group. We expect most classes to

be under 25. Depending on the ages and maturity level of the groups, we will allow them to interact with certain animals in a controlled, calm manner with a staff member present. Craft and activities held on a weekly basis for regular fundraising will be limited to 15 people per class. Interactions with the animals are never forced. Animals will have free ability to retreat if they so choose. One of the important lessons we hope to instill in our visitors, is that this is the animal's home, and as such, we must always respect their agency.

The site will be developed to include additional drives and parking along the east side of the 1910 barn on what we anticipate for daily usage and small groups. We would be using the fields outside the flood zone for parking for the larger events.

Larger fundraisers and educational days would remain small-scale so as not to stress the animals. We expect the first few years to remain this way with under 50 people at our largest gatherings at one time. As we grow and have renovated the 1910 barn we hope to grow these events to no more than 100 people. These would still be on occasion and for mainly outdoor events. If a once-per-year fundraiser were to be bigger, we would approach the town with such an event plan. The majority of these fundraisers will be small in nature, craft classes, meet and greets with the animals, tours, Halloween and/or Christmas days at the farm, movies under the stars, pumpkin picking etc. Some of these activities (pumpkin picking for example) will be ongoing so there will be people coming and going throughout the day. Ultimately though, we are a sanctuary for these animals and need to maintain a healthy balance of fundraising, raising awareness and tranquility on the farm so as to allow these animals to live out their lives comfortably and with minimal stress.

All of our animals would be rescued, and people could adopt them, or they would live their lives out on a serene and beautiful farm. My son and I love to grow pumpkins and vegetables and just enjoy the farm life. Nothing about the farm would be for our financial benefit. Anything sold on the farm would benefit the non-profit. We want to be part of the community and a safe, calming space in an otherwise hectic and chaotic world.

Licensing and Requirements

Once we house 4 or more dogs we will apply for the hobby kennel license as is required by city ordinance. We will require all animals we intake from out of state to be quarantined as per state law. We will not be required by Wisconsin State law to have any rescue or animal shelter license as we will not house more than 25 dogs a year. We train our staff and volunteers through emergency protocols, animal handling techniques, and require various courses to be passed in order for volunteers to work with the animals as mandated by our insurance policy.

Waste Storage and Disposal

Dog and cat waste is collected daily via pooper scoopers and litter scoops and disposed of into trash bags which is collected weekly.

Farm animal waste is shoveled daily and stored in the manure pit (to be built by Morton buildings). This pile will be collected on a monthly or bimonthly schedule by farmer and hauled off site.

Pastures will be dragged and maintained for healthy growth and grazing following best practices such as those recommended by University of Massachusetts, and as required by the Wisconsin DNR SOIL AND WATER RESOURCE MANAGEMENT PROGRAM^[4]

Background

I am no stranger to the animal world or the business world. At age 25, I opened and operated a successful, upscale, doggie daycare and spa for over 60 dogs for 10 years before I had my son. This building was in VERY close proximity to several homes and businesses in Massachusetts and I was always able to retain a healthy relationship with our neighbors even with 60 excited dogs playing outdoors at one time!

As an owner of many special needs animals, I know the time and dedication and funding necessary to help these animals live to their full potential. I have founded and been acting President of Cold Noses *Foundation* since 2010- a global non- profit that funds animal rescues and shelters all over the world. Cold Noses Sanctuary is its own 501c 3 public charity. We carry non-profit insurance as well as liability for all of the proposed activities.

Our hope is to pay homage to the farmers that were working this land before us. We intend to create a general sense of responsibility to the environment and our land and nature with whom we share this property. Pollinator gardens and fruit trees will line the buildings and surrounding grounds. Walking trails for volunteers or visitors to enjoy will be marked with conservation- theme markers and plant and nature identifying signs. It is vital to our sanctuary that we are stewards of the land and we convey a message of mutual respect and conservation to our donors and visitors.

[1] <https://datcp.wi.gov/Pages/AgDevelopment/Agritourism.aspx>

[2] https://www.shelternvet.org/assets/docs/4_Facilities_Final_06AUG2024.pdf

[3] <https://www.umass.edu/agriculture-food-environment/crops-dairy-livestock-equine/fact-sheets/basics-of-pasture-management>

[4] https://docs.legis.wisconsin.gov/code/admin_code/atcp/020/50

LYNNDALE RD.

N88°28'29"E 1567.18'

LOT 1
CSM No. 12696
35.125 ACRES

EX. BLDG.
FFE=897.70
MACHINE SHED

EXIST DUBLEX

CAT FACILITY
EX. BLDG.

1910 BARN

APPROX LOCATION FOR PARKING

DOG FACILITY

APPROX NEW BUILDING FOR DOGS

EX. BLDG.
FFE=890.47
EXIST LIVE STOCK BARN

POTENTIAL FUTURE DRIVE PENDING DEVELOPMENT OF ALL BUILDINGS AND SITE

40' UTILITIES EASEMENT

40' UTILITIES EASEMENT

Browser tabs: DATCP, FedEx, Business, Inbox, Business, Cup app, Interact, Waukesha, DATCP, 50.pdf

Address bar: prd.waukocgeo.com/html5viewer/?viewer=html_viewer_ext

Navigation: Search, Tasks, Buffers

Map Layers: Show Layers, Search Address, Search by TaxKey, Search Plats, Plat of Survey Search, Find a Park, Search Qtr Section, Identify, Clear Highlight, Clear Markup, Help

Map Layers: Parcels (Click for details) (1)

Star: TaxKey: PWC 0882999001

Link to Tax File
Register of Deeds Images
Mapped Acreage: 35.1329
Property Address: N47W26699 LYNNDALE RD
School Taxing District: Richmond School District
Owner and Mailing Address:
COLD NOSES SANCTUARY PROPERTY LLC
N47W26699 LYNNDALE RD
PEWALUKEE, WI 53072-1120
Metadata

*Ownership information current to Nov 2, 2025 2:00 AM, for most current info click the [Link to Tax File](#) link.

Displaying 1 - 1 (Total: 1)

Page 1 of 1

Layers: Parcels (Click for detail...)

Map: I want to... (text box), Village of Lisbon, Lynn Dale Rd, City of Pewaukee

Waukesha County - Land Information System Division | SEWRPC, Waukesha Coun...

Comments and Recommendations:

Below are comments and recommendations for the proposed development application for property located at N47W26699 Lynndale Road (Tax Key No. PWC 0882999001).

1. Will dogs be kept onsite prior to the dog shelter being constructed. If so, where will dogs sleep and be fed? Yes, but no more than 2-3 rescue dogs. **They will be kept in the home/office and fenced yard.**
2. The narrative states that dogs will be kept indoors, except for bathroom breaks, after “bedtime.” What time is bedtime? **Depending on the time of year (longer nights in Summer- so in Summer bedtime will be around 8pm. In winter probably closer to 7:30)**
3. Where is the “Farm Animal Barn” that is referenced in the narrative? Please ensure that building names and descriptions in the narrative match the site plan. **This is the “Livestock Barn” We will reference it as such from now on.**
4. Are all dogs and cats spayed or neutered? **Yes! All animals will be as long as it is medically safe to do so if they are not before they arrive. Any animals that are not old enough or in poor health to undergo the procedure will be kept separate. However, this would be the exception.**
5. It’s staff’s understanding that events will initially have a capacity of fifty attendees or less. Where will parking occur for this initial phase? What restroom facilities will be utilized for these events? Will portable restrooms be located onsite? Will the access, drive or site be improved in any way to better accommodate this amount of traffic and parking? **As far as access- we will have a business/Farm Sign out front. We are happy to pay for a flashing yellow light or some signage to alert traffic. People speed down Lynndale coming from East to West. (Much faster than the speed limit) Restrooms will be brought in in the form of porta-potties until canine facility is built with bathrooms. Parking will be next to 1910 barn but for larger events, pasture space (not near flood plain) will be opened to parking overflow.**

Staff recommends showing the parking area on the Site Plan for the initial phase of programming and events, including ADA accessible parking spaces. Staff anticipates a condition limiting the capacity of events based upon the accommodations provided, such as quantity of parking and restroom facilities. **On a regular basis, capacity will be maybe 3-4 cars (volunteers and staff). Most events will be small in nature. Maybe 20-30 people at most. Not 20-30 vehicles.**

Note that larger events of 150 or more people require a Special Event Permit, and the city requires events of 50 to 150 people to contact the City Police Services to notify them of the event. This will

apply unless otherwise stated in the Conditional Use Permit. **No problem**

6. Staff is recommending that the retail use described in the 1910 barn following renovations be subject to approval of a Conditional Use Amendment unless additional details are provided at this time.

7. What retail type uses are proposed within the initial phase of the use? Will pumpkins, fruits and vegetables or any other goods be sold on the farm? **By retail we refer to logo items, crafts (pet paintings, birdhouses, etc.) and some pet items. No food or drink at this time. Pumpkins in the near future for a roadside stand or a pick- your- own type of sale.**

Note that the A-1 District allows for “[o]ne roadside stand for selected farm products produced on the premises and not exceeding 150 square feet in floor area, the location of which shall be approved by the Zoning Administrator. (Also see Article 9.)”

Any other retail sales of goods must be included in the conditional use approval.

8. Where is the manure pit located? Please illustrate the location on the site plan. **Indicated on East corner of Livestock Barn.**

9. Note that duplex is misspelled on the site plan. **Noted**

10. This property is accessed by County Road JK. Have you discussed the proposed use and access with Waukesha County? **In progress and we will make any necessary adjustments.**

11. Below are anticipated staff recommended conditions. Note that additional conditions may be added as staff continues to review the project or by the Plan Commission and Common Council.

If you have questions or concerns regarding any of the conditions discussed above or noted below, please let me know and we can discuss further prior to Plan Commission.

a. Hours of operations for classes and event type uses shall be allowed from 8:00 a.m. to 9:00 p.m. Sunday through Thursday and 8:00 a.m. to 10:00 p.m. on Friday and Saturday.

b. The existing 1910 barn may be used for agricultural purposes, consisting of permitted principal and accessory uses within the A-1 District. Any other use of this building shall be subject to approval

of a Conditional Use Amendment. Furthermore, the 1910 barn shall comply with all applicable commercial building and occupancy codes, prior to the commencement of any commercial use of the structure. A parking lot, approved by staff via Minor Site & Building Plan Review Application, shall be constructed prior to events being held within this structure.

c. All applicable building permits and approvals for the renovations of existing buildings must be obtained prior to the commencement of any work on the existing buildings. New buildings and additions are subject to Plan Commission review of Site & Building Plan Review Applications. Accessory structures and uses are allowed in accordance with Section 340-2.9B(4) of the Zoning Code.

d. Staff recommends that the parking lot and drive expansion shown on the attached site plan be subject to staff review and approval of a Minor Building & Site Plan Review Application. Lighting, landscaping, storm water management facilities, and other future building and site modifications will require staff or Plan Commission review as determined by the City Planner.

e. No building, as defined in Section 340-16.2, shall be allowed within 75-feet of the 100-year floodplain. Fencing and non-walled structures shall be allowed up to the floodplain boundary unless more restrictive setbacks apply.

f. No building or structure shall be located within 75-feet of the ordinary high water mark of the intermittent stream on the property unless permitted under the Shoreland Overlay District.

g. Staff recommends that event parking shall be allowed within unimproved areas of the site but shall be setback a minimum of 75-feet from the ordinary high-water mark of the intermittent stream onsite.

h. Below are recommended conditions of approval regarding the keeping of animals onsite. Several reference "net" acreage. This acreage is exclusive of the UC Upland Conservancy District and 100-year floodplain portion of the site. The remaining A-1 District portion of the site is roughly 14.5-acres.

i. The property shall consist of no more than one horse per net acre. Stables and stalls for horses shall be a minimum of 300 feet from any single-family residential use.

ii. A maximum of twelve dogs shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit. The dog facility building shall be constructed, prior to keeping or boarding more than six dogs onsite.

iii. Dogs shall be kept indoors after bedtime (time to be specified), except for needed bathroom and exercise breaks and shall not be outdoors onsite without the property owner or a staff person present.

iv. The applicant shall apply for a Kennel License as may be required by the Municipal Ordinance.

- v. A maximum of twelve cats shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit.
- vi. A maximum of ten goats shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit.
- vii. A maximum of two donkeys shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use.
- viii. Animal waste shall be collected daily and stored within the manure pit as shown on the site plan. This area shall be maintained in a clean and sanitary condition and shall be designed to prevent runoff, odor, and attraction of pests. Animal waste shall be removed from the property by a licensed waste hauler or transported to an approved disposal or composting facility at intervals not to exceed 15 days, or more frequently as needed to prevent accumulation. The property owner shall comply with all applicable federal, state, and local regulations regarding waste management, and the City reserves the right to require additional mitigation measures if complaints or nuisance conditions arise.
- ix. All areas of the site utilized for housing, sheltering, walking or exercising, and generally caring for animals shall be a minimum of 300 feet from the property boundaries of any single-family residential use, unless otherwise specifically restricted by this Conditional Use Permit.
- x. All uses listed as permitted principal and accessory uses of the A-1 District shall be allowed under this Conditional Use Permit.
- Xii. Will tents or other temporary structures be set up during events? **Possibly**

Amendments:

Please review the following amendments to the comments:

“All areas of the site utilized for housing, sheltering, walking or exercising, and generally caring for animals shall be a minimum of 300 feet from the property boundaries of any single-family residential use, unless otherwise specifically restricted by this Conditional Use Permit.”

We understand this statement not pertaining to the livestock animals and not being restrained from pasturing up to the 300’ from single family residential property lines; lot is zoned A1 and we don’t believe A1 is restricted.

We intend to walk dogs on leashes, and I intend on trail riding my personal horse along the trails in the back which are not far from various residential areas. We want to clarify this condition. We do not plan on leaving dogs running freely around other residences. However, we do need to be able to utilize our pasture space (all 14.5 acres) as such and want to use our walking trails freely.

“Staff recommends that the parking lot and drive expansion shown on the attached site plan be subject to staff review and approval of a Minor Building & Site Plan Review Application. Lighting, landscaping, storm water management facilities, and other future building and site modifications will require staff or Plan Commission review as determined by the City Planner.”

We will provide the quantity of parking stalls required per zoning requirements.

“Where is the manure pit located? Please illustrate the location on the site plan.”

Correct position shown on site plan. WEST of livestock building.

**A COVENANT
REGARDING THE ISSUANCE OF A
CONDITIONAL USE PERMIT
BY THE
CITY OF PEWAUKEE**

**TAX KEY NUMBER(S)
OR PARCEL(S) INVOLVED:** **CONDITIONAL USE
PERMIT:
NO. CUP-26-1-2**

PWC 0882999001

LEGAL DESCRIPTION:

LOT 1 CSM #12696 VOL 133/49 REC AS DOC #4827964 PT NW1/4
& NE1/4 OF NW1/4 SEC 5 T7N R19E

**PERSON(S), AGENT(S) OR CORPORATION(S) PETITIONING
FOR PERMIT:**

Cold Noses Sanctuary

Recording area

Name & Return Address

City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072

WHEREAS, It is understood by all parties to this covenant that Section 62.23 of WIS. Statutes prescribes the legal basis for the granting of a conditional use permit by a City and Chapter 17 of the City Codes and Ordinances provides for the issuance of such permits as well as the standards by which all such uses will be measured; and,

WHEREAS, The City Plan Commission has held a meeting on January 15, 2026; has reviewed the various elements of the petitioner’s proposal; and has recommended that a Conditional Use Permit be granted to the above-named petitioner for the property/parcel identified above; and,

WHEREAS, The City Common Council held a public hearing meeting on February 2, 2026.

NOW, THEREFORE, let it be known that the City Common Council by its action on February 2, 2026 has, hereby, granted a Conditional Use Permit for the following use(s):

Developing a rescue sanctuary for special-needs animals.

FURTHER, such approved use of the above designated parcel(s) are hereby allowed based on the following conditions being continually met:

1. Educational programs, classes, field trips, fundraisers, holiday events and other similar events and uses shall be limited to one hundred and fifty (150) people or less, unless otherwise approved by a Special Event Permit. Furthermore, the property owner shall notify Police Services and the Fire Department of events of 50 to 150 people.
2. Hours of operations for event type uses shall be limited to 8:00am to 9:00pm Sunday through Thursday and 8:00am to 10:00pm on Fridays and Saturdays.
3. The existing 1910 barn may be used for agricultural purposes, consisting of permitted principal and accessory uses within the A-1 District. Any other use of this building shall be subject to approval of a Conditional Use Amendment. Furthermore, the 1910 barn shall comply with all applicable commercial building and occupancy codes, prior to the commencement of any commercial use of the structure. Moreover, staff recommends that a parking lot, approved by staff via Minor Site & Building Plan Review Application, shall be constructed prior to events being held within this facility.
4. All applicable building permits and approvals for the renovations of existing buildings must be obtained prior to the commencement of any work on the existing buildings. New buildings and additions are subject to Plan Commission review of Site & Building Plan Review Applications in accordance with Section 340-2.9B(4) of the Zoning Code.
5. The parking lot and drive expansion shown on the attached site plan shall be subject to staff review and approval of a Minor Building & Site Plan Review Application.
6. No building, as defined in Section 340-16.2, shall be allowed within 75-feet of the 100-year floodplain. Fencing and non-walled structures shall be allowed up to the floodplain boundary unless more restrictive setbacks apply.
7. No building or structure shall be located within 75-feet of the ordinary high water mark of the intermittent stream on the property unless permitted under the Shoreland Overlay District.
8. Event parking shall be allowed within unimproved areas of the site, but shall be setback a minimum of 75-feet from the ordinary high water mark of the intermittent stream onsite.
9. The property shall consist of no more than one horse per net acre. Stables and stalls for horses shall be a minimum of 300-feet from any single-family residential use.
10. A maximum of twelve dogs shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit. The dog facility building shall be constructed, prior to keeping or boarding more than four dogs onsite.
11. Dogs shall be kept indoors after 9:00 p.m., except for needed bathroom and exercise breaks and shall not be outdoors onsite without the property owner or staff present.
12. The applicant shall apply for a Kennel License as may be required by the Municipal Ordinance.
13. A maximum of twelve cats shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit.
14. A maximum of ten goats shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit.
15. A maximum of two donkeys shall be allowed to be kept onsite unless otherwise approved by an amendment to this Conditional Use Permit.
16. Animal waste shall be collected daily and stored within the manure pit as shown on the site plan. This area shall be maintained in a clean and sanitary condition and shall be designed to prevent runoff, odor, and attraction of pests. Animal waste shall be removed from the property by a licensed waste hauler or transported to an approved disposal or composting facility at intervals not to exceed 15 days, or more frequently as needed to prevent accumulation. The property owner shall comply with all applicable federal, state, and local regulations regarding waste management, and the City reserves the right to require

additional mitigation measures if complaints or nuisance conditions arise.

- 17. All areas of the site utilized for housing, sheltering, walking or exercising, and generally caring for animals shall be a minimum of 100-feet from any single-family residential use, unless otherwise specifically restricted by this Conditional Use Permit
- 18. All uses listed as permitted principal and accessory uses of the A-1 District shall be allowed under this Conditional Use Permit
- 19. This Conditional Use approval is subject to being in compliance with all applicable governmental laws, statutes, rules, codes, orders and ordinances and obtaining all other governmental approvals, permits, licenses and the like, required for and applicable to the project and animal sanctuary use.

The parties hereto, namely the City of Pewaukee and the Equitable Owner of the property for which this conditional use has been sought, set their signatures or the signatures of their representatives below, thereby agreeing to the provisions and conditions set forth in this covenant.

Attest:

Signature of equitable owner

Date

Kelly Tarczewski
City Clerk

Steve Bierce
Mayor, City of Pewaukee

Date

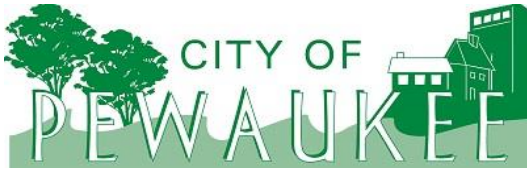
State of Wisconsin
County of Waukesha

Signed or attested before me on _____, 2026 by Steve Bierce, Mayor and Kelly Tarczewski, Clerk.

(Seal)

Ami Hurd
My Commission expires _____

This instrument was drafted by Ami Hurd, Deputy Clerk



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of January 15, 2025

Date: January 7, 2026

Project Name: Border States Site & Building Plan Review Application

Project Address/Tax Key No.: W227N2837 Duplainville Road / PWC 0914973

Applicant: Industrial Holding c/o Stag Industrial Mgt

Property Owner: INDUSTRIAL HOLDINGS LLC

Current Zoning: M-1 General Wholesale Business / Warehouse District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing

Use of Surrounding Properties: Industrial and single-family to the north and east, industrial, and commercial to the south and west

Project Description/Analysis

The applicant filed a Site & Building Plan Review Application for a proposed security fence for property located at W227N2837 Duplainville Road.

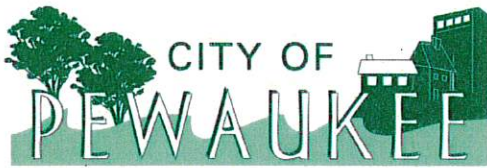
The applicant is proposing an eight-foot-tall chain-link fence with three strands of barbed wire on top. There are two buildings on this property. The fence will be located to the rear or west of the northernmost building, enclosing the truck parking and loading area as depicted on the site plan. The applicant indicated that trees will be trimmed along the north property line to allow for the fence; however, the applicant did not indicate the removal of trees. Note the properties to the north are industrial properties zoned M-2.

Note Section 340-2.9B(5) of the Zoning Code requires that all accessory structures in nonresidential districts require Plan Commission approval of a Site & Building Plan Review Application.

The fence is located within the interior of the site, however, there is a single-family home to the east that will see the fence where it connects to the northeast corner of the building. Staff recommends a minimum of two evergreen plantings be installed at the end of the drive along the north side of the building to screen the fence from the adjacent single-family property to the east.

Recommendation

Staff recommends approval of the subject Site & Building Plan Review Application for the proposed fence.

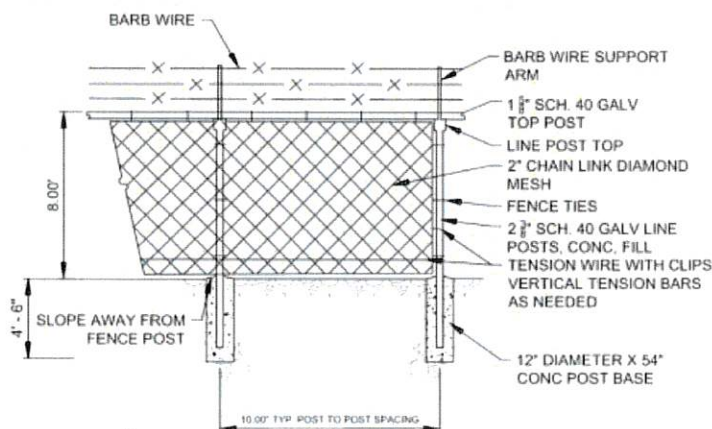


Date: December 15, 2025
To: Industrial Holding c/o Stag Industrial Mgt
From: Nick Fuchs, Planner & Community Development Director
RE: Staff Comments – Border States Site & Building Plan Review Application

Comments and Recommendations:

Below are comments and recommendations for the proposed development application for property located at W227N2837 Duplainville Road (Tax Key No. PWC 0914973).

1. The plan size at 8 ½ x 11 is not legible. Typically, 11 x 17 will suffice, but regardless, please ensure that the site plan is legible and all improvements are easily identified.
2. What is the need for barbed wire fencing? Is security a concern at this location? **The van trucks used to haul materials back and forth for distribution can have upwards of a million dollars in value. Similar sites that have been constructed for Border States have been subject to theft.**
3. Staff recommends adding evergreen plantings at the end of the drive along the north side of the building to further screen the fence from the adjacent single-family property to the east.
4. Is any outdoor storage proposed? **Van trucks waiting to unload and load for distribution.**
5. Please provide a detail or example image of the fence in addition to the site plan with the resubmission to Plar Commission.



1 FENCE DETAIL



1 SITE PLAN
1" = 30'-0"

SITE PLAN NOTES

DISTURBED AREAS
1. DISTURBED AREAS SHALL BE RESTORED TO EXISTING CONDITION.

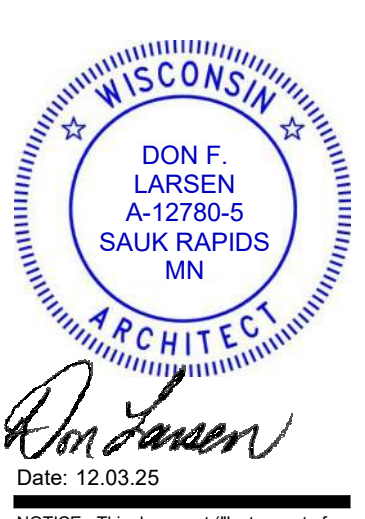
GRADES
1. BLEND ALL PROPOSED GRADES INTO EXISTING GRADES AS INDICATED ON THE DRAWINGS TO PRODUCE THE INTENDED DRAINAGE PATTERNS AND TO PROVIDE A UNIFORM TRANSITION FROM THE PROPOSED TO EXISTING GRADES.

FENCING AND GATES
1. ALL NEW FENCING TO BE 8'-0" TALL SECURITY CHAIN LINK FENCING WITH THREE STRANDS OF BARBED WIRE ABOVE, UNLESS NOTED OTHERWISE.
2. VEHICLE GATES TO BE AUTOMATIC ROLLING GATES WITH CARDIOB READER ACCESS.
3. PERSONNEL GATES TO HAVE 3'-0"x7'-0" CLEAR OPENING, TYPICAL.

Project Narrative:
Installation of an 8' high fence with 3 strands of barbed wire on the top starting on the NE corner of the building, follow the backside of the curb to the SW Corner, install a double swing gate and a personnel gate. Overgrown trees on the north end of the property would need to be trimmed to allow for this project.

REVISIONS

NUMBER	DATE
2	12.03.25
1	11.20.25



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January 06, 2026

Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee WI 53072

Dear City of Pewaukee Zoning Board members

I am writing to formally request a variance for the setback requirements set forth in the City of Pewaukee Municipal Code, Section 17.0426-M-4, Industrial Park District for the property located at ATC Headquarters, W234 N2000 Ridgeview Pkwy Ct., Waukesha, WI 53188. We are involved in a project to replace the aging infrastructure for the two chiller plants that support their Secured Operating Center (SOC). The existing air-cooled equipment associated with their current chilled water plants is mounted inside partially enclosed rooms within the current SOC building footprint. The physical size and operating clearances prevent us from utilizing the same space within the building footprint for the new equipment. Because of this, we are forced to relocate this equipment outside of the building as reflected in the documents provided. I am seeking to modify the setback requirement from 45 feet to 28 feet to address the encroachment by this new equipment.

This modification will allow me to address the replacement of the aging infrastructure and ensure that they can maintain operation of their chilled water systems to support the critical function of their operation. ATC does have plans in the future to design and install a hardened structure to surround this air-cooled equipment, but there is no timeline for this to occur. Documents have been released for bidding with awarding of contracts expected to occur by the end of January 2026. This will be a phased project schedule with equipment procurement to occur starting in April 2026 and with construction expected to be completed around October 2027. Changes to schedule will be adjusted dependent on both the outcome of this variance application and plan review. The estimated project cost is around \$12 million.

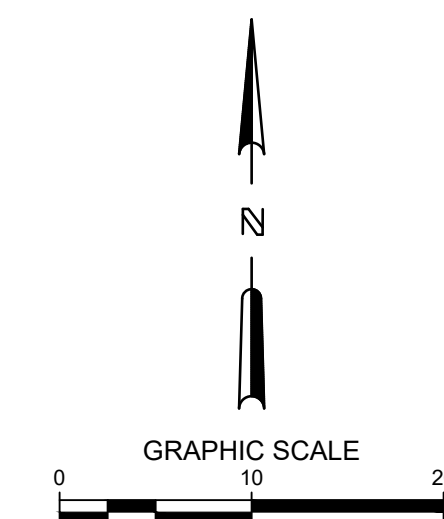
I have attached both Civil and Mechanical site plans along with equipment cut sheets to help illustrate my request. I appreciate your consideration of my application and look forward to your favorable response.

Thank you for your attention to this matter.

Sincerely,
RING & DuCHATEAU, LLP
Consulting Engineers

Frank Lopez

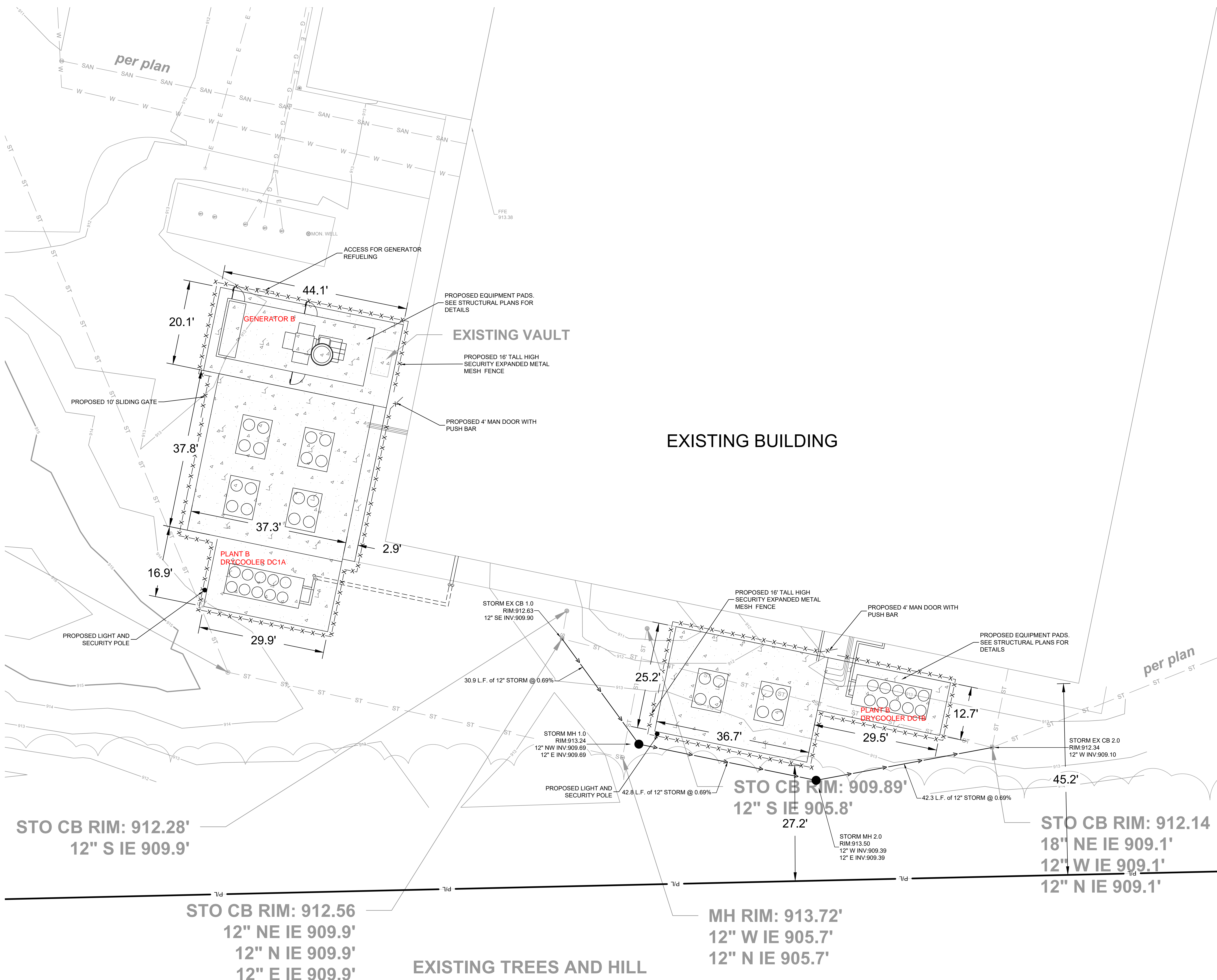
Frank Lopez
Project Manager



SITE INFORMATION		
SITE DISTURBED AREA	5980	0.137 AC
ADDITIONAL IMPERVIOUS AREA	4017	0.092 AC

- LEGEND:**
- [Pattern] CONCRETE PAD (SEE STRUCTURAL PLANS FOR DETAILS)
 - X - PROPOSED FENCE

SECTION 17.0426 - M-4, INDUSTRIAL PARK DISTRICT
F. Setbacks and Yards
All structures, employee parking, signs, storage areas, and fences shall be located not less than 45 feet from the right-of-way of a street, road, highway, or a park boundary, not less than 45 feet from any other parcel boundary, not less than 50 feet from another building and not less than 75 feet from the designated 100 year recurrence interval (base flood) floodplain of all navigable streams and bodies of water and 25 feet from any designated wetland. Loading docks or areas shall be located not less than 100 feet from the right-of-way.



PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION OF ISSUE
1	12-08-25	BID DOCUMENTS

PROJECT TITLE
ATC PEWAUKEE S.O.C. CHILLER PLANTS "A" & "B" MODIFICATIONS

SHEET NAME
SITE PLAN

DRAW N APPROVED

DATE
DECEMBER 8, 2025

R&D PROJECT NO.
224144.00

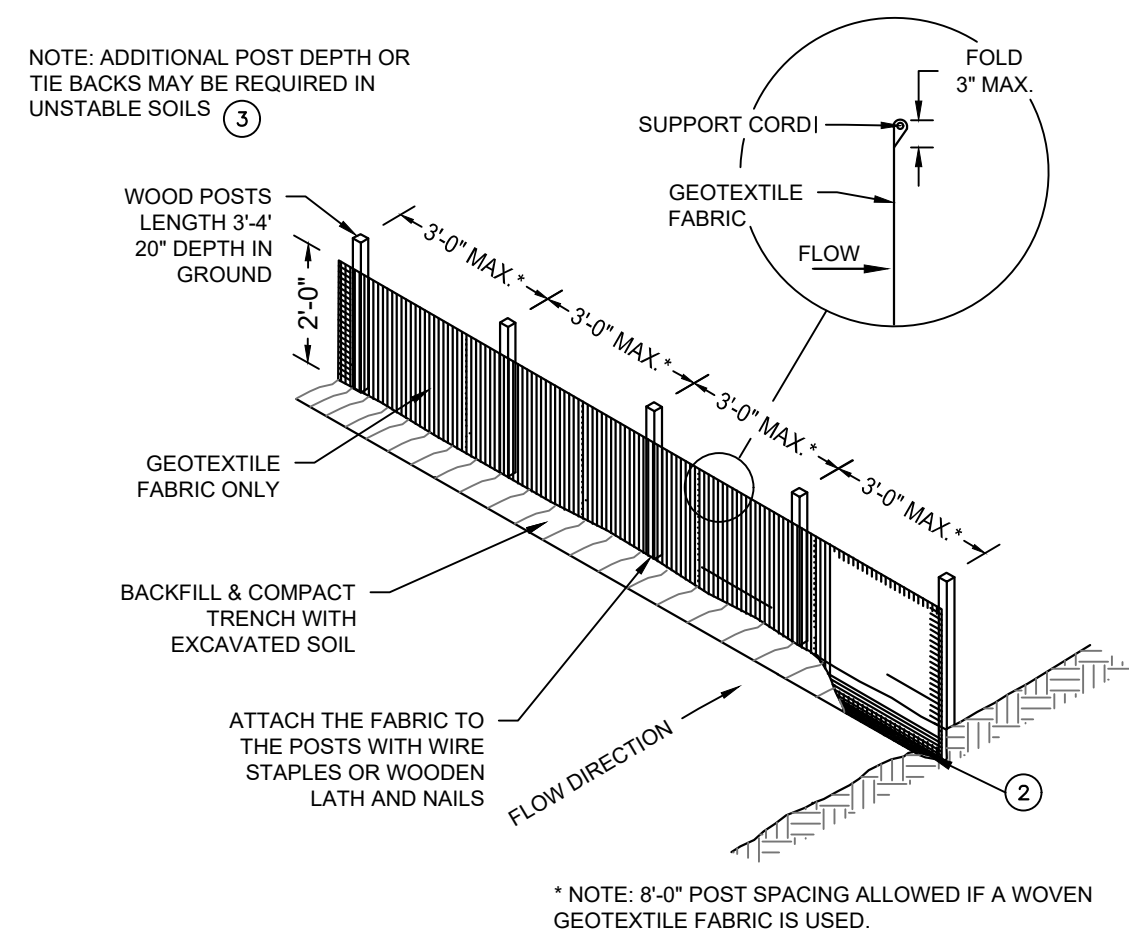
SHEET NUMBER
C100

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
 - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
 - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
 - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
 - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
 - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

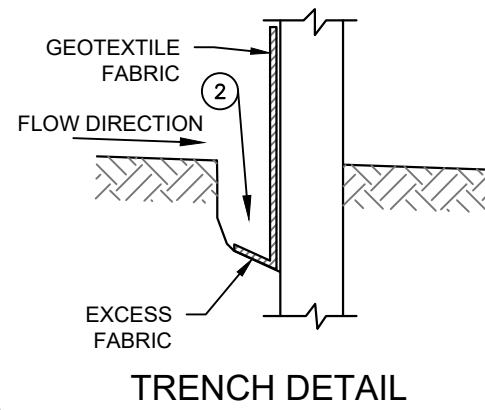
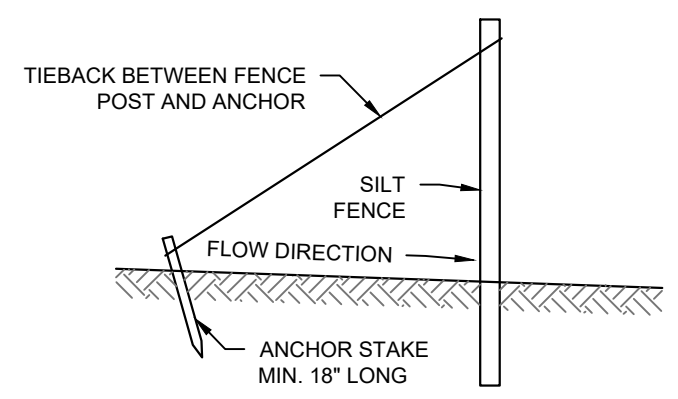
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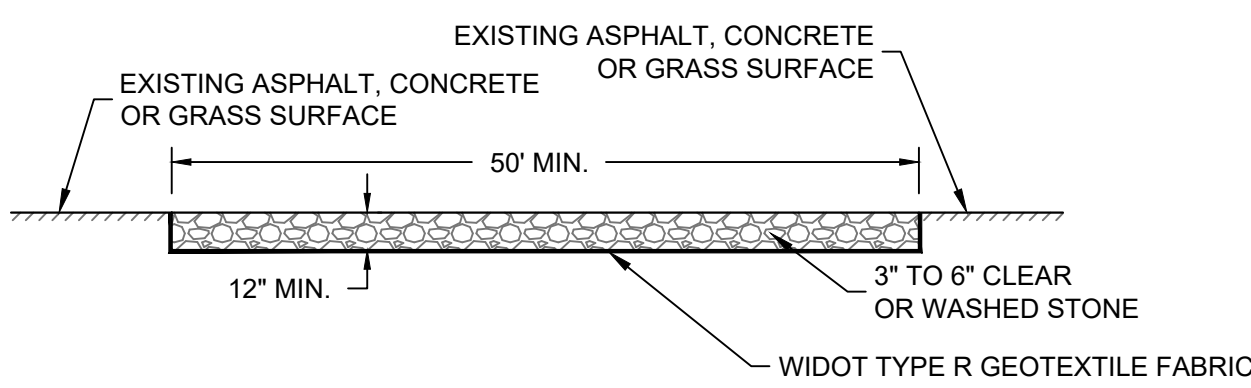
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



SILT FENCE

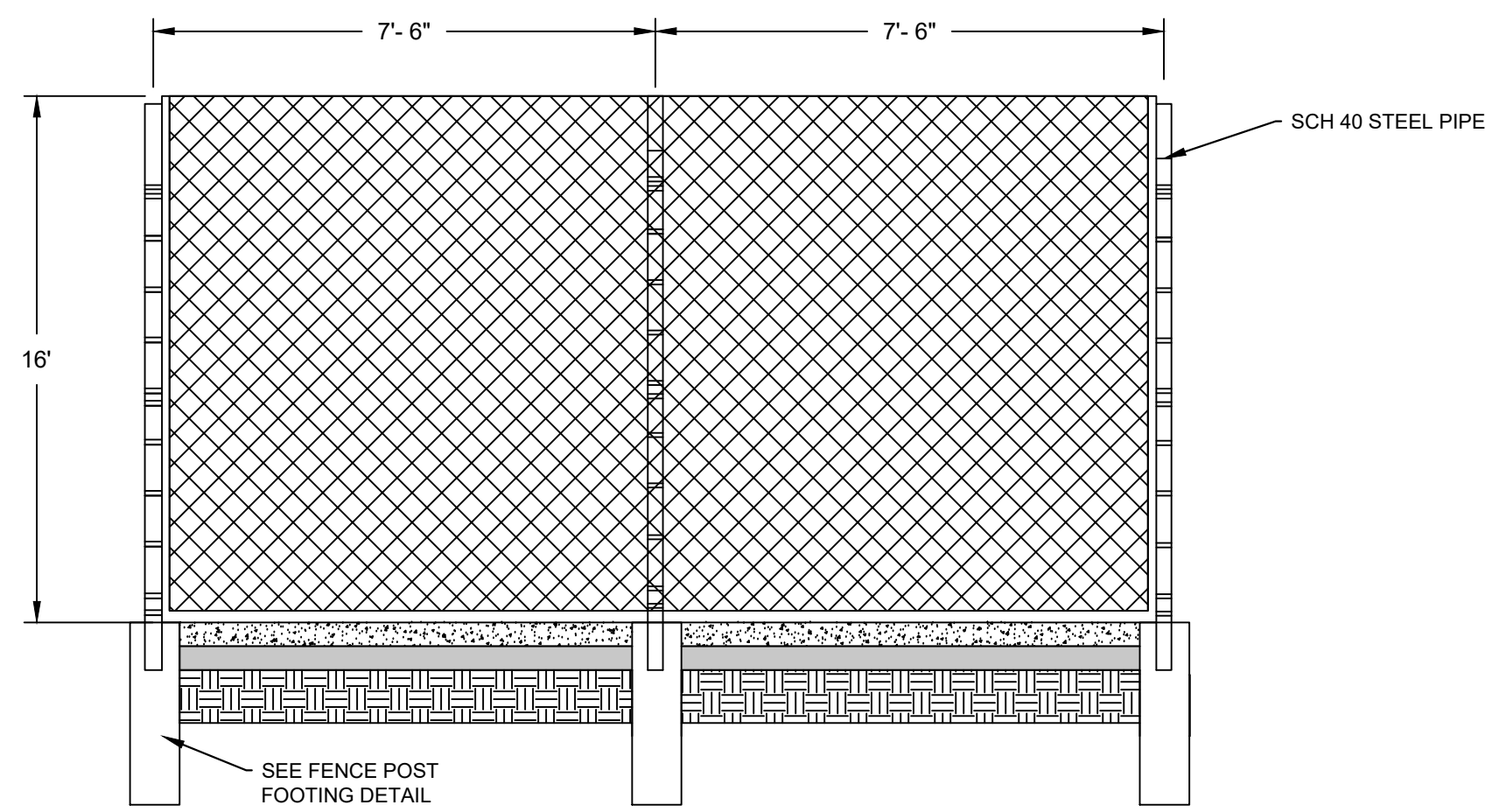


A SILT FENCE - WDNR TS-1056
SCALE: 1" = 1'

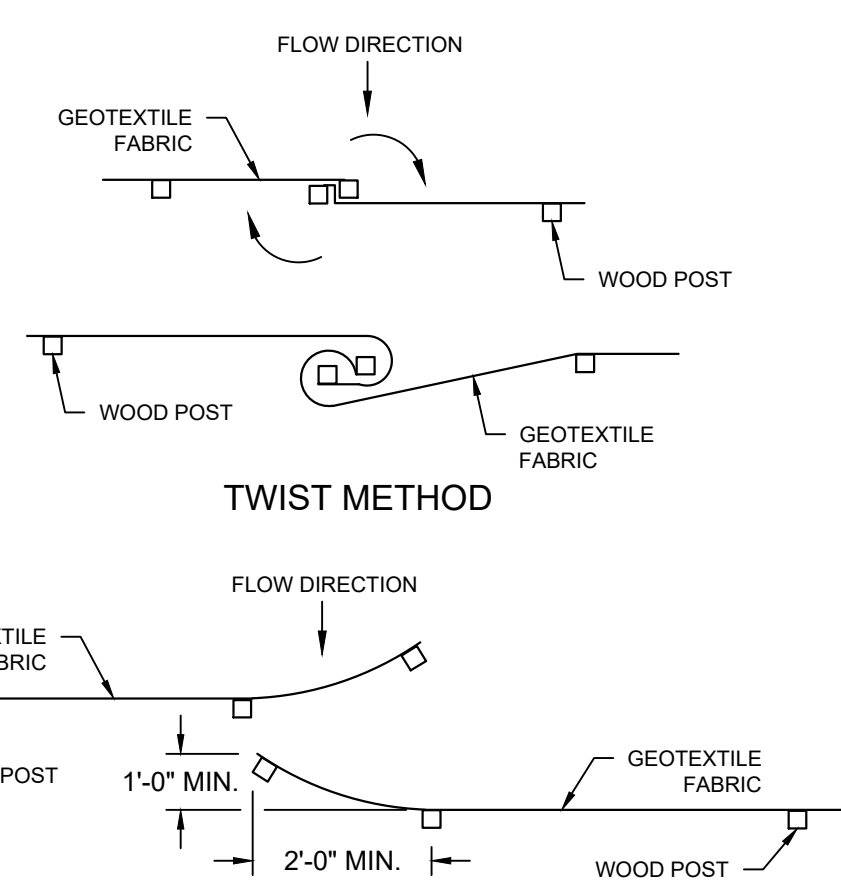


- GENERAL NOTE:
1. STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057
 2. AN APPROVED MANUFACTURED TRACKOUT CONTROL DEVICE SYSTEM CONFORMING TO WDNR TECHNICAL STANDARD #1057 MAY BE USED AS AN ALTERNATIVE TO A STONE TRACKING PAD

B CONSTRUCTION ENTRANCE - WDNR TS-1057
SCALE: 1" = 1'



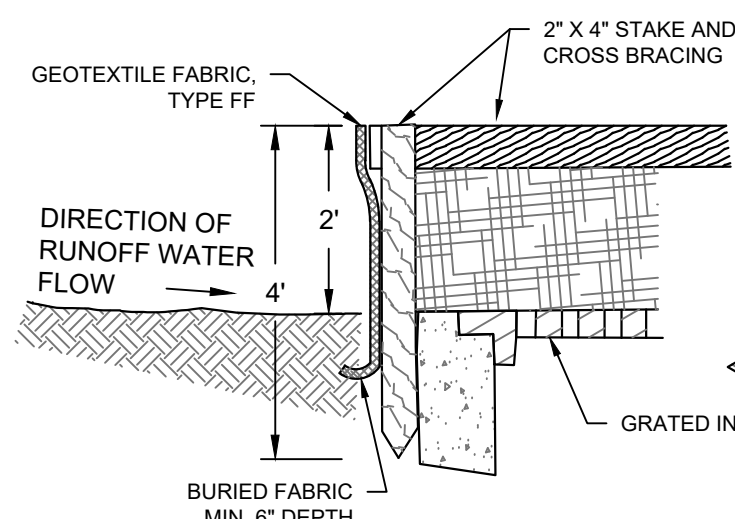
F FENCE SECTION
SCALE: NTS



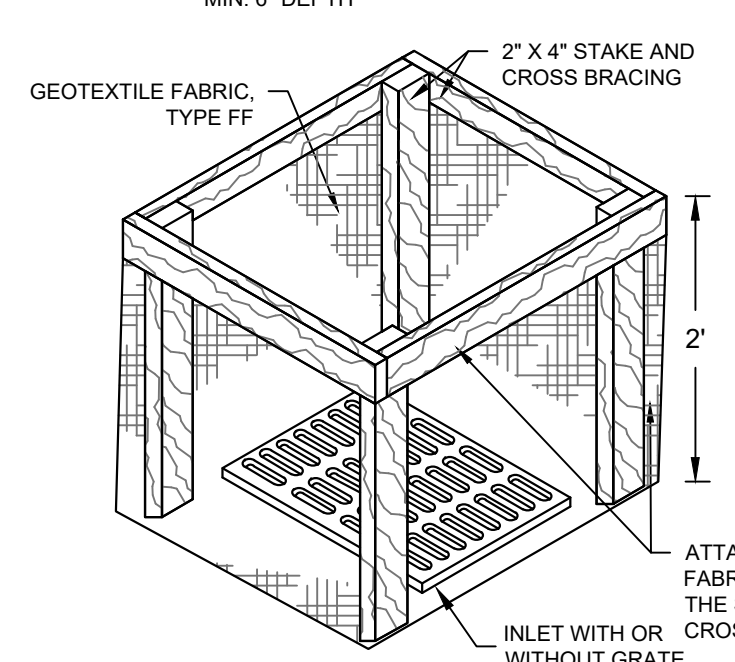
HOOK METHOD (3)

JOINING TWO LENGTHS OF SILT FENCE

- GENERAL NOTES
1. HORIZONTAL BRACE REQUIRED WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/2" X 1-1/2" OF OAK OR HICKORY.
 4. WHERE SILT FENCE CROSSES A CULVERT, SILT FENCE SHALL BE DIVERTED OVER THE CULVERT OVER THE CULVERT TO NOT RESTRICT FLOW.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTHS.
 6. SILT FENCE SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1056
 7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2



INLET PROTECTION, TYPE A



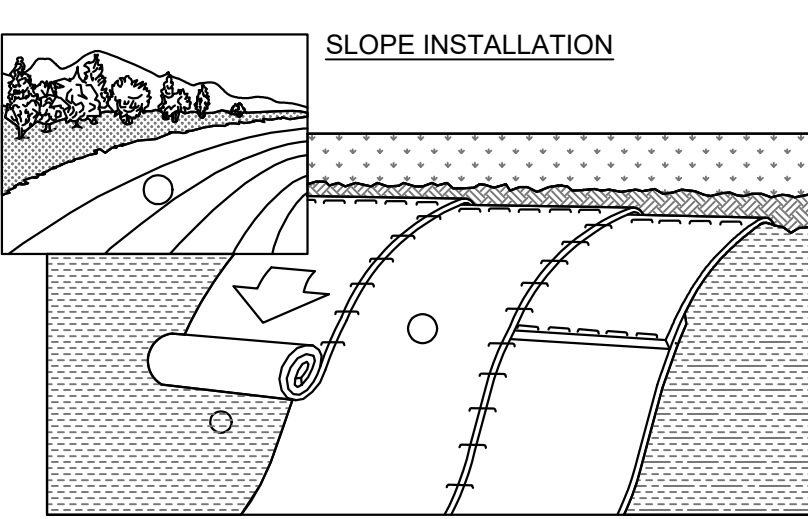
INLET PROTECTION, TYPE C (WITH CURB BOX)

INLET PROTECTION, TYPE B (WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES:

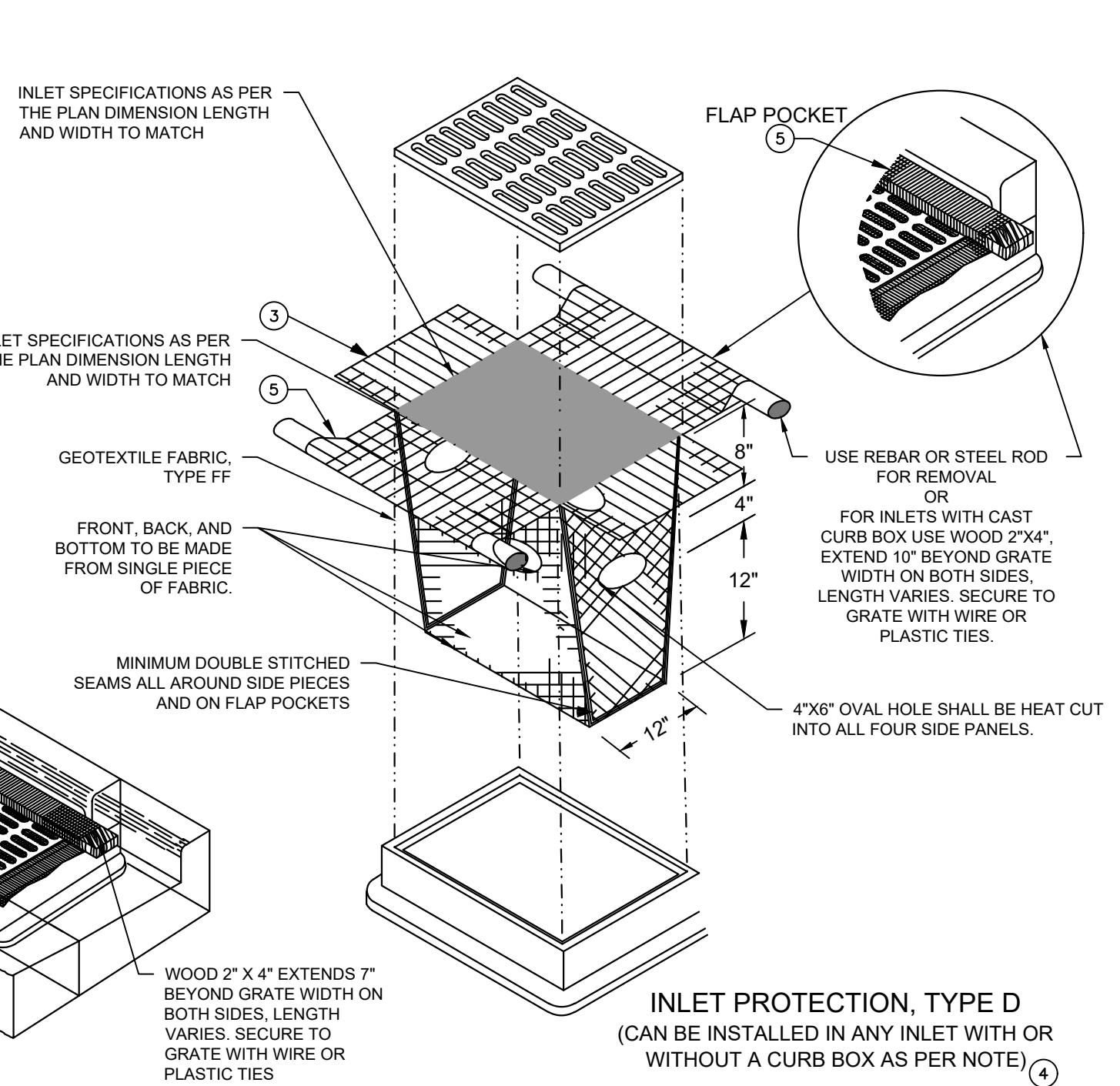
1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4".
6. INLET PROTECTION SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1060
7. THIS DRAWING IS BASED ON WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD DETAIL DRAWING 8 E 10-2

C INLET PROTECTION - WDNR TS-1060
SCALE: 1" = 1'



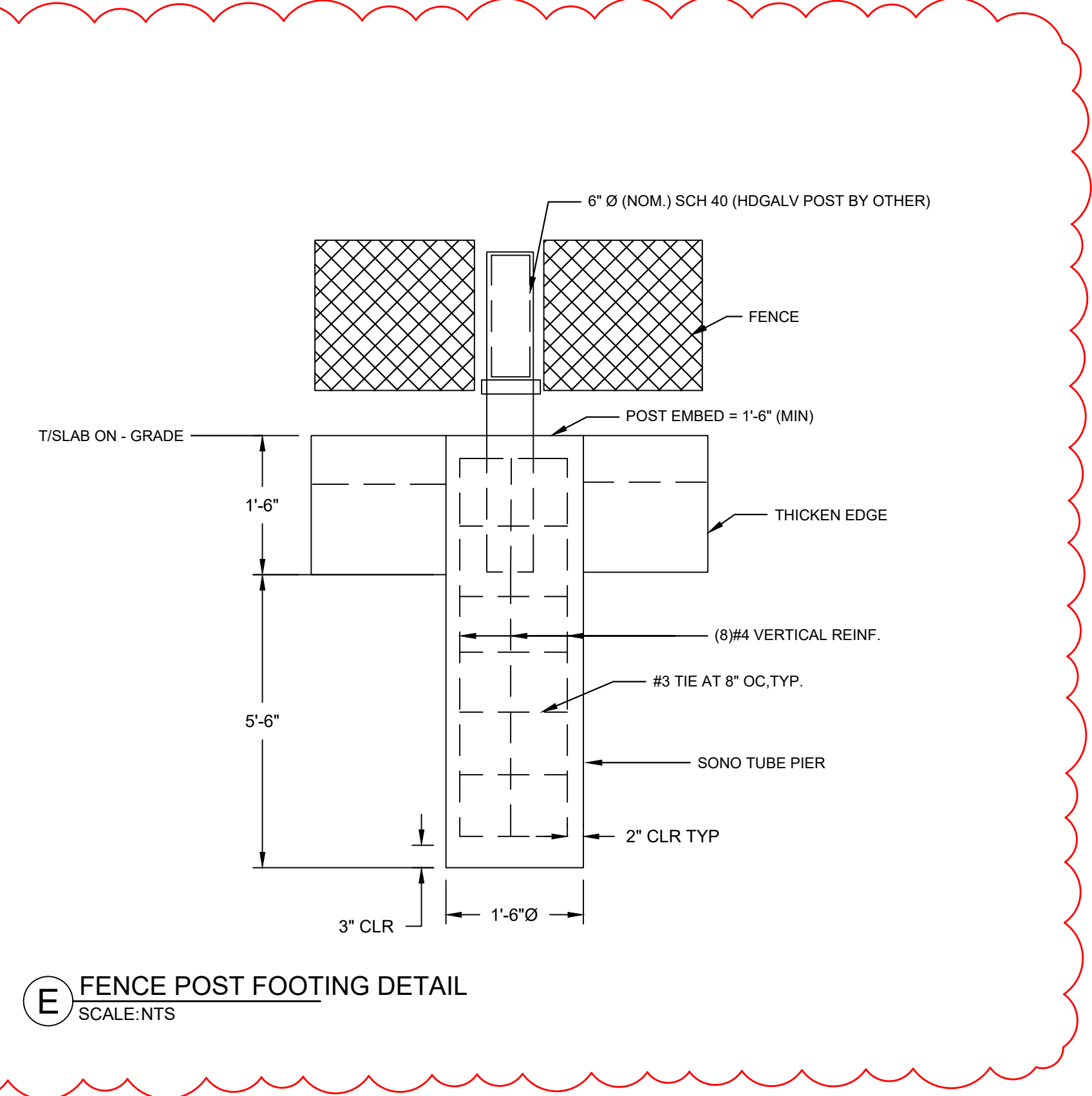
- NOTES:
1. ECRMs (EROSION CONTROL REVEGETATIVE MATS) SHALL BE INSTALLED AFTER ALL TOPSOILING, FERTILIZING, LIMING, AND SEEDING IS COMPLETE.
 2. THE MAT SHALL BE IN FIRM AND INTIMATE CONTACT WITH THE SOIL. IT SHALL BE INSTALLED AND ANCHORED PER THE MANUFACTURER'S RECOMMENDATION.
 3. TRMs (TURF-REINFORCEMENT MAT) SHALL BE INSTALLED IN CONJUNCTION WITH THE TOPSOILING OPERATION AND SHALL BE FOLLOWED BY ECRM INSTALLATION.
 4. AT TIME OF INSTALLATION, DOCUMENT THE MANUFACTURER AND MAT TYPE BY RETENTION OF MATERIAL LABELS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. RETAIN THIS DOCUMENTATION UNTIL THE SITE HAS BEEN STABILIZED.
 5. EROSION MATTING SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1052.
 6. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 7. WHERE A TRM IS INSTALLED, THE TRM LOCATION SHALL BE AS-BUILT PRIOR TO PLACEMENT OF TOPSOIL AND ECRM PLACEMENT. PROVIDE AS-BUILT LOCATION TO THE ENGINEER.

D EROSION MATTING - WDNR TS-1052
SCALE: 1" = 1'



INSTALLATION NOTES:

- TYPE B & C TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3". WHERE NECESSARY THE CONTRACTOR SHALL GINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



E FENCE POST FOOTING DETAIL
SCALE: NTS

PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION OF ISSUE
2	12-23-25	ADDENDUM 02
1	12-08-25	BID DOCUMENTS

PROJECT TITLE
ATC PEWAUKEE S.O.C. CHILLER PLANTS "A" & "B" MODIFICATIONS

SHEET NAME
DETAILS

DRAWN
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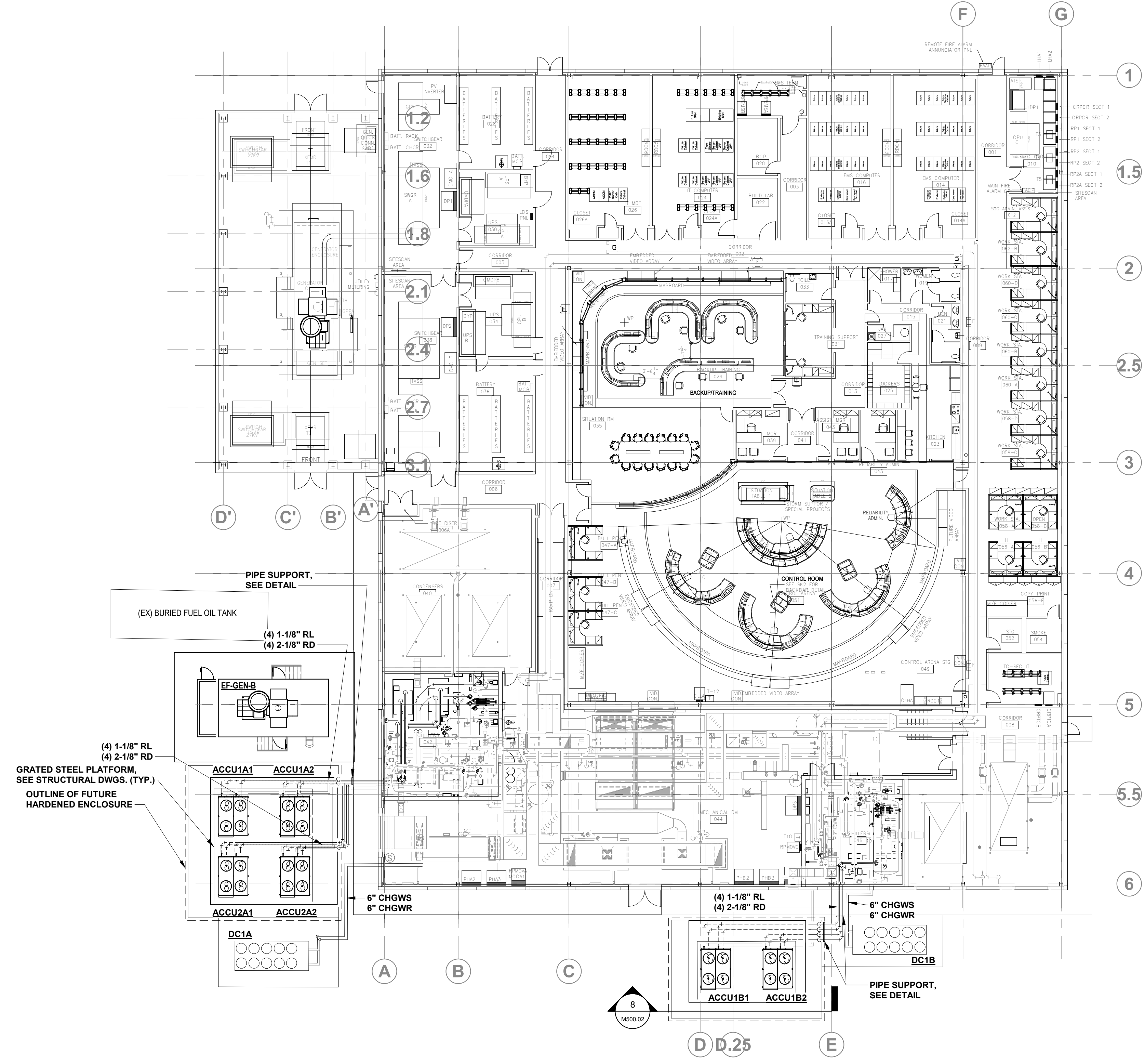
APPROVED

DATE
DECEMBER 8, 2025

R&D PROJECT NO.
224144.00

SHEET NUMBER
C400

- BURIED FUEL OIL STORAGE TANK (WORK PERFORMED BY PETROLEUM EQUIPMENT UNDER SEPARATE CONTRACT WITH ATC.)**
1. MOBILIZE TO SITE
 2. SAW CUT AND REMOVE CONCRETE AROUND EXISTING MANHOLES.
 3. REMOVE EXISTING MANHOLES.
 4. FURNISH AND INSTALL (2) 44" MANHOLES AND (3) 18" MANHOLES WITH COMPOSITE LID AND STAINLESS-STEEL RIMS AND SKIRTS.
 5. FURNISH AND INSTALL FAIRFIELD INDUSTRIES STAINLESS-STEEL SPILL CONTAINER.
 6. FURNISH AND INSTALL (1) NEW OVERFILL LIMITING VALVE.
 7. FURNISH AND INSTALL (1) 12" MONITORING WELL MANHOLE.
 8. POUR CONCRETE BACK TO GRADE.



1 MECHANICAL SITE PLAN
1/16" = 1'-0"

REV	DATE	DESCRIPTION OF ISSUE
1	12/08/25	BID DOCUMENTS

PROJECT TITLE

**ATC PEWAUKEE
S.O.C. CHILLER
PLANTS "A" & "B"
MODIFICATIONS**

SHEET NAME
**MECHANICAL
SITE PLAN**

DRAW	APPROVED
MRT	FLL

DATE
December 08, 2025

R&D PROJECT NO.
224144.00

SHEET

M100.02

MATERIALS:
UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE USED. REFER TO MATERIAL NOTES AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

TYPE OF CONSTRUCTION	CONCRETE MATERIALS SCHEDULE					MAXIMUM W/C	AIR CONTENT
	COMPRESSIVE STRENGTH (psi) (ASTM C39)	EQUIV. WEIGHT (pcf)	EXPOSURE CATEGORIES				
	F	S	W	C			
FOOTINGS	3,000	145					
FROST WALLS	4,000	145	F1			0.55	5%
GRADE BEAMS	4,000	145	F1			0.55	5%
EXTERIOR SLABS AND PERIS	4,000	145	F2			0.45	6%
EXTERIOR SLAB ON GROUND	5,000	145	F3		C2	0.4	6%
LEAN CONCRETE	1,000	145					

CONCRETE MATERIALS SCHEDULE NOTES:

- CORROSION EXPOSURE SHALL BE F0, W0 AND C0 UNLESS NOTED OTHERWISE IN THE EXPOSURE CATEGORIES COLUMN.
- MAXIMUM AGGREGATE SIZE FOR ALL MIXES TO BE 3/8 INCHES. FOOTINGS MAY BE 1 1/2 INCHES.
- PROVIDE 3% AIR CONTENT AT ALL EXPOSED CONDITIONS NOT EXPLICITLY NOTED ABOVE. TOLERANCE OF AIR CONTENT AS DELIVERED SHALL BE ± 1%.
- CONCRETE SUPPLIER AND FINISHER SHALL COORDINATE PROPERTIES OF PROPOSED MIX DESIGN UNDER VARIOUS WEATHER CONDITIONS TO COMPLETE PLACING AND FINISHING OF SLAB FOR THE PROJECT REQUIREMENTS AND IN A TIMELY MANNER. APPROVED CHEMICAL ADJUTANTS MAY BE USED TO INCREASE WORKABILITY PROVIDED THE ADJUTANT TREATED CONCRETE HAS THE SAME OR LOWER WATER/CEMENT RATIO AND DOES NOT EXHIBIT SEGREGATION POTENTIAL OR EXCESSIVE BLEEDING. IF PROPOSED SLUMP WILL EXCEED 7", PROVIDE DOCUMENTATION OF PAST PERFORMANCE OF MIX DESIGN.
- FOR CONCRETE FLOOR SLABS AND TOPPLINGS, THE MINIMUM CEMENTITIOUS MATERIAL CONTENT SHALL BE 340 LBS/CY UNLESS APPROVED BY ENGINEER OF RECORD.
- CONCRETE COMPRESSIVE STRENGTH SHALL BE DETERMINED AT 28 DAYS FOR STRENGTH EQUAL TO OR LESS THAN 8000 PSI, AND AT 56 DAYS FOR STRENGTH GREATER THAN 8000 PSI.
- FOR EXPOSURE CATEGORY F0, MAXIMUM PERCENT OF TOTAL CEMENTITIOUS MATERIALS BY MASS AS FOLLOWS:
 - FLY ASH OR OTHER POZZOLANS CONFORMING TO ASTM C618 - 25%
 - SLAG CEMENT CONFORMING TO ASTM C697 - 20%
 - SLAG FINE CONFORMING TO ASTM C698 - 75%
 - TOTAL OF FLY ASH OR OTHER POZZOLANS AND SLAGA FINE - 50%
 - D. TOTAL OF FLY ASH OR OTHER POZZOLANS AND SLAGA FINE - 50%
- FOR EXPOSURE CATEGORIES S2, S3, AND S4, MINERAL FILLERS DERIVED FROM CARBONATE AGGREGATE ARE PROHIBITED. FOR EXPOSURE CATEGORIES S4 AND S3, DO NOT USE CEMENTITIOUS MATERIALS OTHER THAN PORTLAND CEMENT OR CONCRETE.
- REFER TO MASS CONCRETE NOTES FOR ADDITIONAL REQUIREMENTS.
- CONCRETE SUPPLIER, IN CONSULT WITH THE GENERAL CONTRACTOR, TO PROVIDE CONCRETE MIX SUCH THAT THE MAXIMUM TEMPERATURE WILL NOT EXCEED 98 DEGREES FAHRENHEIT. UNLESS A THERMAL GRADIENT FROM THE CENTER TO THE EDGE OF THE CONCRETE PLACEMENT THAT EXCEEDS 35 DEGREES FAHRENHEIT IS NOT PERMITTED.

METAL / STEEL:
UNLESS NOTED OTHERWISE, THE FOLLOWING MATERIALS SHALL BE PROVIDED:

- REINFORCING STEEL (EPOXY COATED) _____ GRADE 60
- ASTM A615 (DEFORMED) TYPICAL _____ GRADE 60
- STEEL WELDED WIRE REINFORCEMENT, FLAT SHEETS, ASTM A106A _____ GRADE 60

- STRUCTURAL STEEL (HOT DIPPED GALVANIZED, TYPICAL) _____
- ROLLED WIDE FLANGE SHAPES, ASTM A992 _____ GRADE 50
- CHANNELS, ANGLES AND SHAPES, ASTM A992 _____ GRADE 50
- PLATES AND BARS, TYPICAL, ASTM A572 _____ GRADE 50
- FLAT BAR, WHERE NOTED, ASTM A572 _____ GRADE 50
- RECT. HSB SHAPES, ASTM A572, TYPICAL _____ GRADE C (Fy = 68 KSI)
- CIRCULAR HSB SHAPES, ASTM A572, TYPICAL _____ GRADE C (Fy = 68 KSI)
- ASTM A572, TYPE E, DR _____ GRADE B (Fy = 50 KSI)
- PIPE, ASTM A53, TYPE E, DR _____ GRADE B
- ALL OTHER ROLLED SHAPES, ASTM A992 _____ GRADE 50

- STRUCTURAL CONNECTORS (HOT DIPPED GALVANIZED, TYPICAL) _____
- HIGH STRENGTH BOLTS, ASTM F1554, TYPE 1, TYPICAL _____ GROUP A (102 KSI)
- HIGH STRENGTH BOLTS, ASTM F1554, TYPE 1, WHERE NOTED _____ GROUP B (150 KSI)
- NUTS, ASTM A563 _____
- WASHERS, ASTM A563 _____

WELDING ELECTRODES:
STRUCTURAL STEEL _____ E70X

STRUCTURAL STEEL:

- DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) 'STEEL CONSTRUCTION MANUAL', EDITION AS SPECIFIED BY CODE. UNLESS OTHERWISE SPECIFIED.
- STEEL DETAILING AND CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF AISC 305 'SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS', EDITION AS SPECIFIED BY CODE. UNLESS OTHERWISE SPECIFIED.
- BEAM AND GIRDERS CONNECTIONS SHALL BE DETAIL AS NOTED ON PLANS AND DETAILS.
- STEEL FABRICATOR SHALL DESIGN CONNECTIONS NOT SPECIFICALLY DETAILED ON PLANS AS FOLLOWS:
 - MEMBER SHEAR CONNECTIONS, UNLESS LARGER VERTICAL END REACTION IS SHOWN ON THE DRAWINGS (i.e. R = 85%), MINIMUM DESIGN SHEAR FORCES SHALL BE A NON-COMPOSITE SUPPORT REACTION "R" EQUAL TO ONE HALF THE TOTAL UNIFORM LOAD CAPACITY FROM THE TRIBE OF UNIFORM LOAD CONDITIONS IN THE JOINT. UNIFORM LOAD CAPACITY SHALL BE THE DESIGN SPAN AND GIRDE OF DESIGN.
- SUBSTITUTION REQUESTS FOR CONNECTIONS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER WITH CALCULATIONS THAT ARE PREPARED AND SIGNED BY A REGISTERED STRUCTURAL ENGINEER SHOWING THAT THE SUBSTITUTED CONNECTION WILL ACHIEVE AN EQUIVALENT CAPACITY USING THE APPROPRIATE DESIGN PROCEDURE REQUIRED BY THE BUILDING CODE.
- STRUCTURAL STEEL AND CONNECTIONS EXPOSED TO WEATHER OR CORROSIVE ENVIRONMENTS SHALL BE GALVANIZED OR COATED PER THE REQUIREMENTS OF AISC 308.**
 - CONNECTIONS TO BE GALVANIZED SHALL BE GALVANIZED TO THE FULL EXTENT OF CONTACT SURFACES.
 - WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS HOLDING CURRENT AWS CERTIFICATES IN THE TYPES OF WELDING SPECIFIED ON THE CONNECTION DOCUMENTS. UNLESS OTHERWISE NOTED, WELDED JOINTS SHALL BE PERFORMED BY A WELDER WHO HAS RECEIVED TRAINING AND IS QUALIFIED TO WELD JOINTS AS NOTED ON PLANS AND DETAILS.
 - ALL STEEL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER (WITHIN TOLL TOLERANCE) IN THE UPWARD VERTICAL DIRECTION.
 - PROVIDE 3/8" CAP PLATE AT THE ENDS OF ALL EXPOSED TUBE AND PIPE MEMBERS, UNLESS NOTED OTHERWISE.
 - PROVIDE STIFFENER PLATES ON BOTH SIDES OF BEAM MEMBERS ALL CONCENTRATED LOADS ABOVE AND BELOW A BEAM, UNLESS NOTED OTHERWISE. FRAME THE LARGEST BEAM OVER COLUMNS AT BEAM TO BEAM INTERSECTIONS.
 - SPICES SHALL BE ALLOWED ONLY AT LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL ENGINEER. UNLESS OTHERWISE NOTED, FRAMES SHALL BE TO BE USED AT BEAM INTERSECTIONS.
 - CONTRACTOR SHALL ELECTRONICALLY SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ENGINEER.
 - THE STRUCTURE IS STABLE ONLY IN ITS COMPLETED FORM. CONTRACTOR SHALL DETERMINE, FURNISH AND INSTALL ANY TEMPORARY BRACING OR GUYRS REQUIRED TO ERECT STEEL MEMBERS. TEMPORARY BRACING SHALL BE LEFT IN PLACE UNTIL THE PERMANENT STRUCTURE IS IN PLACE AND SECURE.
 - STRUCTURAL STEEL FRAMING SHALL BE TRUE AND PLUMB BEFORE CONNECTIONS ARE FINALLY BOLTED OR WELDED.
 - ANY HOLES, CUTS, OR CORING FIELD CUT TWO STEEL MUST BE VERIFIED WITH THE STRUCTURAL ENGINEER PRIOR TO WORK. CONTRACTOR SHALL COORDINATE ALL HOLES REQUIRED BY OTHERS WITH THE STRUCTURAL ENGINEER.
 - STEEL SUPPLIER SHALL COORDINATE HIS WORK WITH OTHER DELEGATED DESIGN COMPONENTS (i.e. STEEL JOISTS, PRECAST CONCRETE, STEEL STAR COMPONENTS, ETC.).
 - STEEL SUPPLIER SHALL VERIFY ALL MEET EQUIPMENT, DISTRIBUTION SYSTEMS, AND BUILDING EQUIPMENT WEIGHTS, SIZES, AND LOCATIONS PRIOR TO PREPARING SHOP DRAWINGS AND FABRICATING MATERIALS. CONTRACTOR TO COORDINATE ANY CHANGES W/ STEEL SUPPLIER AND STRUCTURAL ENGINEER.

EXISTING CONSTRUCTION CONDITIONS:

- ALL EXISTING FRAMING SHOWN ON THESE DRAWINGS IS BASED ON AVAILABLE DOCUMENTATION AND FIELD OBSERVATION TO DATE. CONTRACTOR SHALL VERIFY ALL SIZES, DIMENSIONS, ELEVATIONS, AND CONFIGURATIONS OF EXISTING STRUCTURAL ELEMENTS (COLUMNS, BEAMS, WALLS, ETC.) AS NECESSARY TO PROPERLY INSTALL ALL NEW STRUCTURAL ELEMENTS AS SHOWN. CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF DISCREPANCIES AND COORDINATE DIFFERENCES BETWEEN FIELD CONDITIONS AND STRUCTURAL DRAWINGS PRIOR TO PROCEEDING WITH WORK, AND PROCUREMENT/FABRICATION OF MATERIALS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY STRUCTURAL ENGINEER OF ANY CONFLICTS WITH CONSTRUCTION DOCUMENTS.
- REMOVE AND REPLACE AND/OR MODIFY ALL EXISTING CONSTRUCTION (ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND MECHANICAL) AS REQUIRED IN ORDER TO PLACE NEW STRUCTURAL WORK SHOWN ON THE CONSTRUCTION DOCUMENTS. ONLY MODIFY STRUCTURAL COMPONENTS WHERE DETAILED ON CONSTRUCTION DOCUMENTS.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND CONSTRUCTION SEQUENCE IN ORDER TO ENSURE THE SAFETY OF THE BUILDING AND WORKERS DURING CONSTRUCTION MEANS AND METHODS OF CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, SHORING, TEMPORARY BRACING, ETC. CONTRACTOR SHALL DESIGN AND PROVIDE ALL SHORING REQUIRED TO SUPPORT EXISTING CONSTRUCTION AND NEW CONSTRUCTION AS REQUIRED TO BUILD THIS PROJECT.

CLASS 'B' TENSION LAP SPICE LENGTHS (INCHES)

BAR SIZE	Fy = 3,000 psi	Fy = 4,000 psi	Fy = 5,000 psi	Fy = 6,000 psi	Fy = 8,000 psi
#3	20	19	24	17	22
#4	29	27	32	22	29
#5	36	34	40	28	36
#6	43	39	48	33	43
#7	51	46	54	39	51
#8	59	53	63	46	59
#9	67	61	72	53	67
#10	75	69	81	61	75
#11	83	76	90	69	83
#12	91	83	102	77	91
#13	100	91	111	85	100

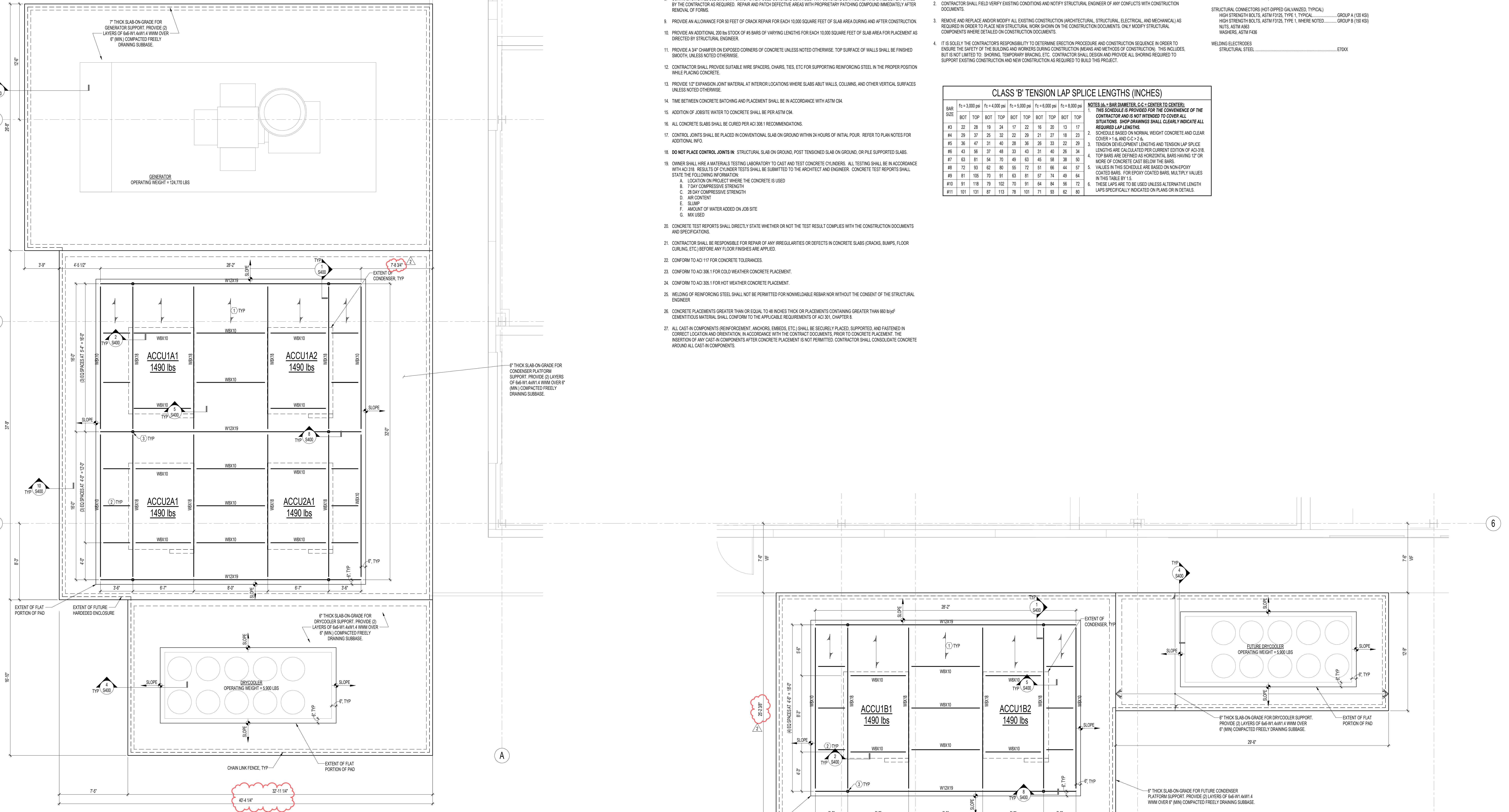
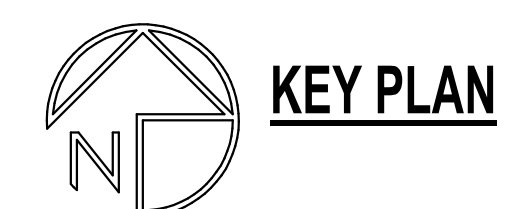
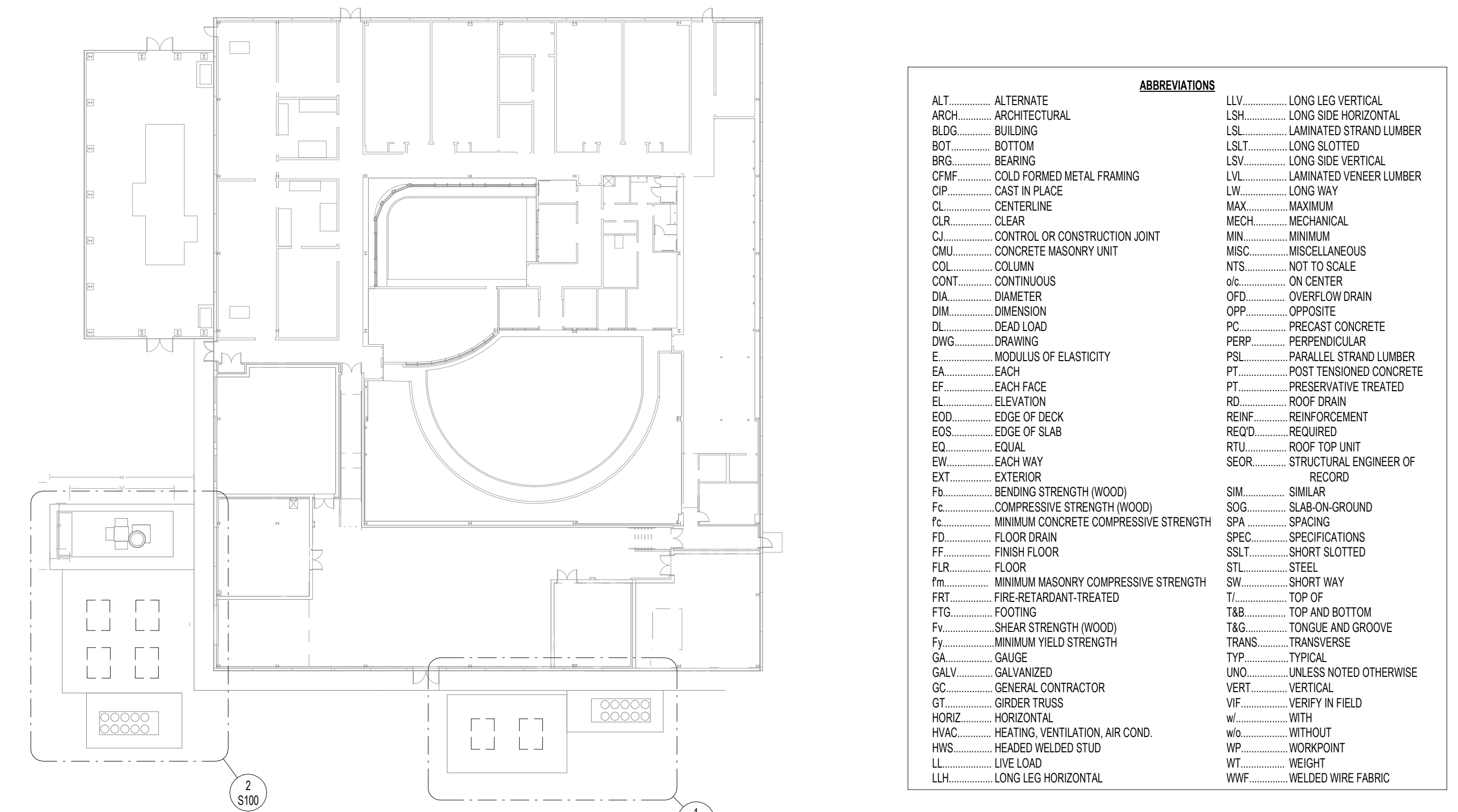
NOTES (A-L = BAR DIAMETER, C-C = CENTER TO CENTER):
THIS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS NOT INTENDED TO COVER ALL SITUATIONS. SHOP DRAWINGS SHALL CLEARLY INDICATE ALL REQUIRED LAP LENGTHS.
SCHEDULE BASED ON NORMAL WEIGHT CONCRETE AND CLEAR COVER = 1.5 INCH AND C-C = 15 INCH.
TOP BARS ARE DEFINED AS HORIZONTAL BARS WITHIN 12" OR MORE OF CONCRETE CAST BELOW THE BARS.
ALL VALUES IN THIS SCHEDULE ARE BASED ON NON-SPOOF COATED BARS. FOR EPOXY COATED BARS, MULTIPLY VALUES IN THIS TABLE BY 1.3.
THESE LAP LENGTHS ARE TO BE USED UNLESS ALTERNATIVE LENGTH LAPS SPECIFICALLY INDICATED ON PLANS OR IN DETAILS.

GENERAL NOTES:

- ALL MATERIALS, CONSTRUCTION, AND DETAILS SHALL CONFORM WITH THE FOLLOWING PLANS AND SPECIFICATIONS CODE AS SPECIFIED IN DESIGN DATA.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS (MECHANICAL, ELECTRICAL, ETC.) IN ORDER TO PROVIDE ALL CONSTRUCTION AND MATERIALS FOR THIS PROJECT.
- DETAILS SHOWN ON STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PORTIONS OF THE CONTRACT DOCUMENTS UNLESS NOTED OTHERWISE.
- DO NOT SCALE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
- IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE AND PROVIDE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED TO COMPLETE THE STRUCTURE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONSTRUCTION DOCUMENTS SHOW DIMENSIONS AND ELEVATIONS TO SIGNIFICANT WORKING POINTS (COLUMN CENTERLINES, OUTSIDE FACE OF WALLS, TOP OF FRAMING MEMBERS, ETC.). MATERIAL SUPPLIERS AND DESIGNERS ARE RESPONSIBLE FOR ALL OTHER INFORMATION IN ORDER TO DETAIL/FABRICATE THEIR WORK. CONTACT THE ENGINEER WITH ANY DISCREPANCIES.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE STRUCTURAL DRAWINGS AND ANY OTHER PLANS, THE CONTRACTOR SHALL BRING THE DISCREPANCY TO THE ENGINEER'S ATTENTION IMMEDIATELY IN WRITING.

CAST IN PLACE REINFORCED CONCRETE:

- CONCRETE WORK SHALL CONFORM TO REFERENCED EDITION OF ACI 318 'BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE' AND ACI 302 'GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION'.
- CONTRACTOR SHALL ELECTRONICALLY SUBMIT REBAR SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTING TO THE ARCHITECT.
- REFER TO REINFORCEMENT DEVELOPMENT AND LAP SPICE SCHEDULE FOR LAP SPICES (Ld) AND DEVELOPMENT LENGTH (Ld) IN REINFORCING STEEL.
- ALL LAPS IN REINFORCING STEEL SHALL BE CLASS 'B' LAP SPICES UNLESS OTHERWISE NOTED. AT CONNECTION JOISTS, CONTINUOUS BARS SHALL BE LAP SPLICED WITH A CLASS 'B' LAP. ALL OTHER BARS EXTENDING THRU THE JOIST SHALL BE FULLY DEVELOPED Ld OR LdS ILLUSTRATED ON EACH SIDE OF JOINT, AND.
- ALL HOOKS IN REINFORCING STEEL SHALL BE STANDARD HOOKS UNDO.
- PROVIDE THE FOLLOWING CLEAR COVER DISTANCES FOR REINFORCEMENT IN CONCRETE UNLESS NOTED OTHERWISE:
CONCRETE CAST AGAINST PERMANENTLY EXPOSED TO EARTH: 3"
CONCRETE EXPOSED TO EARTH OR WEATHER: 2"
NO. 5 BAR AND SMALLER: 1 1/2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: 1"
BEAMS AND COLUMNS: 1 1/2"
- ELEVATED CONCRETE SLABS:
2 HOUR OR LESS FIRE RATING, TOP, BOTTOM, AND SIDES: 3 1/4"
3 HOUR FIRE RATING, TOP, BOTTOM, AND SIDES: 3"
PARKING AND CORROSIVE ENVIRONMENTS: 1 1/2"
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE ARE NOT PERMITTED IN ANY CONCRETE MIX.
- CONTRACTOR SHALL USE SMOOTH FORMS FOR EXPOSED CONCRETE SURFACES. ANY CONCRETE SURFACE REPAIRS SHALL BE PERFORMED BY THE CONTRACTOR AS REQUIRED. REPAIR AND PATCH DEFECTIVE AREAS WITH PROPRIETARY PATCHING COMPOUND IMMEDIATELY AFTER REMOVAL OF FORMS.
- PROVIDE AN ALLOWANCE FOR 60 FEET OF CRACK REPAIR FOR EACH 1000 SQUARE FEET OF SLAB AREA DURING AND AFTER CONSTRUCTION.
- PROVIDE AN ADDITIONAL 20% STOCK OF 4# BARS OF VARYING LENGTHS FOR EACH 10,000 SQUARE FEET OF SLAB AREA FOR PLACEMENT AS DIRECTED BY STRUCTURAL ENGINEER.
- PROVIDE A 3/8" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNLESS NOTED OTHERWISE. TOP SURFACE OF WALLS SHALL BE FINISHED SMOOTH UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE SUITABLE WIRE SPACERS, CHAIRS, TIES, ETC. FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.
- PROVIDE 1/2" EXPANSION JOINT MATERIAL AT INTERIOR LOCATIONS WHERE SLABS ABUT WALLS, COLUMNS, AND OTHER VERTICAL SURFACES UNLESS NOTED OTHERWISE.
- TIME BETWEEN CONCRETE BATCHING AND PLACEMENT SHALL BE IN ACCORDANCE WITH ASTM C94.
- ADDITION OF JOBSITE WATER TO CONCRETE SHALL BE PER ASTM C94.
- ALL CONCRETE SLABS SHALL BE CURED PER ACI 308.1 RECOMMENDATIONS.
- CONTRACT JOINTS SHALL BE PLACED IN CONVENTIONAL SLAB ON GROUND WITHIN 24 HOURS OF INITIAL POUR. REFER TO PLAN NOTES FOR ADDITIONAL INFO.
- DO NOT PLACE CONCRETE JOINTS IN: STRUCTURAL SLAB ON GROUND, POST TENSIONED SLAB ON GROUND, OR PILE SUPPORTED SLABS.
- OWNER SHALL HIRE A MATERIALS TESTING LABORATORY TO CAST AND TEST CONCRETE CYLINDERS. ALL TESTING SHALL BE IN ACCORDANCE WITH ACI 318. RESULTS OF CYLINDER TESTS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER. CONTRACTOR TEST REPORTS SHALL STATE THE FOLLOWING INFORMATION:
A. LOCATION ON PROJECT WHERE THE CONCRETE IS USED
B. 7 DAY COMPRESSIVE STRENGTH
C. 28 DAY COMPRESSIVE STRENGTH
D. AIR CONTENT
E. SLUMP
F. AMOUNT OF WATER ADDED ON JOB SITE
G. MIX USED
- CONCRETE TEST REPORTS SHALL DIRECTLY STATE WHETHER OR NOT THE TEST RESULT COMPLES WITH THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY IRREGULARITIES OR DEFECTS IN CONCRETE SLABS (CRACKS, BUMPS, FLOOR CURLING, ETC.) BEFORE ANY FLOOR FINISHES ARE APPLIED.
- CONFORM TO ACI 117 FOR CONCRETE TOLERANCES.
- CONFORM TO ACI 308.1 FOR COLD WEATHER CONCRETE PLACEMENT.
- CONFORM TO ACI 308.1 FOR HOT WEATHER CONCRETE PLACEMENT.
- WELDING OF REINFORCING STEEL SHALL NOT BE PERMITTED FOR NONWELDABLE REBAR WITHOUT THE CONSENT OF THE STRUCTURAL ENGINEER.
- CONCRETE PLACEMENTS GREATER THAN OR EQUAL TO 48 INCHES THICK OR PLACEMENTS CONTAINING GREATER THAN 680 lb/cy³ CEMENTITIOUS MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF ACI 301, CHAPTER 8.
- ALL CAST-IN COMPONENTS (REINFORCEMENT, ANCHORS, EMBEDS, ETC.) SHALL BE SECURELY PLACED, SUPPORTED, AND FASTENED IN CORRECT LOCATION AND ORIENTATION, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. PRIOR TO CONCRETE PLACEMENT, THE INSERTION OF ANY CAST-IN COMPONENTS AFTER CONCRETE PLACEMENT IS NOT PERMITTED. CONTRACTOR SHALL CONSOLIDATE CONCRETE AROUND ALL CAST-IN COMPONENTS.



PLAN NOTES:

- IF LADDER IS REQUIRED, SEE DETAIL 6540.
- FOR OPENING IN GRATING, SEE DETAIL 7540.
- REFER TO 6540 FOR SLAB ON GRADE GENERAL CONSTRUCTION DETAILS.

PLAN KEYED NOTES:

- Ø10x0.42 (19-W-2) HD GALV GRATING.
- 13x14 (DOWNTURNED).
- 3" DIA NOM SCH 40 PIPE POST.

PLAN NOTES:

- IF LADDER IS REQUIRED, SEE DETAIL 6540.
- FOR OPENING IN GRATING, SEE DETAIL 7540.
- REFER TO 6540 FOR SLAB ON GRADE GENERAL CONSTRUCTION DETAILS.

PLAN KEYED NOTES:

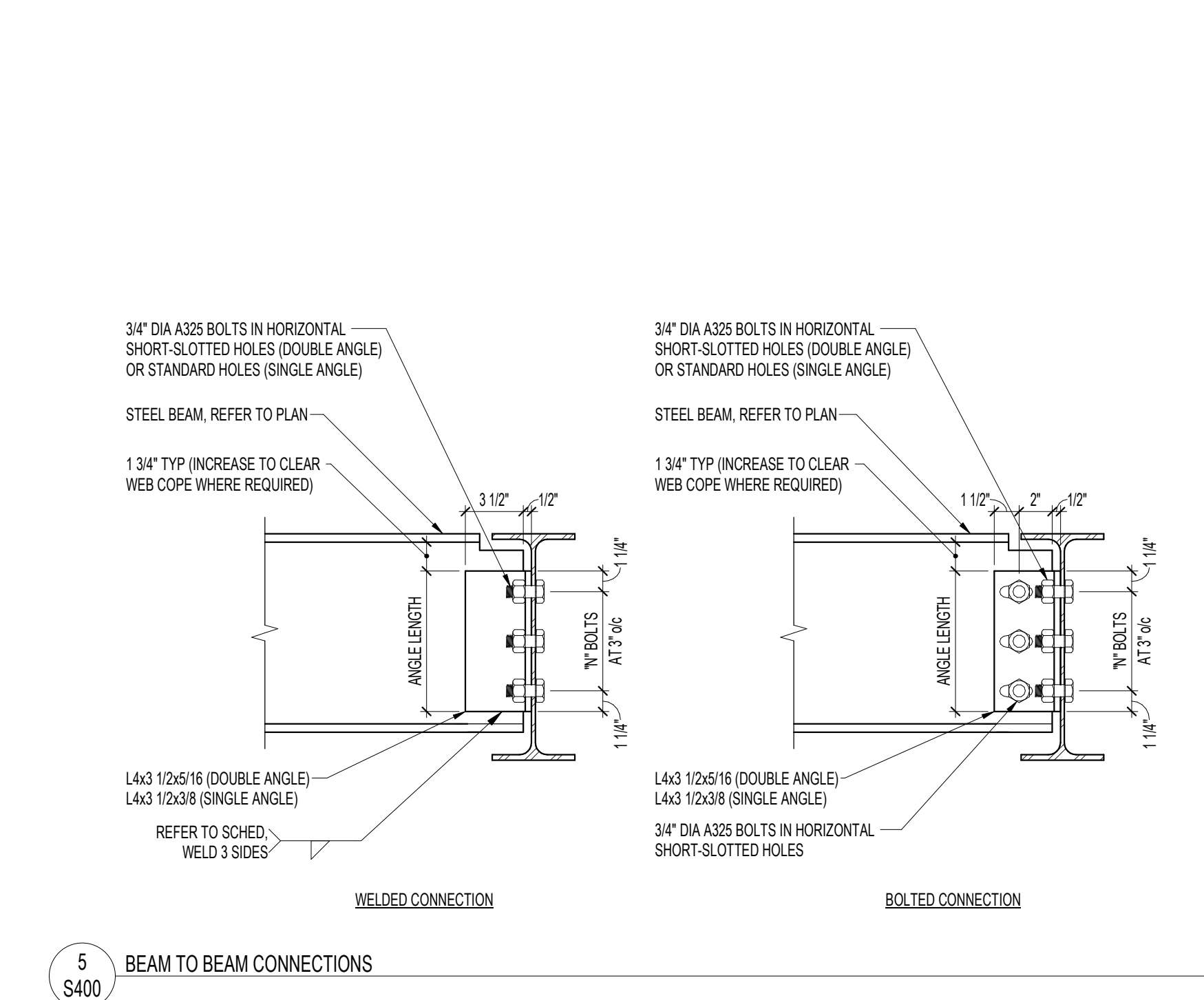
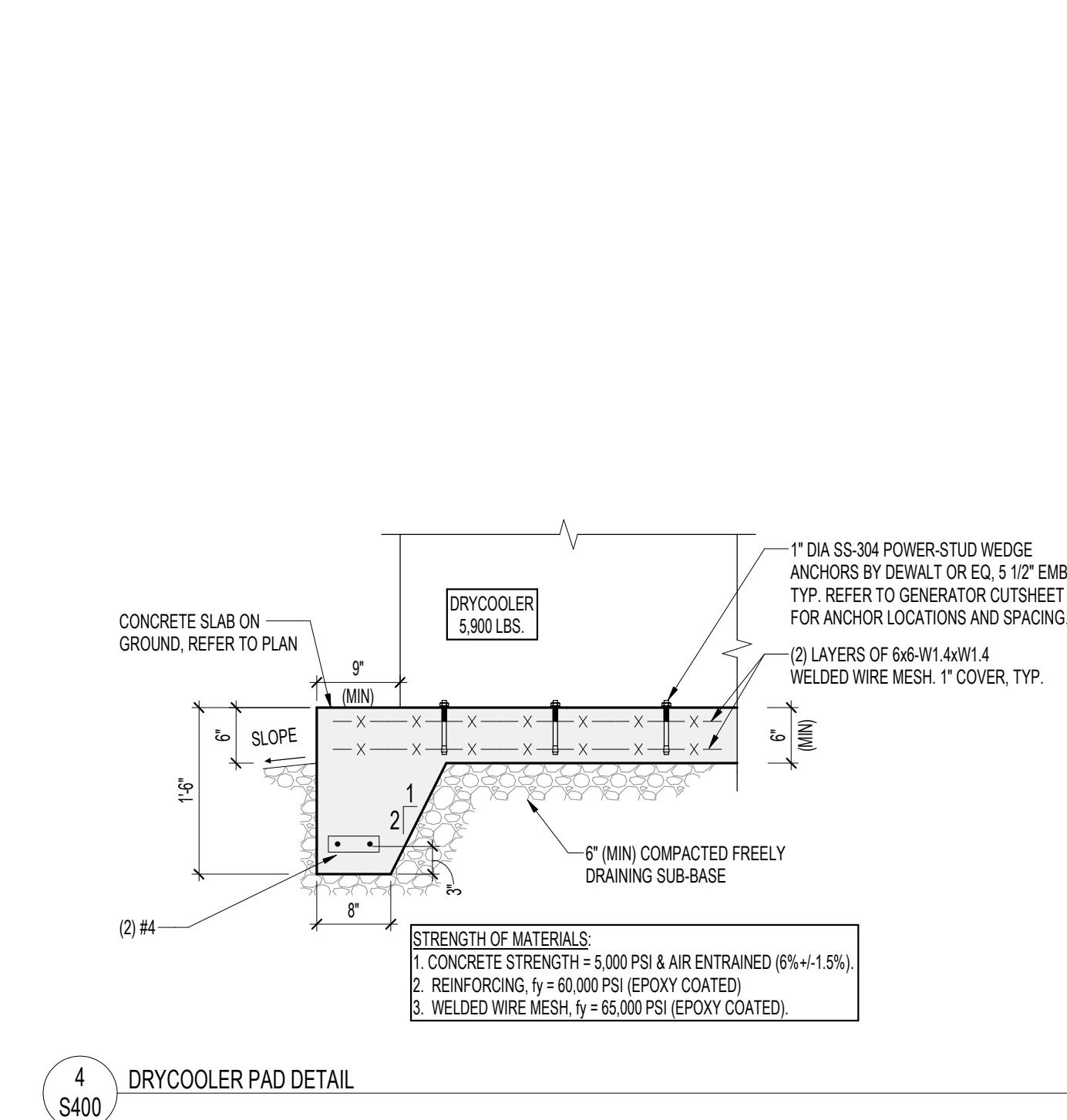
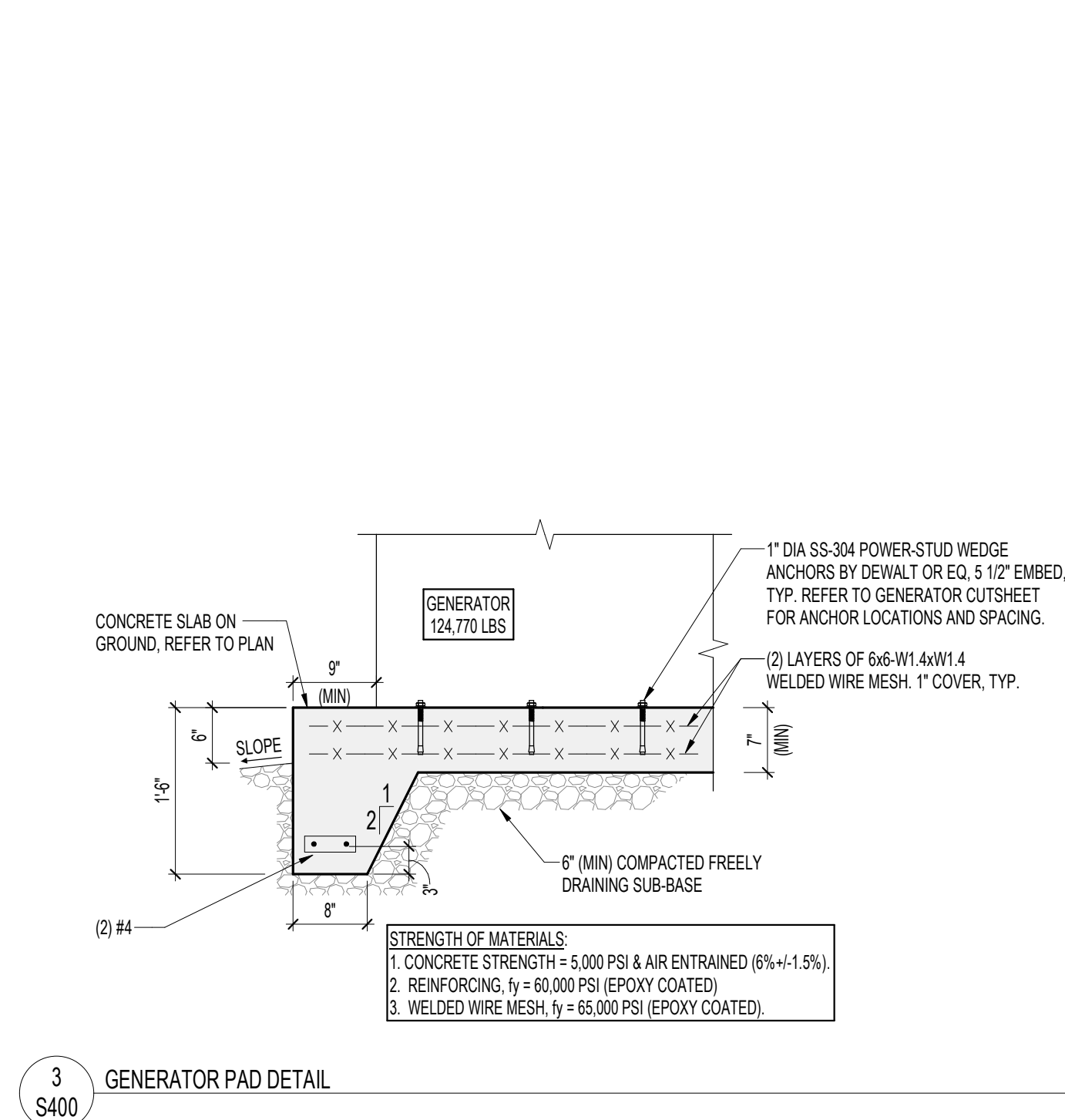
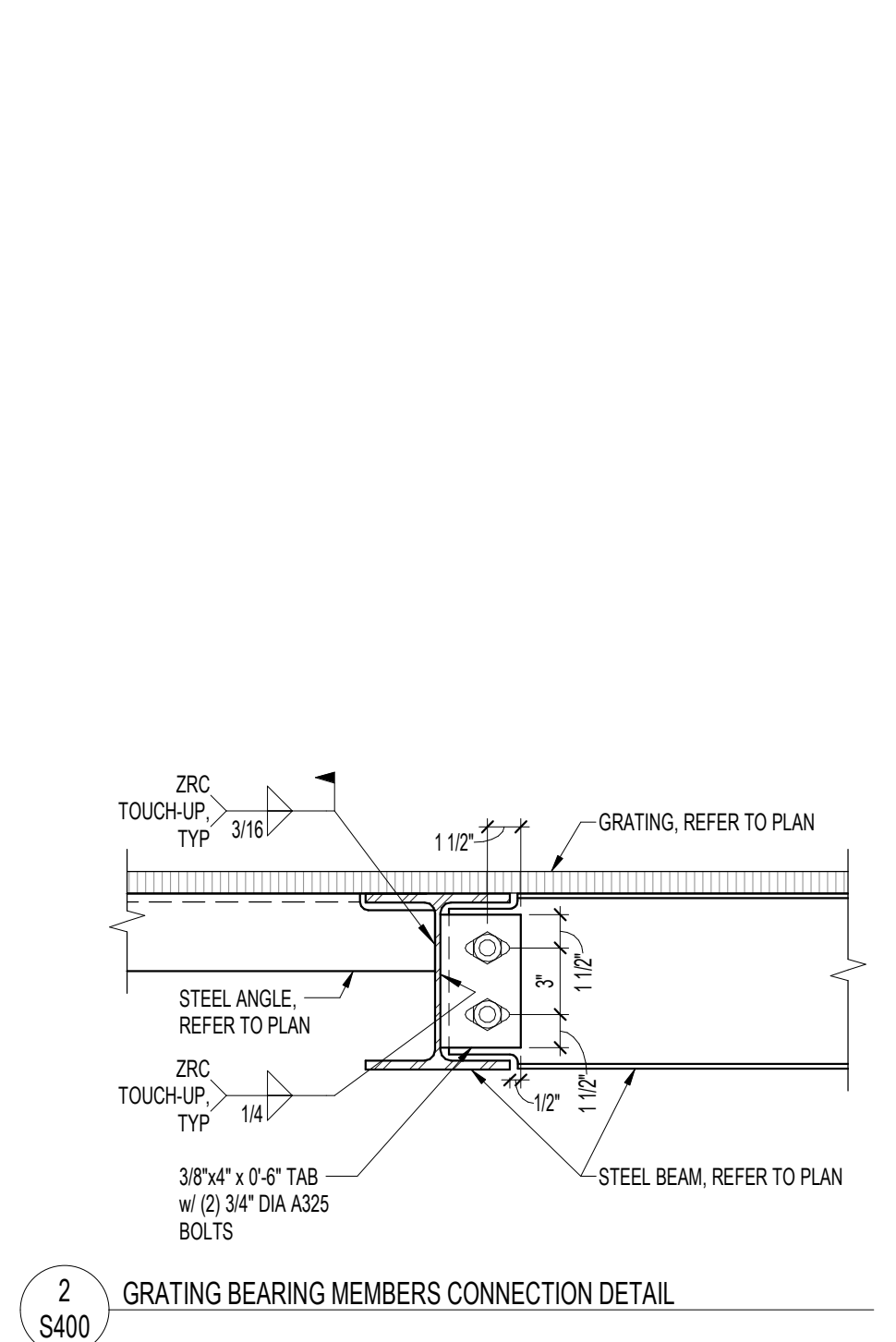
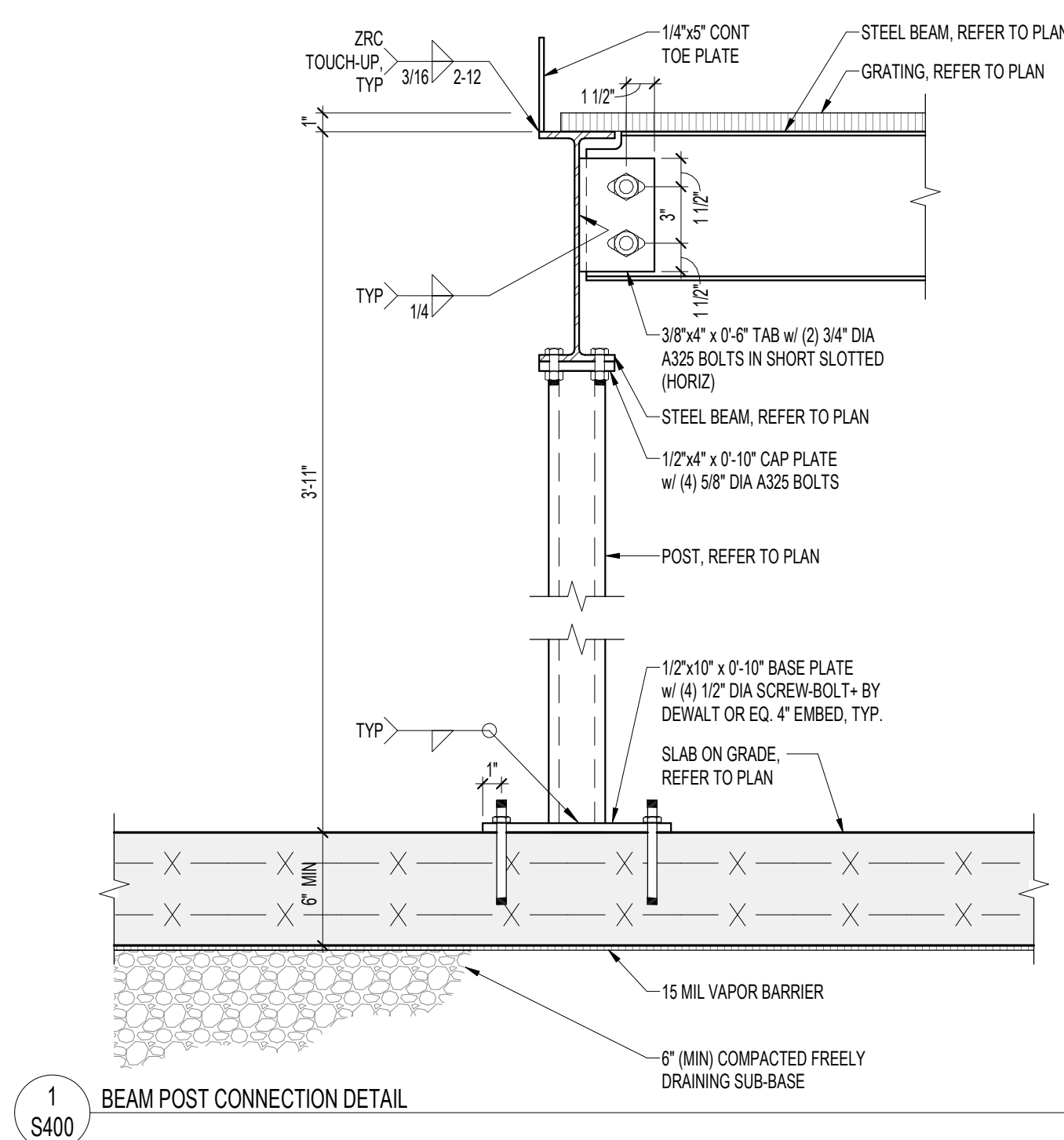
- Ø10x0.42 (19-W-2) HD GALV GRATING.
- 13x14 (DOWNTURNED).
- 3" DIA NOM SCH 40 PIPE POST.

CONDENSERS SUPPORT PLATFORM FRAMING PLAN - EAST
SCALE: 1/8" = 1'-0"

CONDENSERS SUPPORT PLATFORM FRAMING PLAN - SOUTH
SCALE: 1/8" = 1'-0"

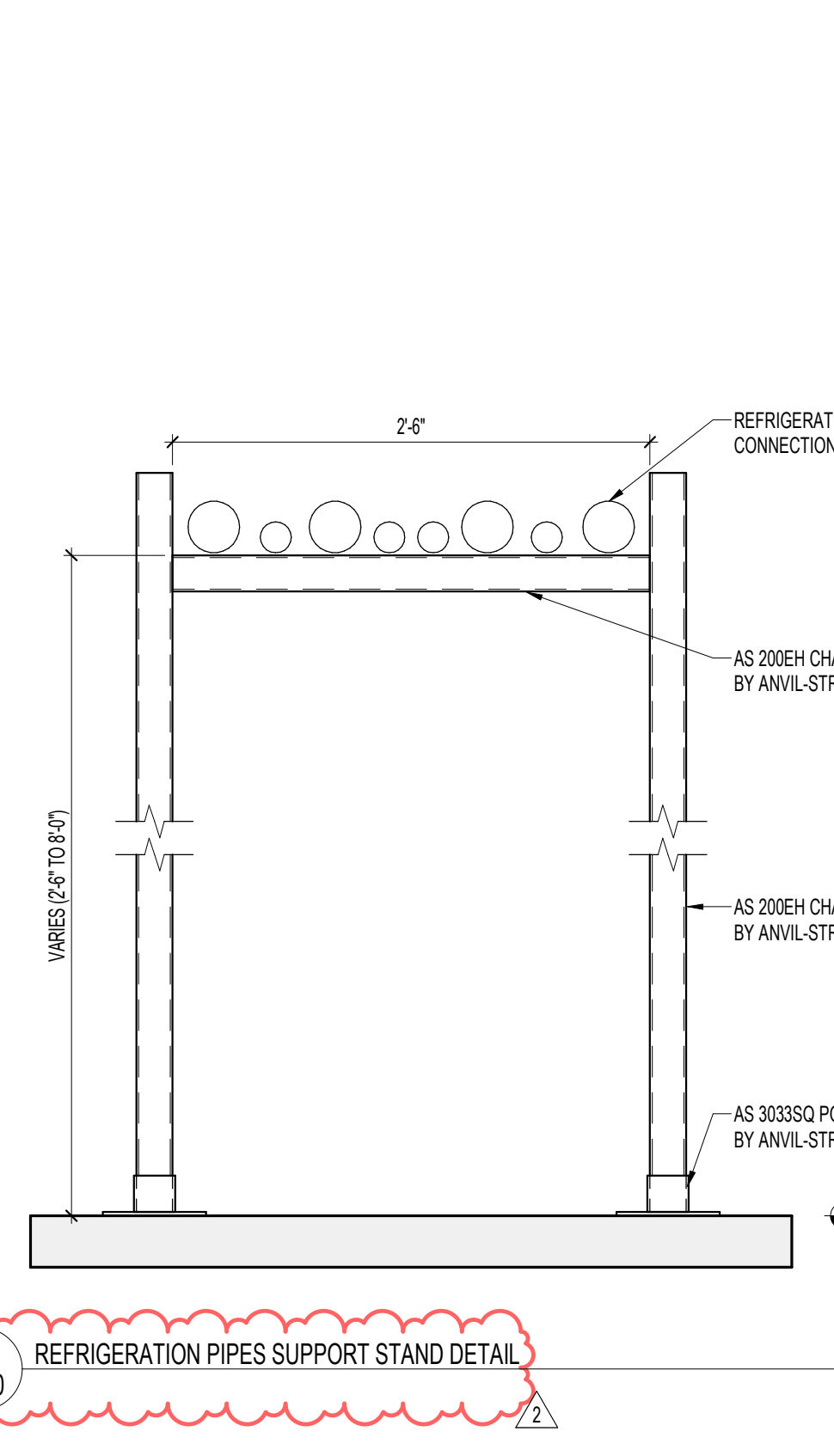
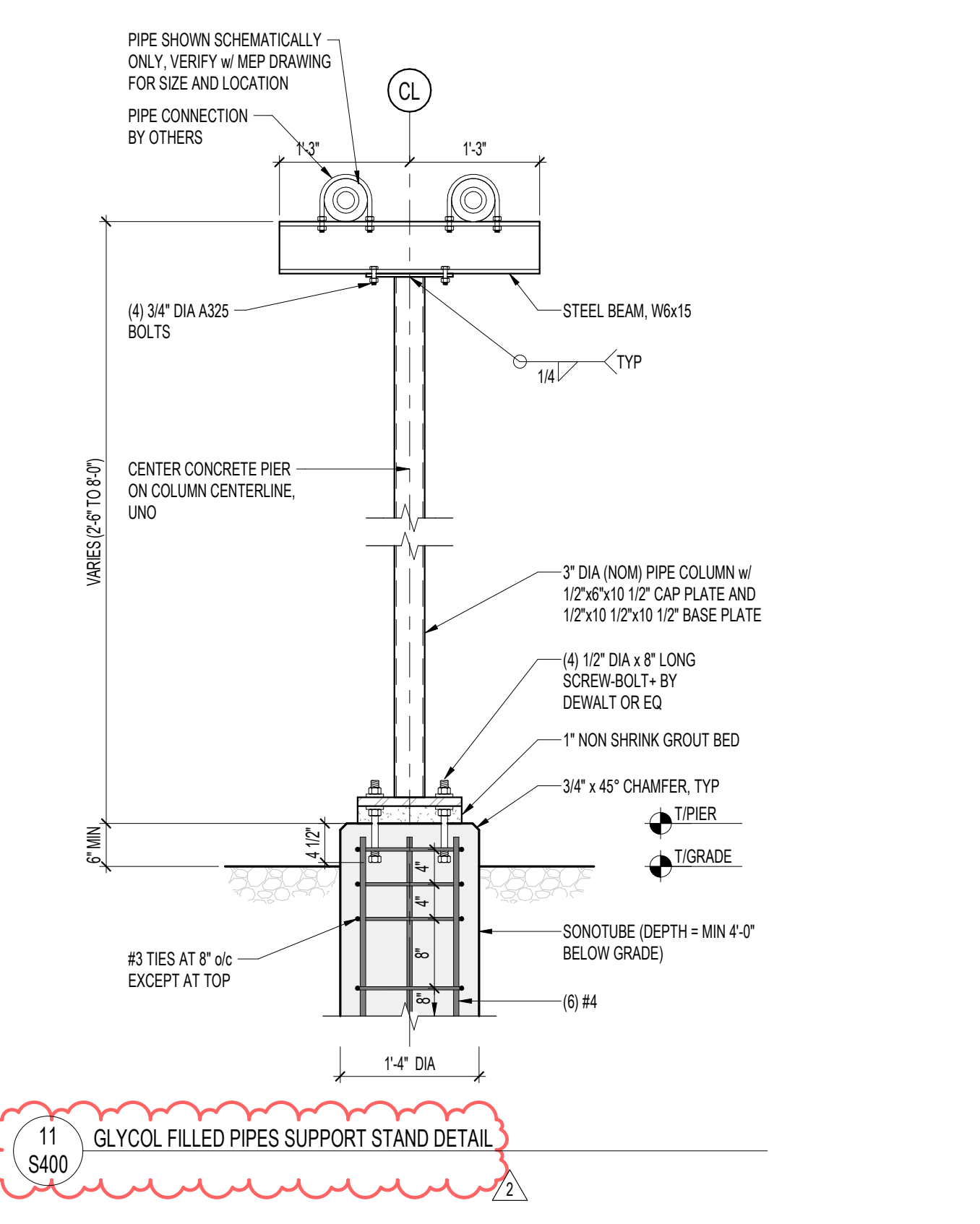
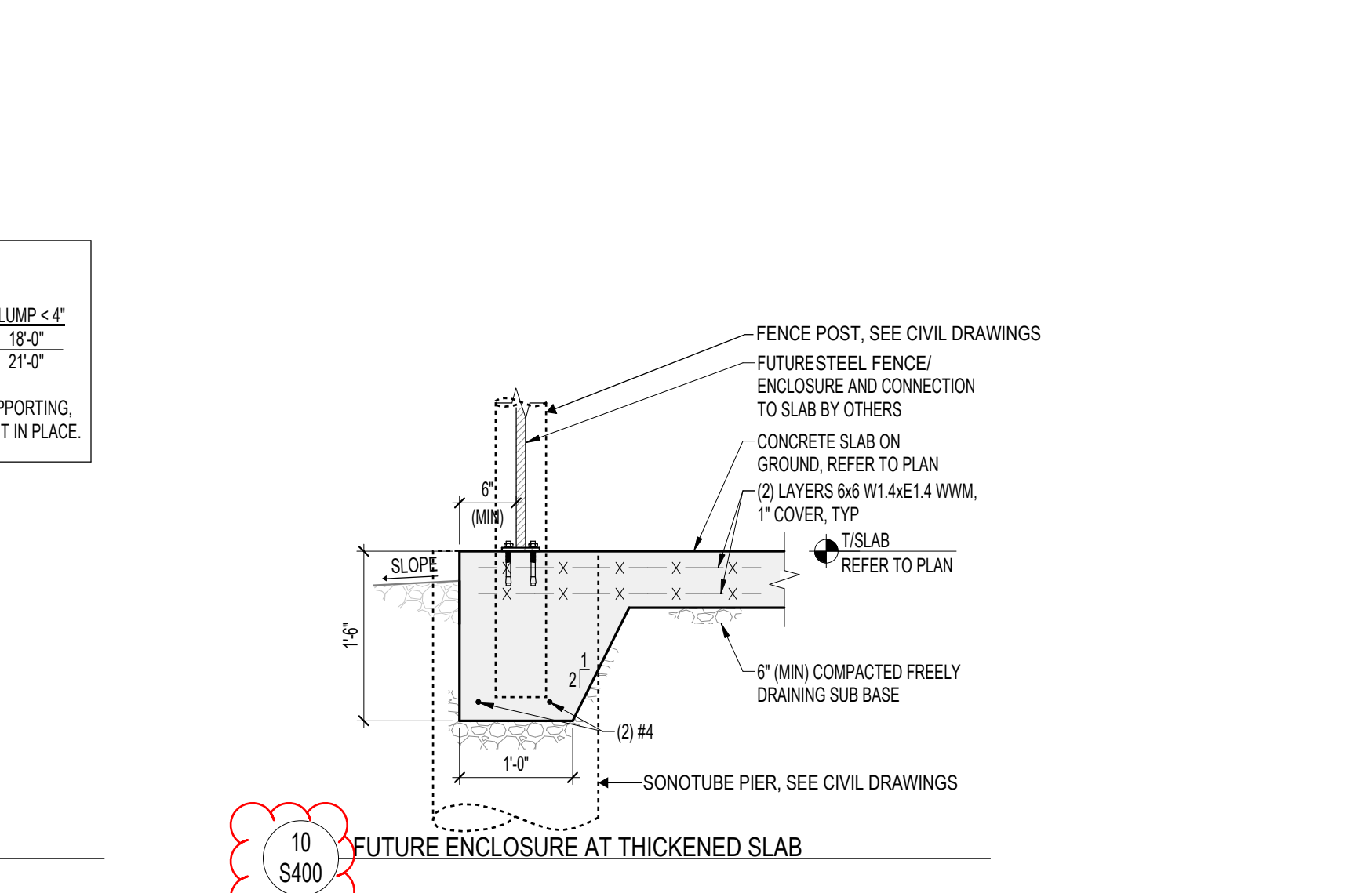
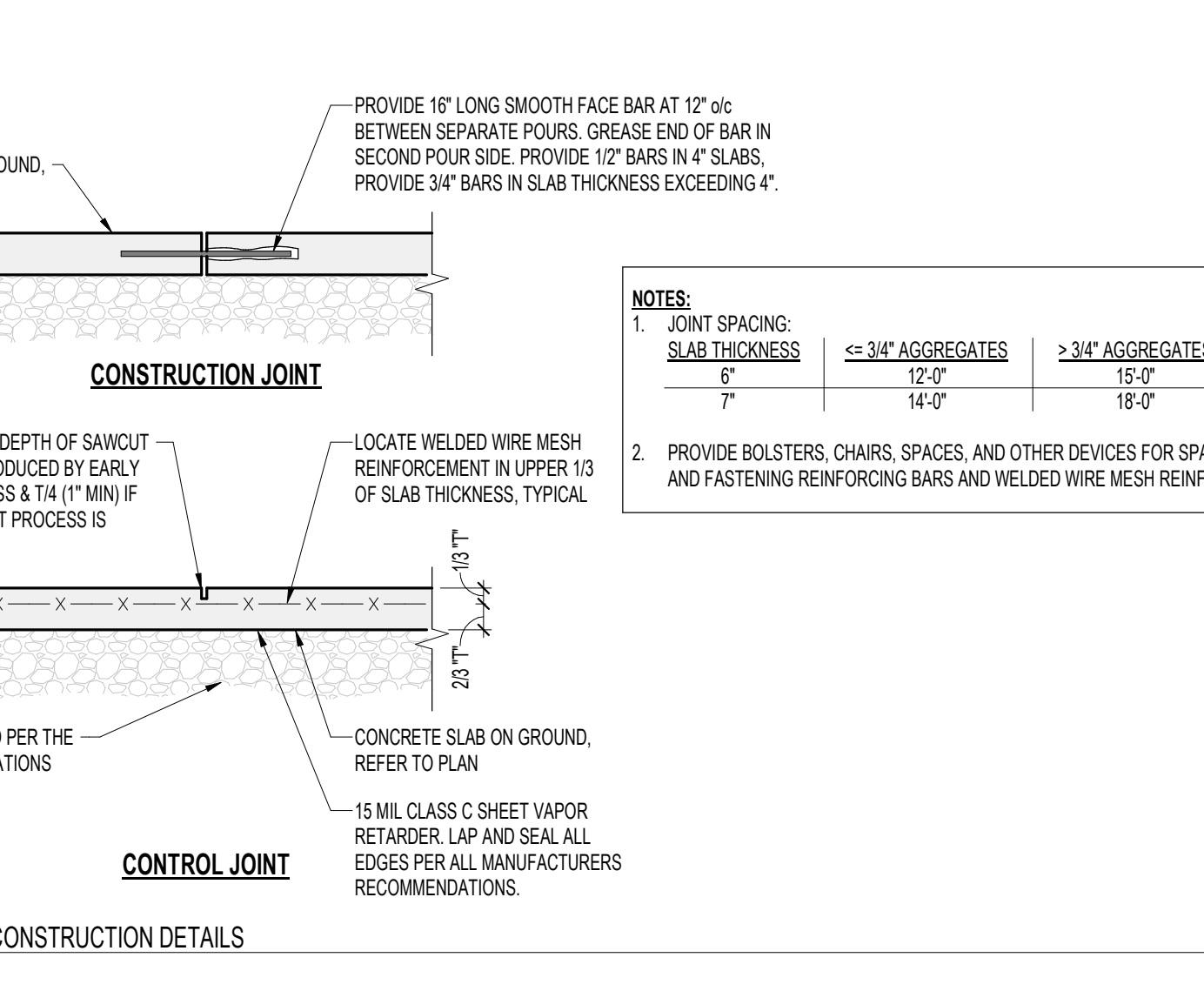
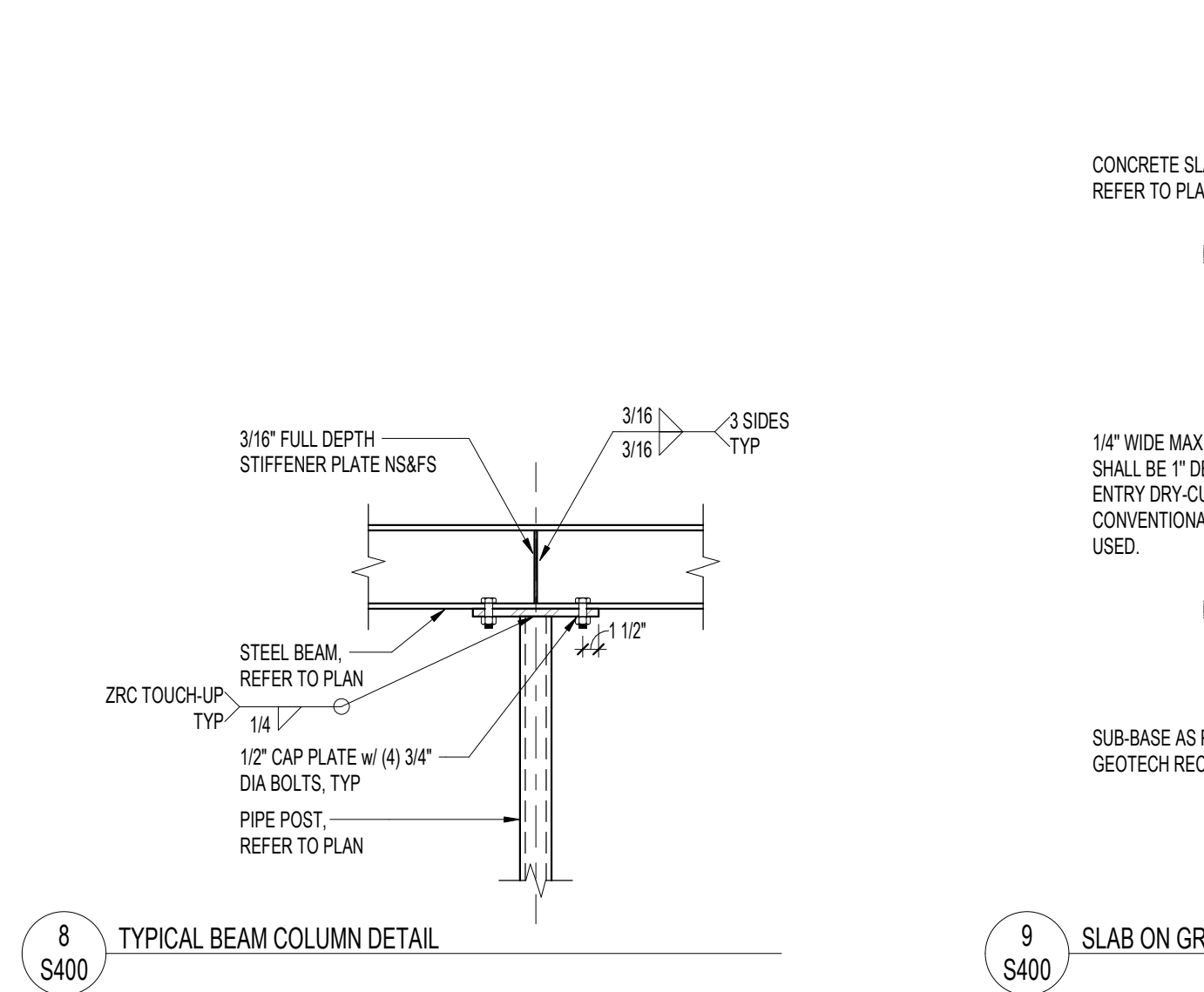
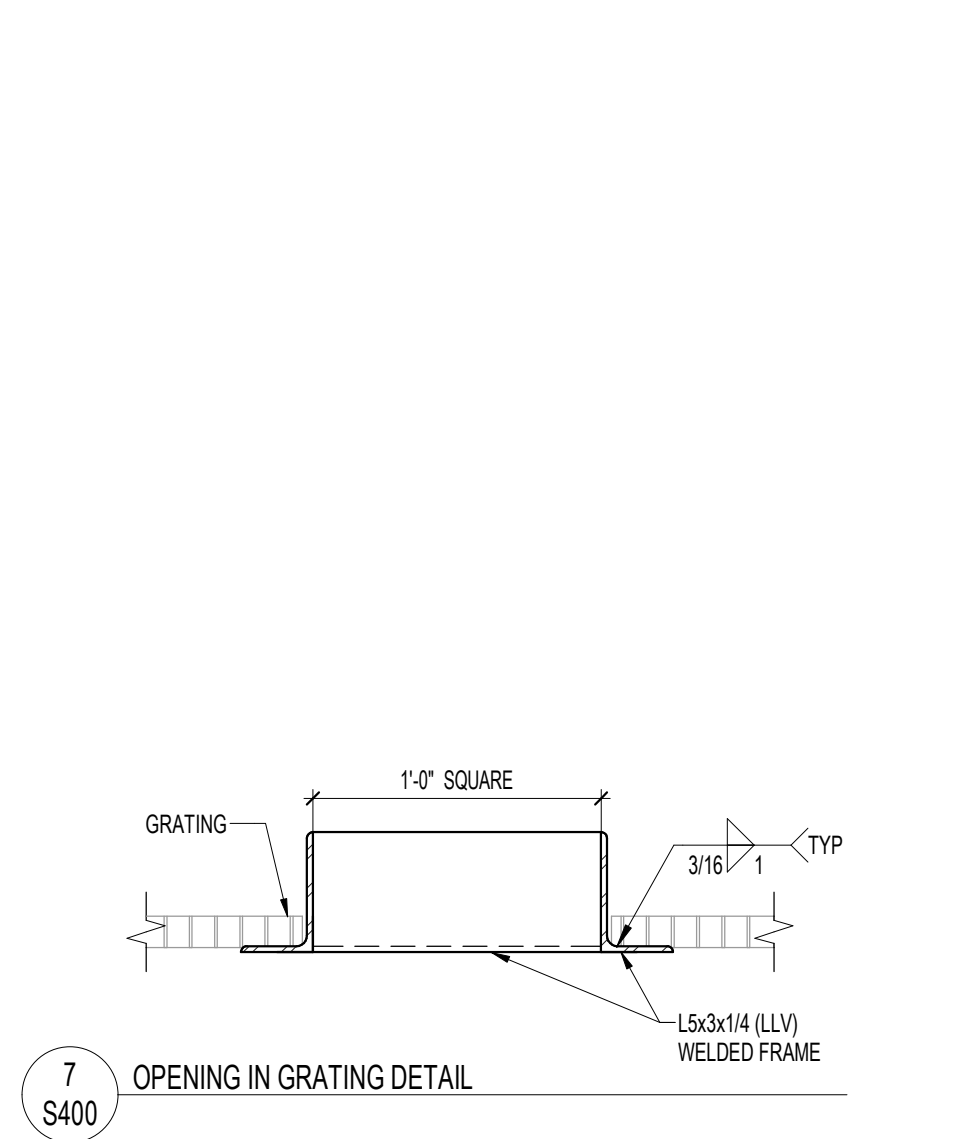
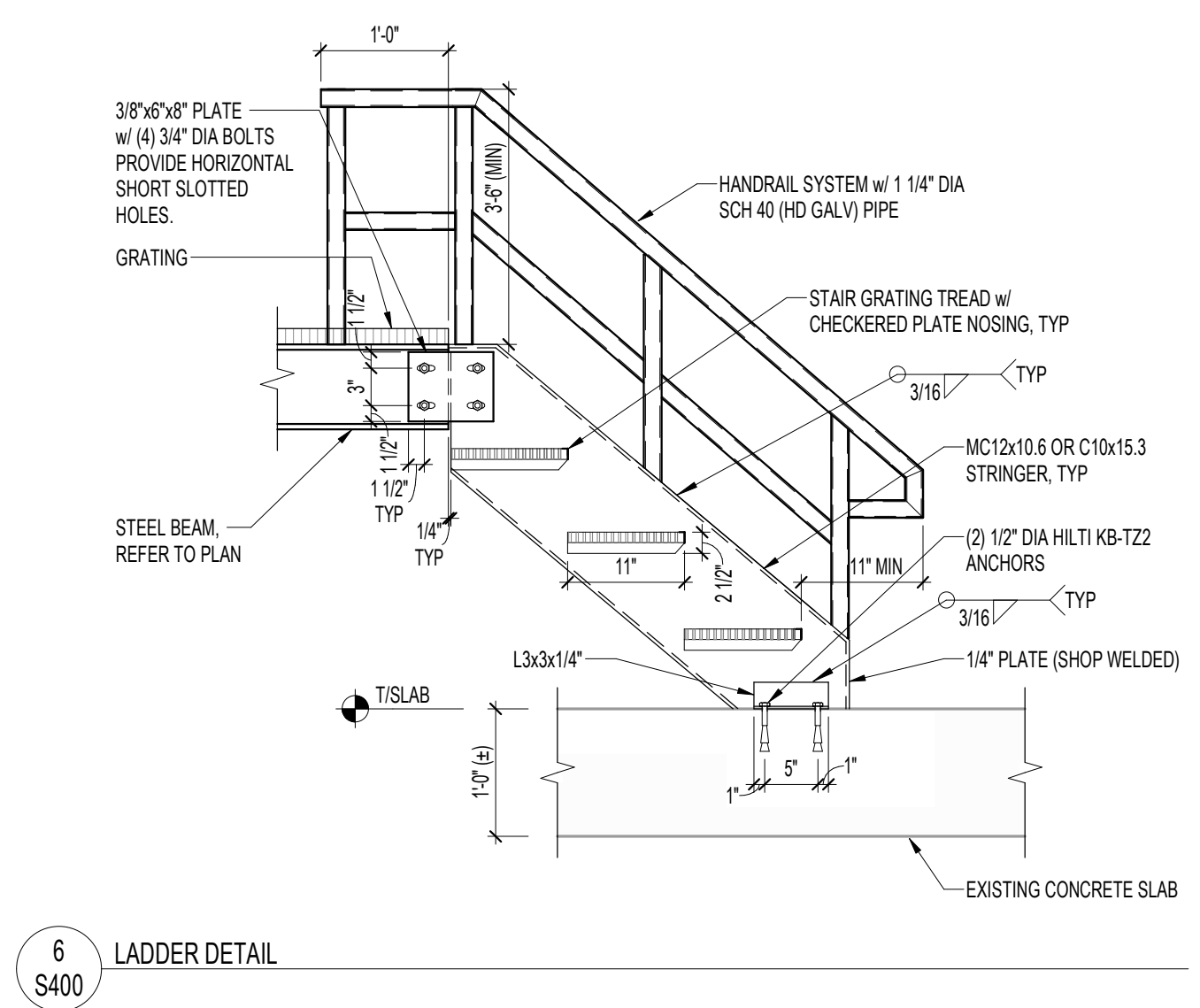
ISSUANCES AND REVISIONS:

#	DATE	DESCRIPTION
1	12.08.2025	ISS DOCUMENTS
2	12.23.2025	ADDENDUM 02



CONNECTION SCHEDULE

MINIMUM BEAM SIZE	N	ANGLE LENGTH	WELD SIZE
W6 W10	2	5 1/2"	1/4"
W12 W14	3	8 1/2"	1/4"
W16	4	11 1/2"	1/4"
W18	5	14 1/2"	1/4"



ATC CHILLER UPGRADE AND GENERATOR B

**EXTERIOR AIR COOLED
CONDENSING
UNITS**



HNED04A036 - SUBMITTAL

Project Name:	ATC CHILLER PLANT "A" & "B" MODIFICATIONS	Project Location:	W234 N2000 RIDGEVIEW PKWY WAUKESHA, WI 53188
Quote ID:	-	Item #:	1000
Submitted For:	-	Submitted On:	04/11/2025
Submitted By:	Multistack	Submitted From:	-
Identity #:	-	Tag:	ACCU1A1, ACCU1A2, ACCU2A1, ACCU2A2, ACCU1B1, ACCU1B2

PRELIMINARY NOT FOR CONSTRUCTION

For Record For Approval By: _____ Date: _____

General Product Information

Product Family:	HNE	Circuiting:	50/50
Motor Type:	VSEC	Number of Fans:	4
Motor Horsepower:	2.68	Fan Blade Diameter:	31.5
Motor RPM:	1140	Fins Per Inch:	10
Voltage: (Volts/Ph/Hz)	460/3/60	Ambient Temperature: (°F)	105
Refrigerant Type:	R454B	Altitude: (ft)	381

Technical Information

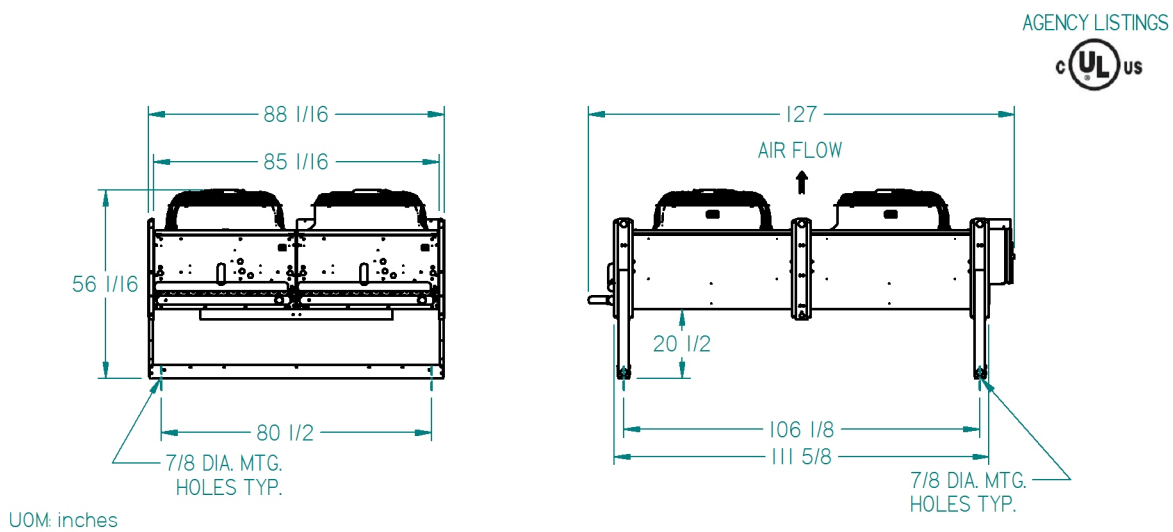
Condensation Specification Data

CFM	FLA	MCA	MOPD	Unit kW	Connections (in)	Max Number of Feeds	Total No. of Spare Feeds	Approx. Net Weight (lbs)	Unit Sound data (dBA at 10')
41,800	14	15	20	8	2 @ 2-1/8	56	0.0	1,490	78.3

Circuiting Details

Circuit No.	Circuit Name	Application Capacity* (BTU/H)	SST (°F)	Refrigerant	Condensing Temp (°F)	Compressor Type	THR (BTU/H)	No of Feeds	Actual TD (°F)	Actual Condensing Temp (°F)
1	CIR 1	273,417	23	R454B	127	Suction Cooled	352,594	28	22	127
2	CIR 2	273,417	23	R454B	127	Suction Cooled	352,594	28	22	127

Dimensional Drawing(s)





Project Name:		Project Location:	
Quote ID:	-	Item #:	1000
Submitted For:	-	Submitted On:	04/11/2025
Submitted By:	Multistack	Submitted From:	-
Identity #:	-	Tag:	-

Standard Features

RELIABLE & DURABLE

- ALUMINUM HOUSING FOR AN ATTRACTIVE APPEARANCE AND CORROSION PROTECTION WITH PAINTED GALVANIZED STEEL, OR GALVANIZED STEEL AS AN OPTION
- WEATHER RESISTANT CONTROL PANEL WITH FACTORY-MOUNTED THROUGH-THE-DOOR DISCONNECT
- COATED STEEL FAN GUARDS FOR OPTIMUM CORROSION PROTECTION
- MODELS UP TO 3 FANS IN LENGTH USE 3/8" DIAMETER TUBES TO MINIMIZE REFRIGERANT CHARGE. MODELS WITH 4 OR MORE FANS IN LENGTH USE 1/2" DIAMETER TUBES TO MINIMIZE REFRIGERANT PRESSURE DROP.
- FLOATING TUBE COIL DESIGN VIRTUALLY ELIMINATES TUBE SHEET LEAKS
- 2 YEAR PRODUCT WARRANTY AND COIL INCLUDES A 5 YEAR LEAK WARRANTY
- 3 YEAR WARRANTY ON EC MOTORS

PERFORMANCE & CONSTRUCTION

- EC MOTOR, SWEEP FAN BLADE AND VENTURE INCORPORATING INTEGRATED VARIABLE SPEED TECHNOLOGY
- INTERNAL BAFFLES PROVIDED BETWEEN ALL FAN CELLS
- SIDE ACCESS PANELS FOR EASE OF CLEANING COILS

Options

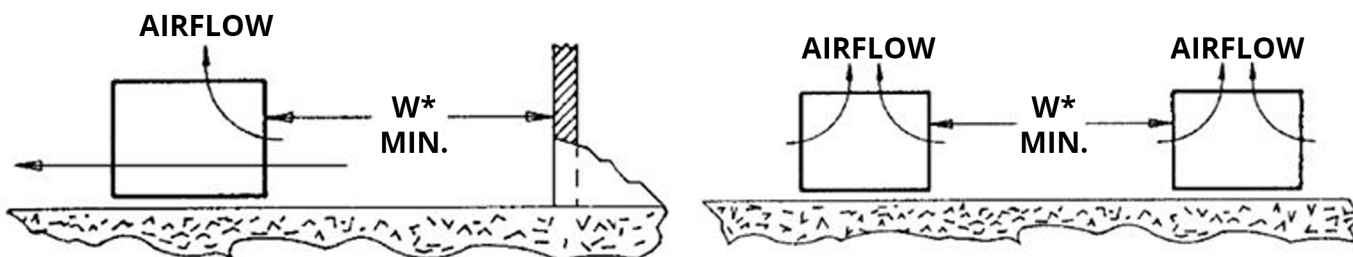
Mounted Options

- | | |
|--|--|
| <ul style="list-style-type: none"> • MOTOR DETAILS - VSEC • COIL SELECTION - 4 ROW, 10 FPI, ALUMINUM • CABINET MATERIAL - ALUMINUM W/ SIDE ACCESS • VOLTAGE SELECTION - 460 - 3 -60 • DISCONNECT SELECTION - NON-FUSED DISCONNECT • MOTOR PROTECTION - STANDARD • PACKAGING SELECTION - SHRINK WRAP | <ul style="list-style-type: none"> • BRAND LABEL OPTION - CHANDLER • CIRCUITING - 4 ROW, TWO CIRCUITS • LEG SELECTION - CHANNEL LEG, 20" CLEARANCE • MOTOR SELECTION - 1030RPM, EC, 460/3/60 • FAN CONTROL - PROPORTIONAL PRES FOR EC • ELECTRIC BOX - SINGLE WIDE E-BOX |
|--|--|

Custom Options

Description	Quantity
• UL COMPONENTS & GRILLS FOR R454B APPLICATION	1
• CIRCUITS TO OPERATE INDEPENDENTLY OF ONE ANOTHER	1
• JCI P352 PN4 CONTROLLER WITH A WORKING RANGE OF 240-600 PSI TRANSDUCER FOR R454B	1

Minimum Unit Clearances



Notes

* Capacities shown are Application Capacities reflecting nominal operation at 10°F TD. For models within the scope of the DOE AWEF (Annual Walk-in Energy Factor) standard, the Net Capacity is determined by the AHRI 1250 test method. DOE will publish this compliance data at www.regulations.doe.gov



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**EXTERIOR AIR COOLED
DRYCOOLERS**

PRELIMINARY NOT FOR CONSTRUCTION

10 Fan Drycooler

Job Name	ATC CHILLER PLANT "A" & "B" MODIFICATIONS	
Model	D0HX150AG136A00	
Quantity	2 DC-1A AND DC-1B	
Date	10/31/2025	
Invoice #		
Purchaser		
P.O. #		
Tag #		
Submitted By	Jon Burkhardt	CDP, Inc.

10-Fan Drycooler

10 FAN DRYCOOLER ENGINEERING SPECIFICATION SHEET

Project Name: ATC 10-Fan Drycooler

Date: 10/31/2025

Reference No.: CPQ-737157

Submitted By: Jon Burkhardt

Model Number: D0HX150AG136A00

Quantity: 2

ELECTRICAL SUPPLY REQUIREMENTS

Drycooler: 460Volt, 3Phase, 60Hertz

Full Load Amps: 35

Wire Sizing Amps: 36

Overcurrent Protection Device: 45

DRYCOOLER

- Model/Motor Type: 0: Standard
- Unit Control: X: Fan cycling controls With Current Sensing Relays
- Coil Guard: G: Coated wire guards
- Coil Circuits: 136 circuits Full
- Aluminum Fin (Std.)
- Glycol Type: 45% Propylene Glycol
- Design Entering Fluid Temp: 48°F
- Design Leaving Fluid Temp: 38°F
- Drycooler Design Ambient: 28.3°F
- Flow Rate: 307 GPM
- Design Capacity: 1,323,454 BTUH
- Drycooler Pressure Drop: 21.1 Feet of Water
- Drycooler Volume: 92.8 Gallons
- Sound: 72 dBA (sound pressure measured at 5 feet height, 30 feet from the unit)

ETO:

ETO Number: DC-2096-29

ETO Desc: Special Features Applied To 10 Fan Drycooler Models 120 Or 150.

Variant Desc: (10) Stages Of Fan Cycling Via Customer Contact Closure and (10) Ten Current Sensor Relays,
(1) One Current Sensor Relay For Each Fan Motor.

Table 2.1 Drycooler Performance Data

Model No.	Hz	Total Heat Rejection* @25°F (13.9°C)ITD	Flow Rate			Pressure Drop		No. of Internal Circuits	No. & Size of Connections (inlet)	No. & Size of Connections (outlet)	No. of Fans	Air Flow		Sound	Internal Volume		Shipping Weight	
		Btu/h	kW	gpm	lps	Ft of Water	kPa					cfm	cmh	dba**	Gal	L	Lbs	Kg
120	60	1,172,000	343	136	8.6	27.2	81.2	68	2@2.625	2@2.625	10	74160	126000	65	92.8	351	5100	2313
		1,447,000	424	272	17.2	15.8	47.1	136	2@4.125	2@4.125	10	74160	126000	65	92.8	351	5100	2313
		1,579,000	463	544	34.3	15.1	45.1	272	2@4.125	2@4.125	10	74160	126000	65	92.8	351	5100	2313
		1,287,000	377	136	8.6	27.3	81.5	68	2@2.625	2@2.625	10	99030	168250	72	92.8	351	5100	2313
150	60	1,703,000	499	272	17.2	15.8	47.1	136	2@4.125	2@4.125	10	99030	168250	72	92.8	351	5100	2313
		1,924,000	564	544	34.3	15.1	45.1	272	2@4.125	2@4.125	10	99030	168250	72	92.8	351	5100	2313
150	50	1,218,000	357	136	8.6	27.3	81.5	68	2@2.625	2@2.625	10	82450	140080	68	92.8	351	5100	2313
		1,541,000	452	272	17.2	15.8	47.1	136	2@4.125	2@4.125	10	82450	140080	68	92.8	351	5100	2313
		1,703,000	499	544	34.3	15.1	45.1	272	2@4.125	2@4.125	10	82450	140080	68	92.8	351	5100	2313

* Ratings based on using 40% ethylene glycol @ 95°F (35°C) entering air, 120°F (48.9°C) entering glycol; 2 gpm (.13 l/s) circ.
 ** Sound data is for sound pressure measured @ 5 ft. (1.5m) height, 30 ft.(9.1 m) from the unit.

Drycooler Program Results

Tubeside Fluid is 45 Propylene Glycol Solution
Drycooler Model: DNT 150A136 Optional Circuiting
Power Required: 460 Volts,3PH,60HZ
Each Unit has: 10 Fans & Motors @ 2 hp FLA = 34
Electrical Controls Provided - Fan Cycling

Air Side Data

SCFM: 99030.0
Entering Air Temperature (F): 28.3
Leaving Air Temperature (F): 40.6

Fluid Side Data

GPM: 307.0
Entering Fluid Temperature (F): 48.0
Leaving Fluid Temperature (F): 38.0
Pressure Drop (ft water): 21.1

Capacities (BTU/hr)

Total Requested: 1320000
Calculated per Unit: 1323454

While every precaution has been taken to ensure the accuracy and completeness of this, Liebert Corporation assumes no responsibility and disclaims all liability for damages resulting from use of this information or for any errors or omissions.

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Locations

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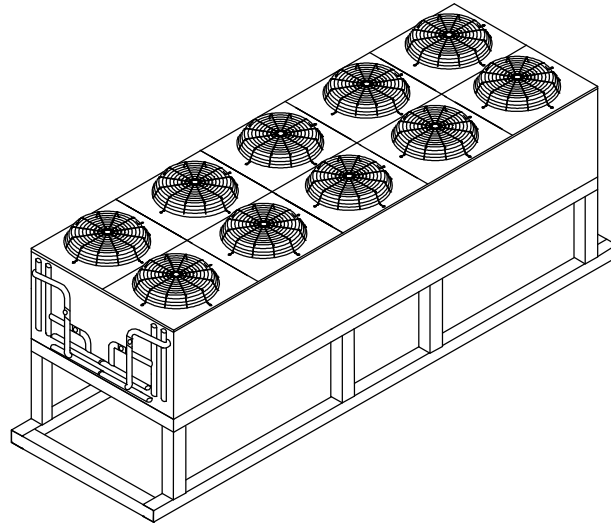
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Fax: +852 2 831 0114



LIEBERT 10-FAN DRYCOOLER

STANDARD FEATURES



STANDARD FEATURES

COIL Coil is constructed of copper tubes in a staggered tube pattern. Tubes are expanded into continuous, corrugated aluminum type fins. The fins have full depth fin collars completely covering the copper tubes which are connected to heavy wall type L headers. Inlet coil connector tubes pass through relieved holes in the tube sheet for maximum resistance to piping strain and vibration. Coil maximum operating pressure is 150 PSIG (1035kPa). Coils are factory leak tested, then sealed for cleanliness.

FANS Blades are constructed of zinc plated steel or aluminum with a maximum diameter of 30 inches (762 mm) and secured to the fan shaft by a keyway and flat. Fan guards are heavy gauge, close meshed, steel wire with corrosion resistant finish. Fans are factory balanced and tested before shipment.

FAN MOTORS Are provided with rain slingers, permanently lubricated bearings, and individual built-in overload protection. The direct drive fan motors shall be mounted in a heavy gauge basket type mount.

HOUSING The drycooler is constructed of galvanized steel and divided into individual fan sections by full width baffles. Structural support members are heavy gauge G90 galvanized steel for strength and corrosion resistance. Rigging holes are located in the base for hoisting the unit into position. Wire guards, constructed of coated wire, in 1" x 4" pattern, are mounted to protect the exposed vertical coil surface.

ELECTRICAL CONTROL All electrical connections shall be provided in a weatherproof enclosure. The enclosure shall be integral with the drycooler for pleasing appearance as well as functional protection. Fan cycling model drycooler senses fluid temperature to cycle fans in three steps to control leaving fluid temperature. Current sensing relays are provided with customer connection to monitor change in motor current to detect possible motor/fan failure.

UNIT DISCONNECT SWITCH A locking disconnect is factory installed and wired in enclosed control section.



LIEBERT 10-FAN DRYCOOLER

OPTIONAL FEATURES

OPTIONAL FEATURES

QUIET-LINE includes the same features as the standard 10 fan drycooler, except that it has 8 pole motors in lieu of 6 pole motors for lower sound levels and reduced capacity. Not available for 50 Hz or 575 Volt models.

ALUMINUM GRILLES are used for unit aesthetic and general mechanical security purposes. The aluminum grilles extend from the base of the unit and protect the exposed coil sides.

PRE-COATED FIN STOCK provides pre-coated coil fins for added protection in corrosive environments.

PHENOLIC COATED COIL provides baked phenolic coated coil for added protection in corrosive environments.

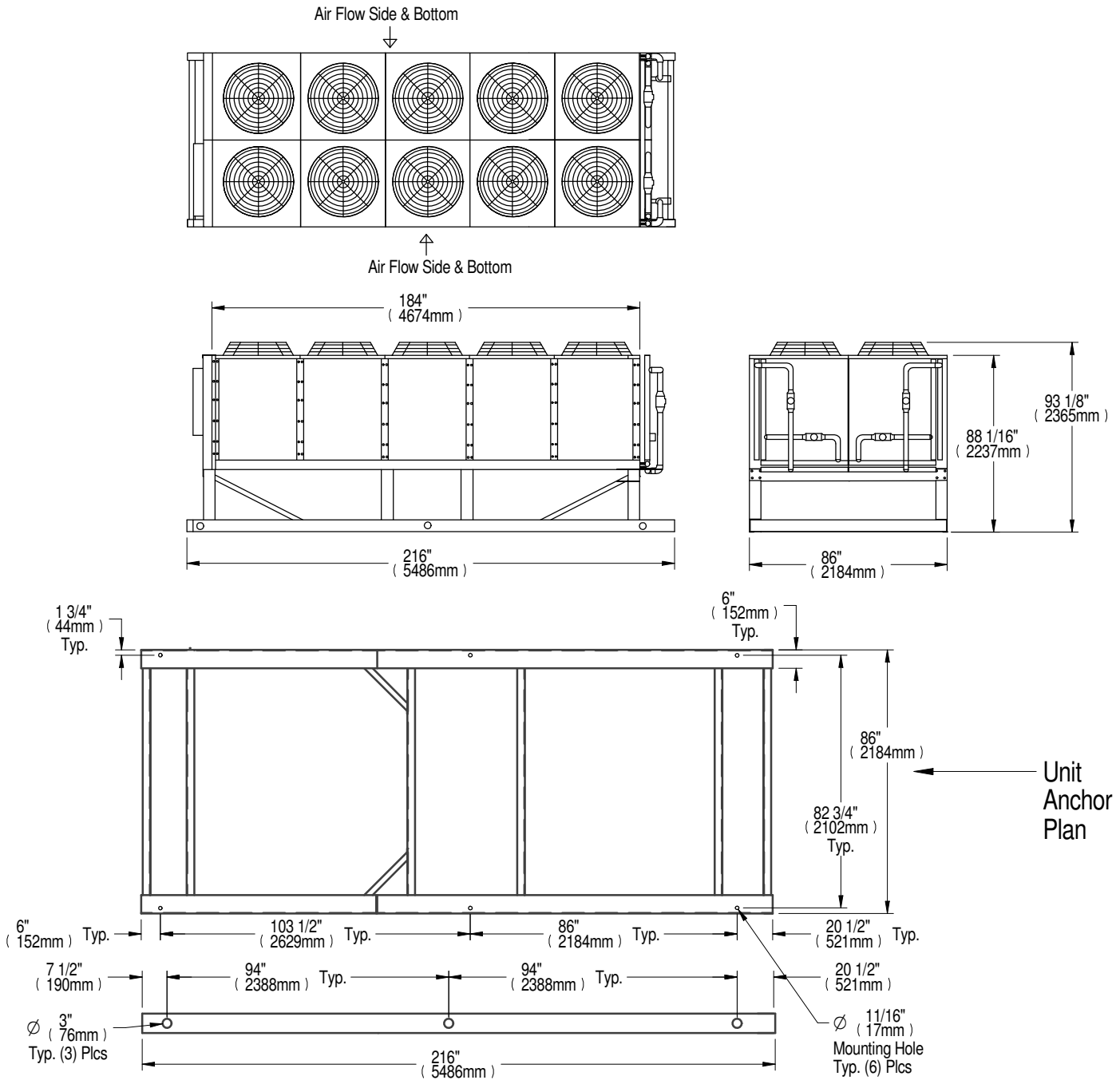
COPPER FIN/COPPER TUBE COIL provides coil constructed of copper fins and copper tubes.

TEAO MOTORS includes totally enclosed motors in lieu of standard motors. For use in industrial applications. Not available for Quiet-Line or 575 Volt models.



LIEBERT 10-FAN DRYCOOLER

CABINET & ANCHOR DIMENSIONAL DATA

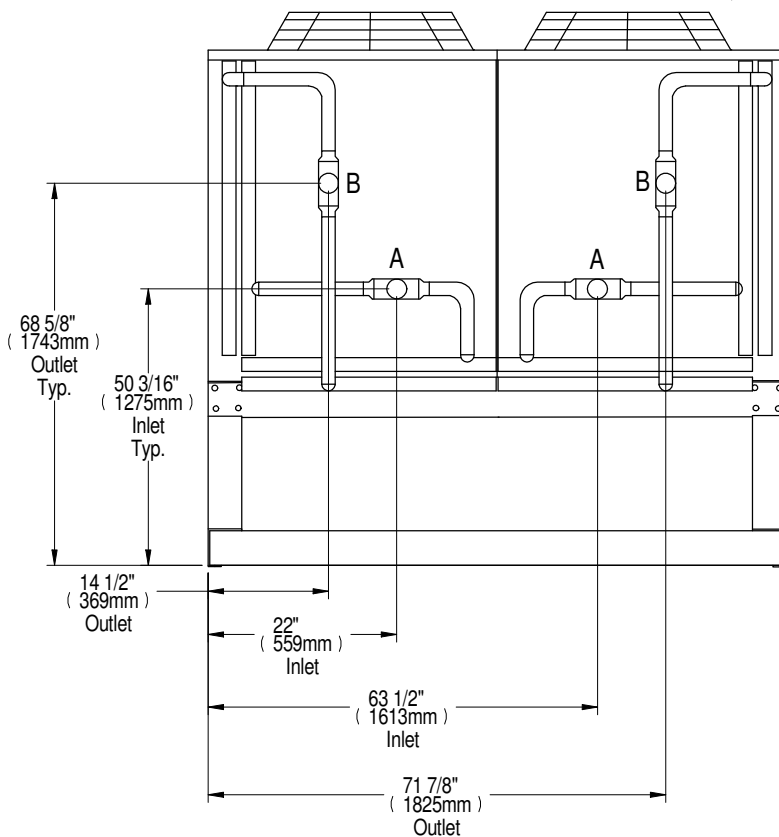
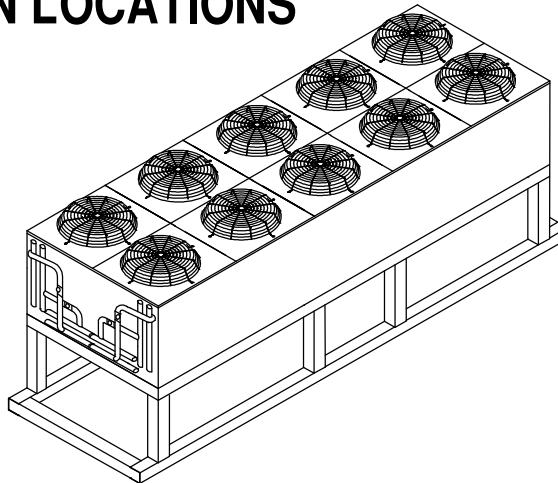


MODEL NO.	CFM (CMH) 60Hz.	CFM (CMH) 50Hz.	COIL INTERNAL VOL. GAL (L)	NET WEIGHT LBS. (KG)
D0H*150**068				
D0H*150**136	99,030 (168,250)	82,450 (140,080)		
D0H*150**272			92.8 (351)	5,100 (2,313)
DGH*120**068				
DGH*120**136	74,160 (126,000)	N/A		
DGH*120**272				



LIEBERT 10-FAN DRYCOOLER

PRIMARY CONNECTION LOCATIONS



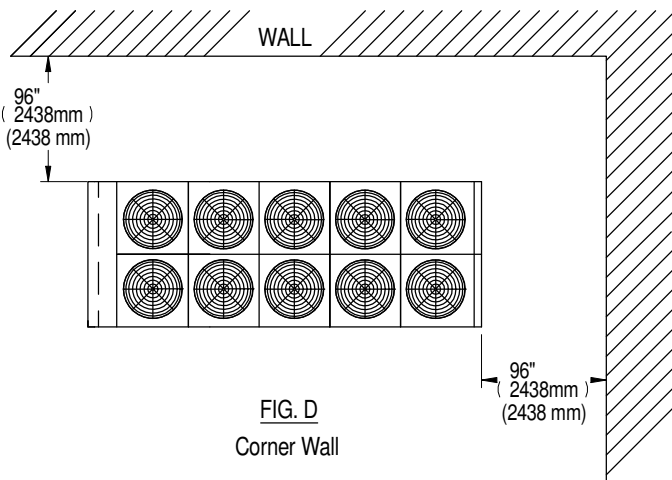
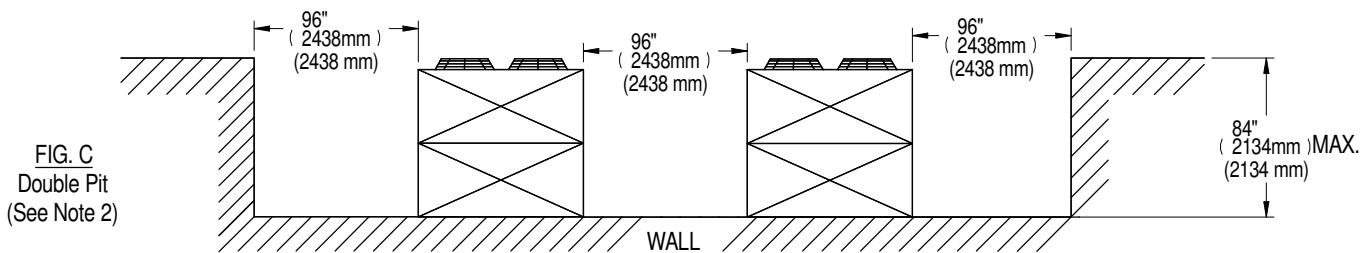
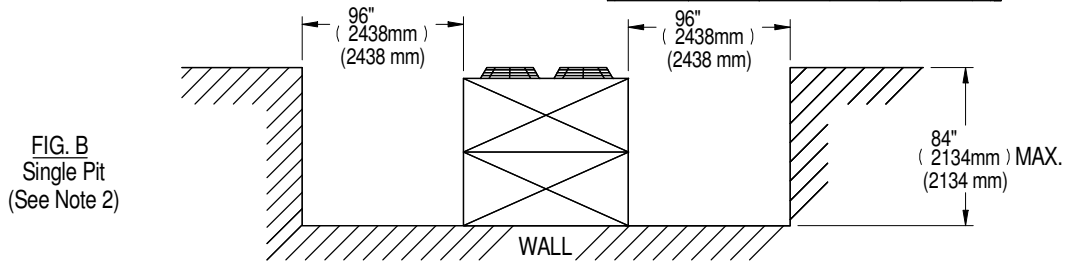
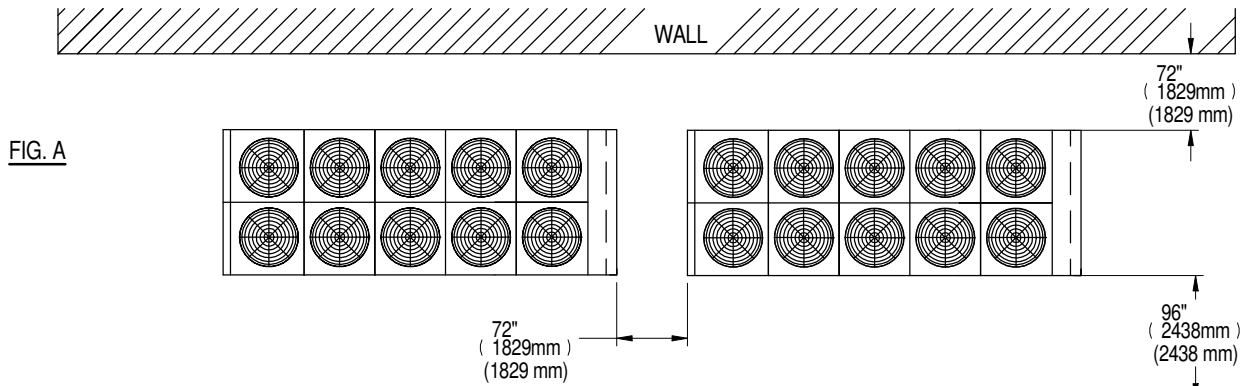
MODEL NO.	NO. OF INTERNAL CIRCUITS	NO. OF INLETS	NO. OF OUTLETS	CONNECTION SIZES (ODS) in. (mm)	
				(A) INLET	(B) OUTLET
D0H*150**068	68	2	2	2-5/8 (67)	2-5/8 (67)
D0H*150**136	136			4-1/8 (105)	4-1/8 (105)
D0H*150**272	272			2-5/8 (67)	2-5/8 (67)
DGH*120**068	68			4-1/8 (105)	4-1/8 (105)
DGH*120**136	136				
DGH*120**272	272				

Notes:
1. All piping dimensions have ± 1" (25 mm) tolerance.



LIEBERT 10-FAN DRYCOOLER

CLEARANCE DIMENSIONAL DATA



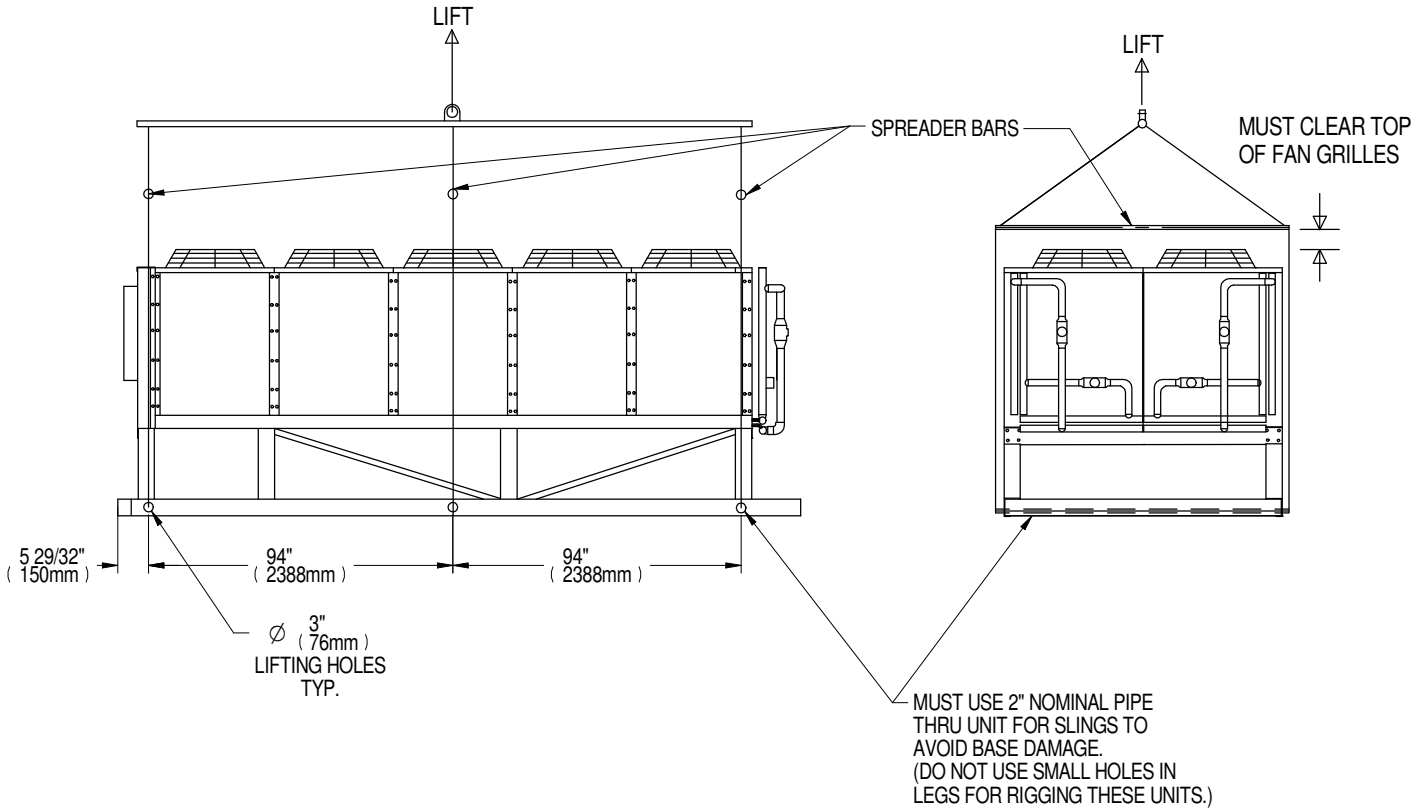
Notes:

1. All dimensions are minimal unless otherwise noted.
2. Pit installations are not recommended. Re-circulation of hot discharge air in combination with surface air turbulence cannot be predicted. Hot air re-circulation will severely affect unit efficiency and can cause high pressure trips or fan motor temperature trips. Supplier will not be responsible for ducting fans to a higher level to alleviate the above mentioned conditions.



LIEBERT 10-FAN DRYCOOLER

RIGGING INSTRUCTIONS

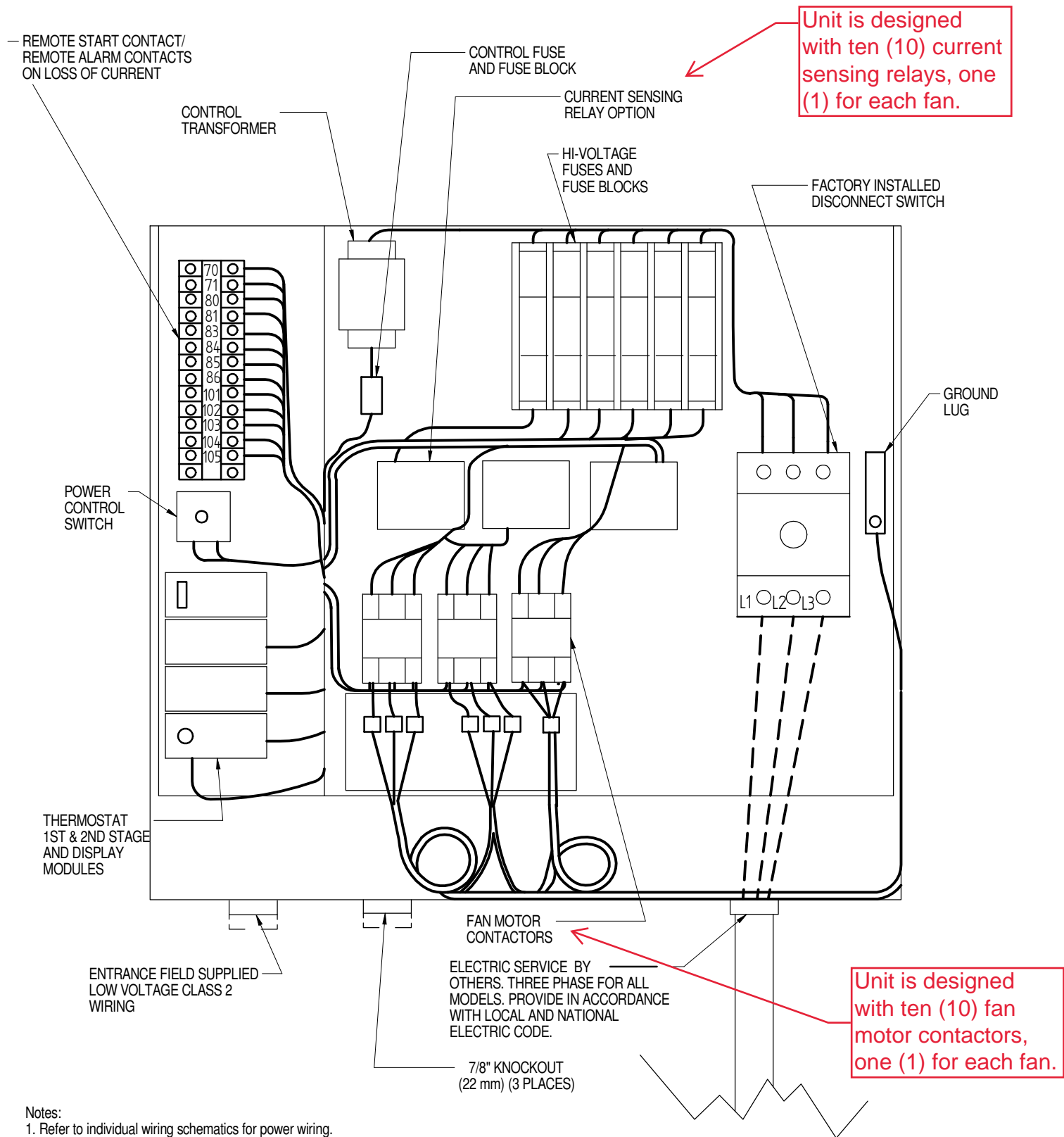


NOTES:
1. FOR DETAILED RIGGING INSTRUCTIONS, PLEASE REFER TO USER MANUAL AND UNIT LABELS.



LIEBERT 10-FAN DRYCOOLER

ELECTRICAL FIELD CONNECTIONS

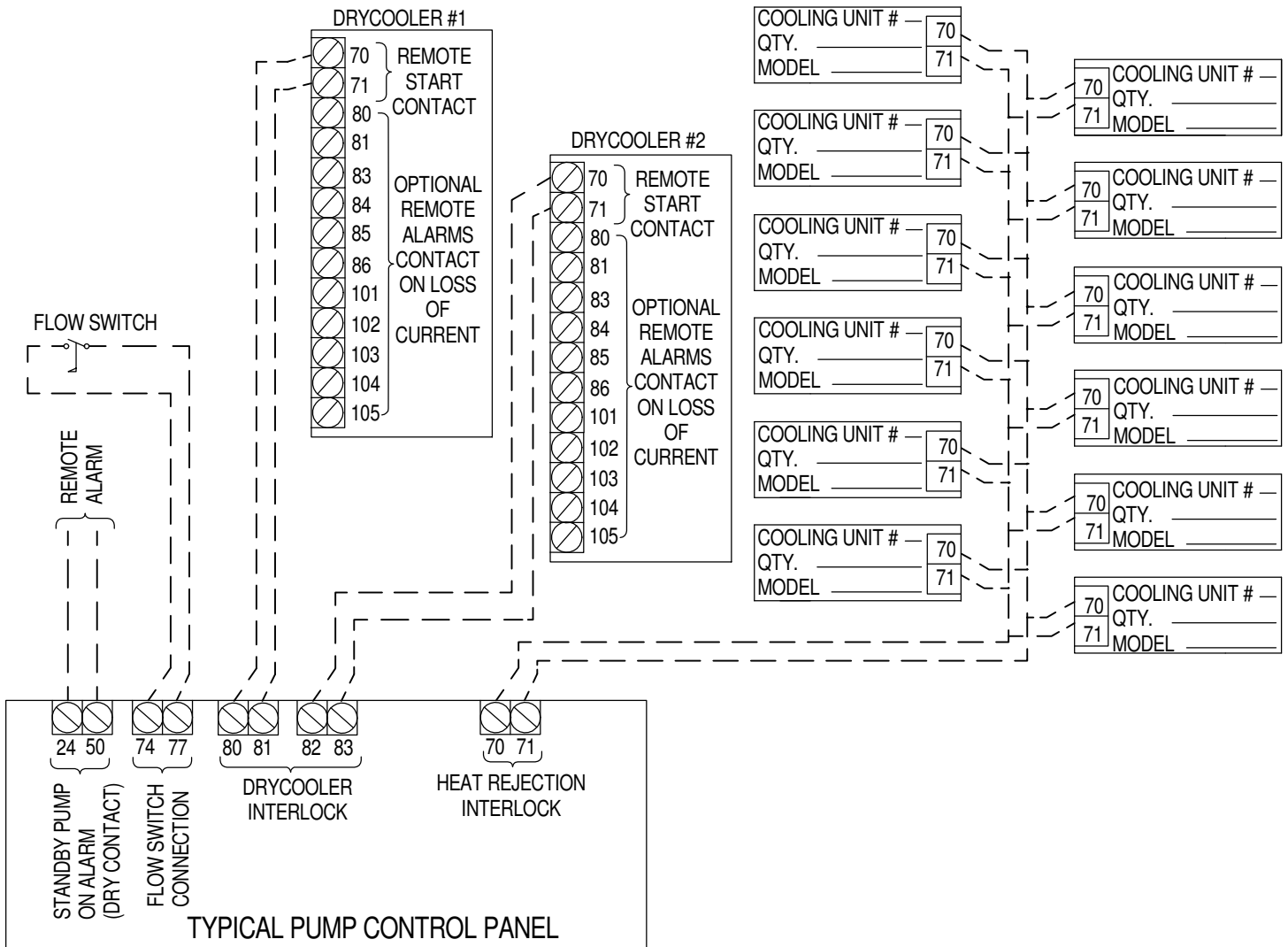


Notes:
1. Refer to individual wiring schematics for power wiring.



LIEBERT 10-FAN DRYCOOLER

TYPICAL LOW VOLT WIRING DIAGRAM

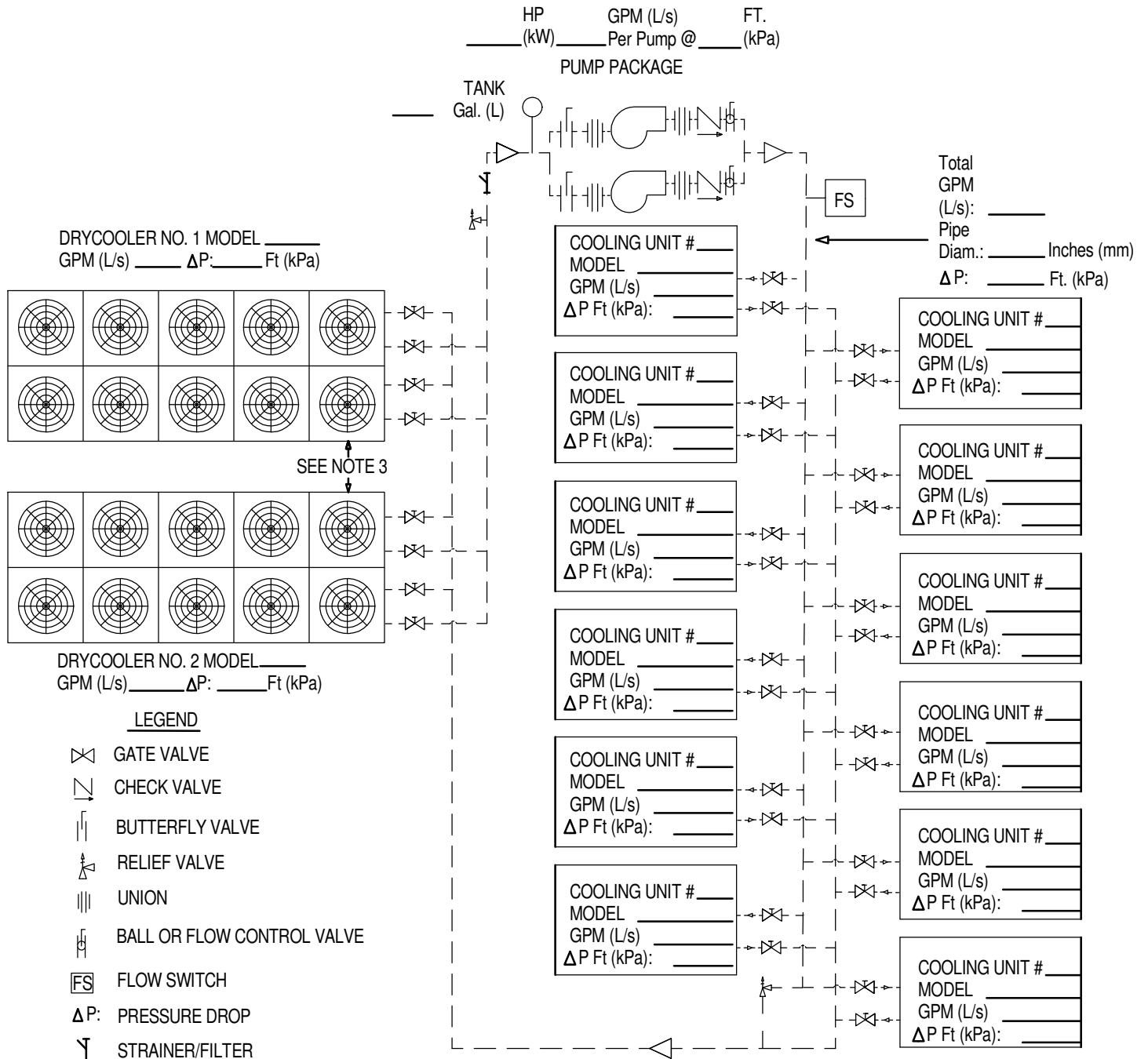


- Notes:
1. All 24 volt control wiring is shown in dashed lines and provided by others.
 2. Refer to individual wiring schematics for power wiring.



LIEBERT 10-FAN DRYCOOLER

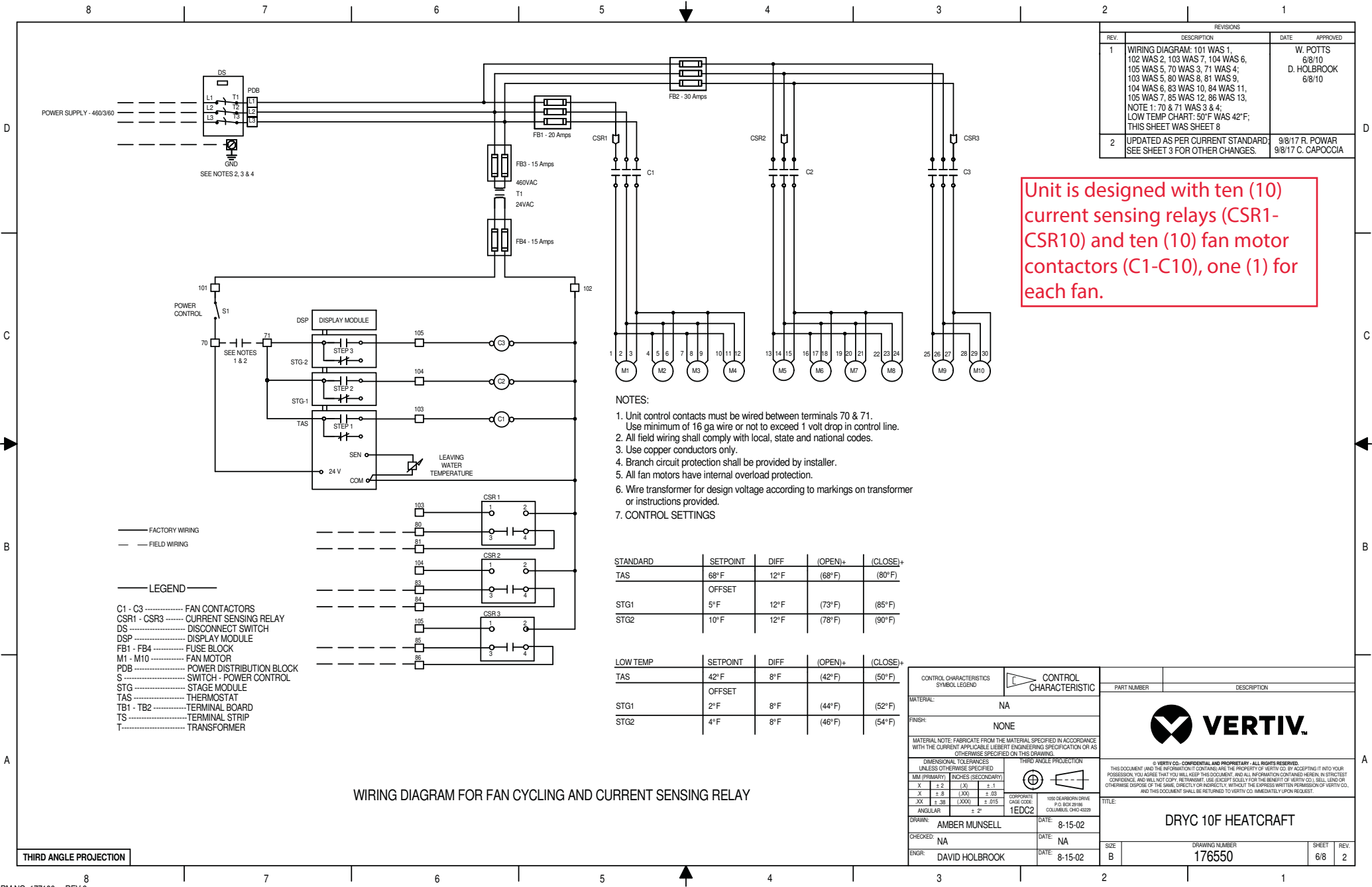
TYPICAL PIPING DIAGRAM



Notes:

1. Pressure and Temperature gauges (or ports for same) are recommended to monitor component pressure drops and performance.
2. Flow measuring devices, drain and balancing valves to be supplied by others and located as required.
3. See product literature for installation guidelines and clearance dimensions.
4. Drawing shows dual pump package. Alternate pump packages with more pumps may be considered. Consult supplier.
5. Install expansion or compression tank at the highest point of the system.

Form No.: DPN001040_REV14



REVISIONS			
REV.	DESCRIPTION	DATE	APPROVED
1	WIRING DIAGRAM: 101 WAS 1, 102 WAS 2, 103 WAS 3, 104 WAS 6, 105 WAS 5, 70 WAS 3, 71 WAS 4; 103 WAS 5, 80 WAS 8, 81 WAS 9, 104 WAS 6, 83 WAS 10, 84 WAS 11, 105 WAS 7, 85 WAS 12, 86 WAS 13, NOTE 1: 70 & 71 WAS 3 & 4; LOW TEMP CHART: 50°F WAS 42°F; THIS SHEET WAS SHEET 8	6/8/10	W. POTTS D. HOLBROOK
2	UPDATED AS PER CURRENT STANDARD; SEE SHEET 3 FOR OTHER CHANGES.	9/8/17 R. POWAR 9/8/17 C. CAPOCCIA	

Unit is designed with ten (10) current sensing relays (CSR1-CSR10) and ten (10) fan motor contactors (C1-C10), one (1) for each fan.

- NOTES:
- Unit control contacts must be wired between terminals 70 & 71. Use minimum of 16 ga wire or not to exceed 1 volt drop in control line.
 - All field wiring shall comply with local, state and national codes.
 - Use copper conductors only.
 - Branch circuit protection shall be provided by installer.
 - All fan motors have internal overload protection.
 - Wire transformer for design voltage according to markings on transformer or instructions provided.
 - CONTROL SETTINGS

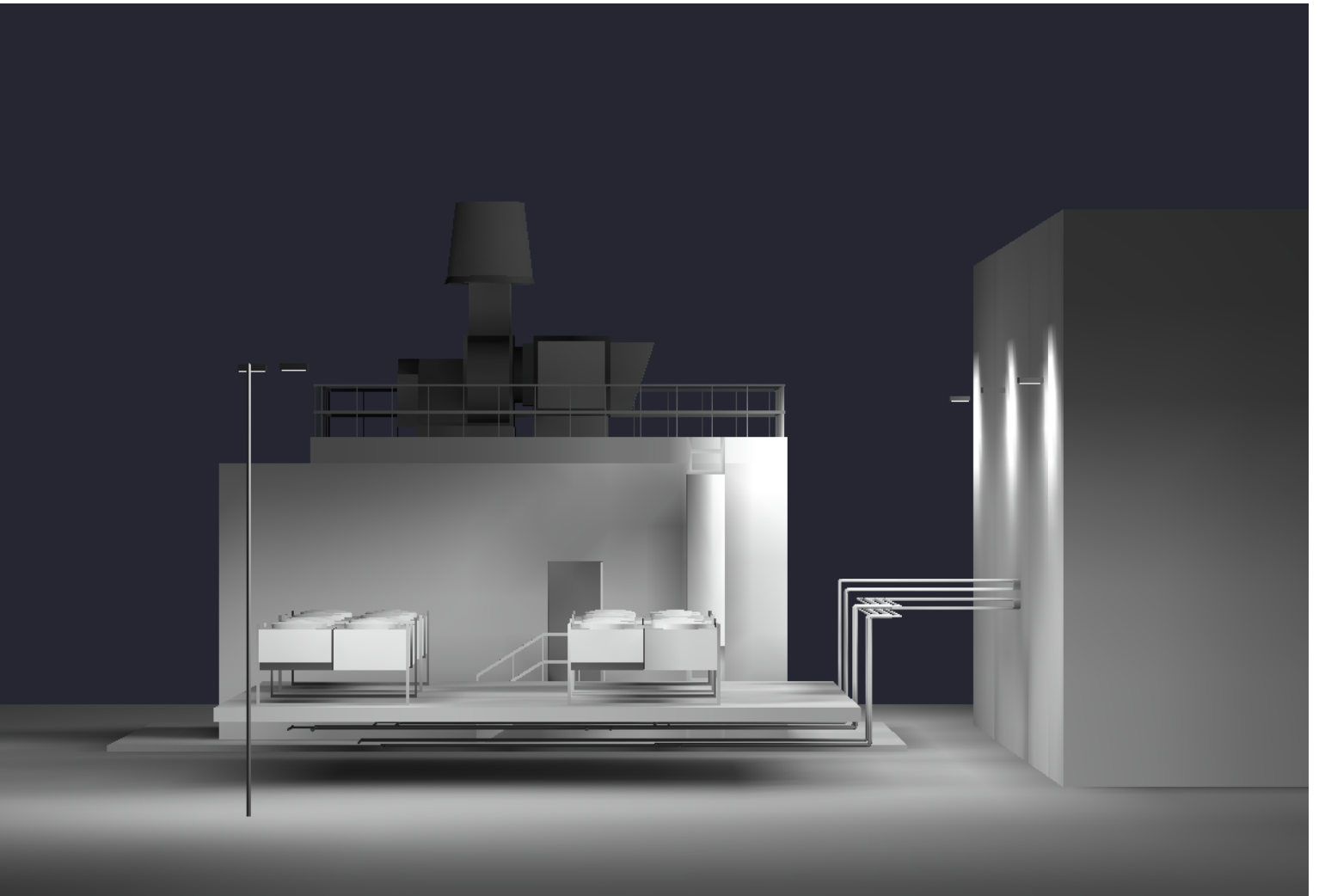
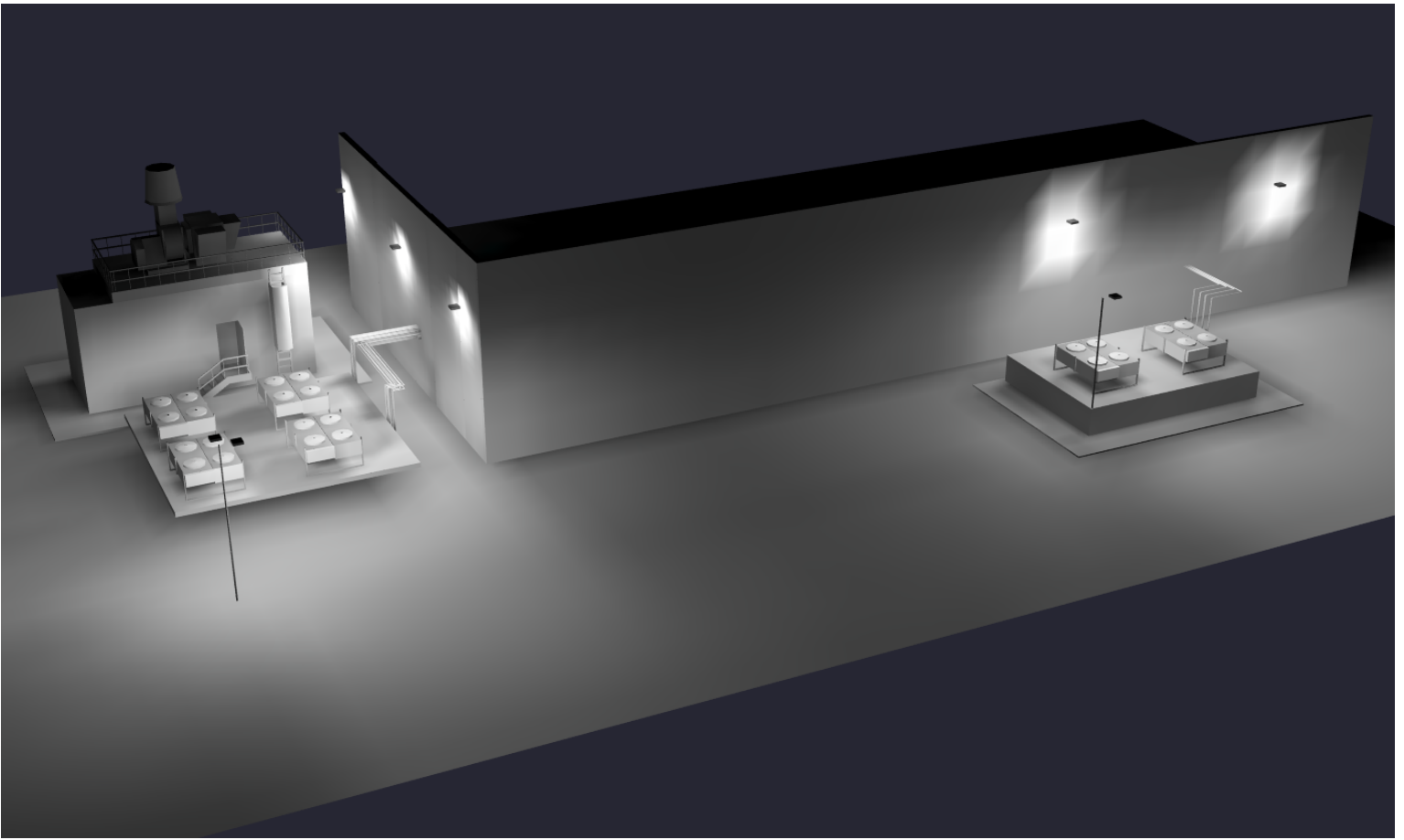
STANDARD	SETPOINT	DIFF	(OPEN)+	(CLOSE)+
TAS	68°F	12°F	(68°F)	(80°F)
	OFFSET			
STG1	5°F	12°F	(73°F)	(85°F)
STG2	10°F	12°F	(78°F)	(90°F)

LOW TEMP	SETPOINT	DIFF	(OPEN)+	(CLOSE)+
TAS	42°F	8°F	(42°F)	(50°F)
	OFFSET			
STG1	2°F	8°F	(44°F)	(52°F)
STG2	4°F	8°F	(46°F)	(54°F)

- FACTORY WIRING
- - - FIELD WIRING
- LEGEND
- C1 - C3 FAN CONTACTORS
 - CSR1 - CSR3 CURRENT SENSING RELAY
 - DS DISCONNECT SWITCH
 - DSP DISPLAY MODULE
 - FB1 - FB4 FUSE BLOCK
 - M1 - M10 FAN MOTOR
 - PDB POWER DISTRIBUTION BLOCK
 - S SWITCH - POWER CONTROL
 - STG STAGE MODULE
 - TAS THERMOSTAT
 - TB1 - TB2 TERMINAL BOARD
 - TS TERMINAL STRIP
 - T TRANSFORMER

WIRING DIAGRAM FOR FAN CYCLING AND CURRENT SENSING RELAY

CONTROL CHARACTERISTICS SYMBOL LEGEND	CONTROL CHARACTERISTIC	PART NUMBER	DESCRIPTION
MATERIAL: NA			
FINISH: NONE			
MATERIAL NOTE: FABRICATE FROM THE MATERIAL SPECIFIED IN ACCORDANCE WITH THE CURRENT APPLICABLE LIEBERT ENGINEERING SPECIFICATION OR AS OTHERWISE SPECIFIED ON THIS DRAWING.			
DIMENSIONAL TOLERANCES UNLESS OTHERWISE SPECIFIED		THIRD ANGLE PROJECTION	
MM (PRIMARY)	INCHES (SECONDARY)		
X ± 0.2	(XX) ± 0.1		
.XX ± 0.1	(XXX) ± 0.05		
.XX ± 0.38	(XXXX) ± 0.015		
ANGULAR	± 2°		
CORPORATE CASE CODE: 1EDC2	100 DEARBORN DRIVE P.O. BOX 29199 COLUMBUS, OHIO 43229		
DRAWN: AMBER MUNSELL	DATE: 8-15-02	© VERTIV CO. CONFIDENTIAL AND PROPRIETARY. ALL RIGHTS RESERVED. THIS DOCUMENT (AND THE INFORMATION IT CONTAINS) IS THE PROPERTY OF VERTIV CO. BY ACCEPTING IT INTO YOUR POSSESSION, YOU AGREE THAT YOU WILL KEEP THIS DOCUMENT, AND ALL INFORMATION CONTAINED HEREIN, IN STRICTEST CONFIDENCE, AND WILL NOT COPY, REPRODUCE, USE, DISSEMINATE, OR IN ANY MANNER DISCLOSE TO ANY OTHER PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF VERTIV CO. AND THIS DOCUMENT SHALL BE RETURNED TO VERTIV CO. IMMEDIATELY UPON REQUEST.	
CHECKED: NA	DATE: NA	TITLE: DRYC 10F HEATCRAFT	
ENGR: DAVID HOLBROOK	DATE: 8-15-02	SIZE: B	DRAWINGS NUMBER: 176550
		SHEET: 6/8	REV: 2





D-Series Size 1 LED Area Luminaire



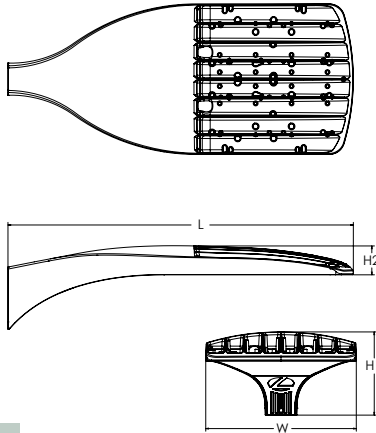
Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

d#series

Specifications

EPA:	0.69 ft ² (0.06 m ²)
Length:	32.71" (83.1 cm)
Width:	14.26" (36.2 cm)
Height H1:	7.88" (20.0 cm)
Height H2:	2.73" (6.9 cm)
Weight:	34 lbs (15.4 kg)



ds Design Select options indicated by this color background.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)		AFR Automotive front row	MVOLT (120V-277V)⁴	Shipped included
	P1 P6	30K 3000K	70CRI	T5S Type I short	HVOLT (347V-480V) ^{5,6}	SPA Square pole mounting (#8 drilling)
	P2 P7	40K 4000K	70CRI	T2M Type II medium	XVOLT (277V - 480V) ^{7,8}	RPA Round pole mounting (#8 drilling)
	P3 P8	50K 5000K	70CRI	T3M Type III medium	120 ^{16,26}	SPA5 Square pole mounting #5 drilling ⁹
	P4 P9			T3LG Type III low glare ³	208 ^{16,26}	RPA5 Round pole mounting #5 drilling ⁹
	P5	27K 2700K	80CRI	T4M Type IV medium	240 ^{16,26}	SPA8N Square narrow pole mounting #8 drilling
	Rotated optics	30K 3000K	80CRI	T4LG Type IV low glare ³	277 ^{16,26}	WBA Wall bracket ¹⁰
	P10 ¹ P12 ¹	35K 3500K	80CRI	TFTM Forward throw medium	347 ^{16,26}	MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)
	P11 ¹ P13 ¹	40K 4000K	80CRI		480 ^{16,26}	
		50K 5000K	80CRI	LCCO Left corner cutoff ³		
				RCCO Right corner cutoff ³		

Control options	Other options	Finish (required)
<p>Shipped installed</p> <p>NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.^{11,12,20,21}</p> <p>PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.^{13,20,21}</p> <p>PER NEMA twist-lock receptacle only (controls ordered separately)¹⁴</p> <p>PER5 Five-pin receptacle only (controls ordered separate)^{14,21}</p> <p>PER7 Seven-pin receptacle only (controls ordered separate)^{18,21}</p> <p>FAO Field adjustable output^{15,21}</p> <p>BL30 Bi-level switched dimming, 30%^{16,21}</p> <p>BL50 Bi-level switched dimming, 50%^{16,21}</p> <p>DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)¹⁷</p> <p>DS Dual switching^{18,19,21}</p>	<p>Shipped installed</p> <p>SPD20KV 20KV surge protection</p> <p>HS Houseside shield (black finish standard)²²</p> <p>L90 Left rotated optics¹</p> <p>R90 Right rotated optics¹</p> <p>CCE Coastal Construction²³</p> <p>HA 50°C ambient operation²⁴</p> <p>BAA Buy America(n) Act and/or Build America Buy America Qualified</p> <p>SF Single fuse (120, 277, 347V)²⁵</p> <p>DF Double fuse (208, 240, 480V)²⁶</p> <p>Shipped separately</p> <p>EGSR External Glare Shield (reversible, field install required, matches housing finish)</p> <p>BSDB Bird Spikes (field install required)</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured dark bronze</p> <p>DBLBXD Textured black</p> <p>DNATXD Textured natural aluminum</p> <p>DWHGXD Textured white</p>



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁵
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁵
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁵
DSHORT SBK	Shorting cap ²⁵
DSX1HS P#	House-side shield (enter package number 1-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSX1EGSR (FINISH)	External glare shield (specify finish)
DSX1BSDB (FINISH)	Bird spike deterrent bracket (specify finish)

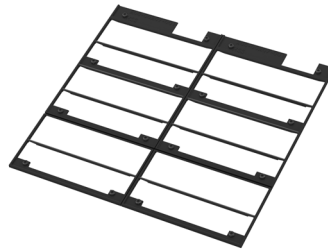
NOTES

- Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- HVOLT not available with package P1 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- XVOLT not available in packages P1 or P10. XVOLT not available with P1, P2, P5, P7, P9, P10, P11 and P13 when combined with option NLTAIR2 PIRHN or PIR. XVOLT not available with fusing (SF or DF).
- SPA5 and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- WBA cannot be combined with Type 5 distributions plus photocell (PER).
- NLTAIR2 and PIRHN must be ordered together. For more information on nLight AIR2 visit this [link](#)
- NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50, DMG and DS. NLTAIR2 PIRHN not available with P1 and P10 using HVOLT.
- PIR not available with NLTAIR2 PIRHN, PER, PER5, PER7, FAO BL30, BL50, DMG and DS.
- PER/PER5/PER7 not available with NLTAIR2 PIRHN, PIR, BL30, BL50, FAO, DMG and DS. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, DMG and DS.
- BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO, DMG and DS. BL30 or BL50 must specify 120 or 277V.
- DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DS.
- DS not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DMG.
- DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers. DS only available with packages P8, P9, P10, P11, P12 and P13.
- Reference Motion Sensor Default Settings table on page 4 to see functionality.
- Reference Controls Options table on page 4.
- HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- CCE option not available with option BS and EGSR. Contact Technical Support for availability.
- Option HA not available with performance packages P4, P5, P7, P8, P9 and P13.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

Shield Accessories



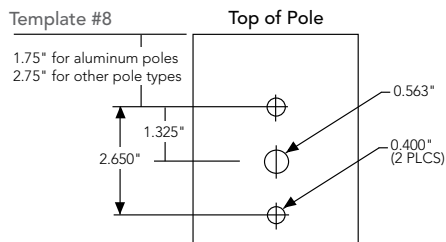
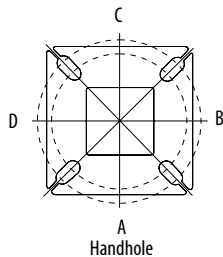
External Glare Shield (EGSR)



House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPA5	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX1 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 with SPA	0.69	1.38	1.23	1.54	---	1.58
DSX1 with SPA5, SPA8N	0.70	1.40	1.30	1.66	---	1.68
DSX1 with RPA, RPA5	0.70	1.40	1.30	1.66	1.60	1.68
DSX1 with MA	0.83	1.66	1.50	2.09	2.09	2.09



OVERVIEW

With a design life of 20+ years and superior in-rush current and surge-protection features, the DLL Elite support the extended life and low maintenance benefits associated with LED fixtures.

FEATURES

APPLICATIONS

- LED lighting fixtures that require dusk to dawn control
- High inrush current fixtures
- Designed to last as long as your LED lighting system, 20+ years
- LED inrush protection with TRIAC assisted relay
- Extreme surge protection of 1280J/40kA utility or 2120J/40kA UL listed
- Double thick enclosure and lens with additional UV inhibitor
- High temp base plastic tested to 140°C
- Long life capacitors
- Full wave rectified power supply
- Dual zener diodes for long life
- Solid brass contact blades
- Double sided, thru hole plated .062" FR4 circuit board
- Conformal coated printed circuit board
- Sealed packaging for extended storage

SPECIFICATIONS

REGULATORY LISTINGS

- ANSI C136.10
- ROHS compliant
- UL listed to U.S. and Canadian safety standards
- Surge rated in excess of ANSI C136.10 to 20kV/10kA

OPERATING CHARACTERISTICS

- Operating Levels: Turn-on at 1.5 FC and turn-off at 2.25 FC (On:Off ratio of 1:1.5)
- Operating temperature: -40C to 70C
- Voltage 120 to 480 VAC, 60Hz
- Load rating: 1000 watts, 1800 VA ballast
 - UL Load Rating: 1000VA
- Average power consumption: <0.5 watts @ 120V

Warranty

Ten-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice



*DLL Elite
Electronic Locking
Type Photocontrol*

Standard



Low Profile



DLL STANDARD COLORS

	Non-UL	UL
120-277V	Green	Blue
347V	Green	Green
480V	Yellow	Yellow

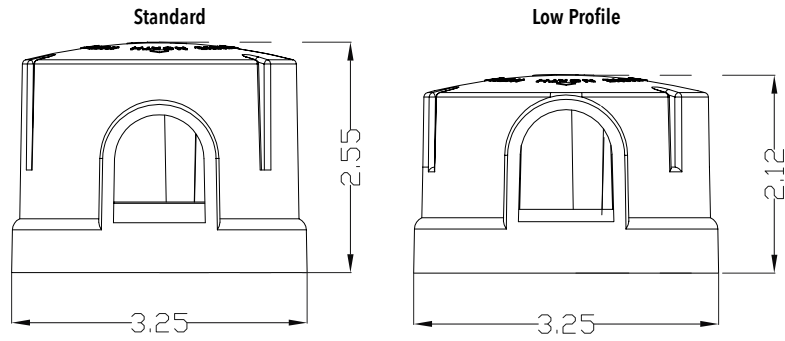
ORDERING INFORMATION

DLL PHOTOCONTROL							Example: DLL127 1.5 J50	
Series & Voltage	Failure Mode	Turn-On Level (fc)	Housing	Filter	Certification	Cover Color	Pkg. Qty.	
DLL127 120-277V DLL347 347V ¹ DLL480 480V ¹	[blank] Fail On F Fail Off	1.5 ANSI Standard	[blank] Standard height LP Low Profile ²	[blank] Silicon Sensor IR IR filtered silicon sensor	[blank] Standard CUL cULus listed ³	[blank] See standard colors table above BK Black ⁴ BR Brown ⁴ GR Green ⁴ GY Gray ⁴ BL Blue ⁴ YL Yellow ⁴	JU 1 Unit J12 12 Units J50 50 Units	

NOTES

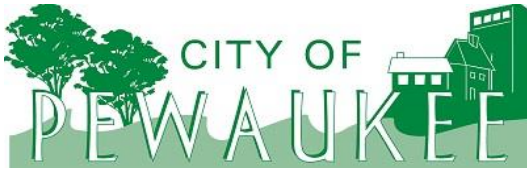
1. Only available with CUL certification option.
2. Not available with DLL347, DLL480, or CUL certification.
3. Color substitutions not allowed for cULus models.
4. Non-standard custom colors are non-stock items. Available in J12 and J50 only. Consult customer service.

DIMENSIONS



STOCKED MODEL NUMBERS

Model #	Description	Pkg. Qty.
DLL127 1.5	120-277V Fail- On (non-UL)	J50
DLL127 1.5 BL	120-277V Fail- On (non-UL) Blue	J50
DLL127 1.5 GY	120-277V Fail- On (non-UL) Gray	J50
DLL127 1.5 BK	120-277V Fail- On (non-UL) Black	J50
DLL127F 1.5	120-277V Fail- Off (non-UL)	J50
DLL127 1.5 LP	120-277V Fail- On (non-UL) Low Profile	J50
DLL127 1.5 IR	120-277V Fail-On (non-UL) IR Filter	J50
DLL127 1.5 IR BK	120-277V Fail-On (non-UL) IR Filter Black	J50
DLL127 1.5 IR BL	120-277V Fail-On (non-UL) IR Filter Blue	J50
DLL127F 1.5 CUL	120-277V Fail- Off	J50
DLL127 1.5 CUL	120-277V Fail- On	J50
DLL347F 1.5 CUL	347V Fail- Off	J50
DLL347 1.5 CUL	347V Fail- On	J50
DLL480F 1.5 CUL	480V Fail- Off	J50
DLL480 1.5 CUL	480V Fail- On	J50



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of January 15, 2025

Date: January 6, 2026

Project Name: Terex Site & Building Plan Review Application

Project Address/Tax Key No.: N4W22610 Bluemound Road / PWC 0963999016

Applicant: T & M Waukesha LLC c/o Terex

Property Owner: T&M WAUKESHA LLC

Current Zoning: M-4 Industrial Park District

2050 Land Use Map Designation: Manufacturing/Fabrication/Warehousing

Use of Surrounding Properties: Office and industrial to the north, east and west and Bluemound Road and single-family residential to the south

Project Description/Analysis

The applicant filed a Site & Building Plan Review Application requesting approval to add six new overhead doors on the west elevation of the building, four new overhead doors on the east elevation, and to install an overhead lift within the gravel outdoor storage area to the east side of the building.

The building currently has nineteen overhead doors on the west elevation, which faces Eastmound Drive and twenty-two on the east elevation, which faces parking and outdoor storage. This project will result in a total of twenty-five overhead doors on the west side of the building and twenty-six on the east side of the building.

The overhead lift is setback one hundred feet from the east property line. The lift is seventy-five feet long and thirty-five feet wide. The final height of the overhead lift has not yet been determined but it will be between 35 feet and 40 feet. There is an existing six-foot chain-link fence with slats surrounding the outdoor storage area, including along the south side. As part of this project, *staff recommends that the applicant replace all broken slats within the fencing with new slats of the same color.* Evergreen trees are also located on the south side of the property, adjacent to Bluemound Road.

The M-4 District requires all structures, employee parking, signs, storage areas, and fences to be located at least 45 feet from property boundaries. This requirement is met for the existing building and proposed overhead lift. There is existing parking located closer to 45 feet from the street property lines; however, there are no changes proposed to the parking lot.

It is also stated that “[l]oading docks or areas shall be located not less than 100 feet from the right-of-way of a public access street and shall be screened from view from the street.” The overhead doors will be used to bring equipment in and out of the facility, not necessarily loading or unloading goods or materials, but regardless, the building is over 100 feet from the street property lines.

The M-4 District states, “[a]ll parking and loading areas shall be adequately screened as determined by the Plan Commission.” It also requires that “[t]here shall be no driveway, parking or loading area within 30 feet of a street right-of-way or within 20 feet of an adjacent property.”

There is minimal screening or landscaping along Eastmound Drive. The applicant is proposing nine Pyramidal Arborvitaes along Eastmound Drive in front of the north half of the building to provide additional screening.

Staff Recommendation

Staff recommends approval of the Site & Building Plan Review Application for the proposed building and site changes.

November 28, 2025

Nick Fuchs
Planner & Community Development Director
City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072
fuchs@pewaukee.wi.us



RE: Project Narrative to accompany Site and Building Plan Review Application

Nick,

Thank you for reviewing the preliminary plans for our project with Terex in Pewaukee sent on November 20, 2025. To accompany our plan review application, we have prepared the following project narrative to address our initial request, business use/operational information, future development plans, site and building improvements, tentative development schedule, and estimated project value.

PROJECT NARRATIVE

On behalf of Terex, we respectfully request review in support of approval for the construction of this project. Terex looks forward to enhancing their facility to continue delivering reliable equipment that is ready to go to work and keep working. At their Waukesha, WI location, Terex installs service bodies, aerial devices, and digger derricks on to truck chassis in support of the critical utility industry. This project will increase their efficiency and capacity.

The scope of work for this project is to install ten (10) additional overhead doors, as well as an outdoor overhead bridge crane. The bridge crane would sit to the east (rear) of the building and meet all required setbacks. Terex has some additional projects in the planning phase, with an estimated total value of \$8 million.

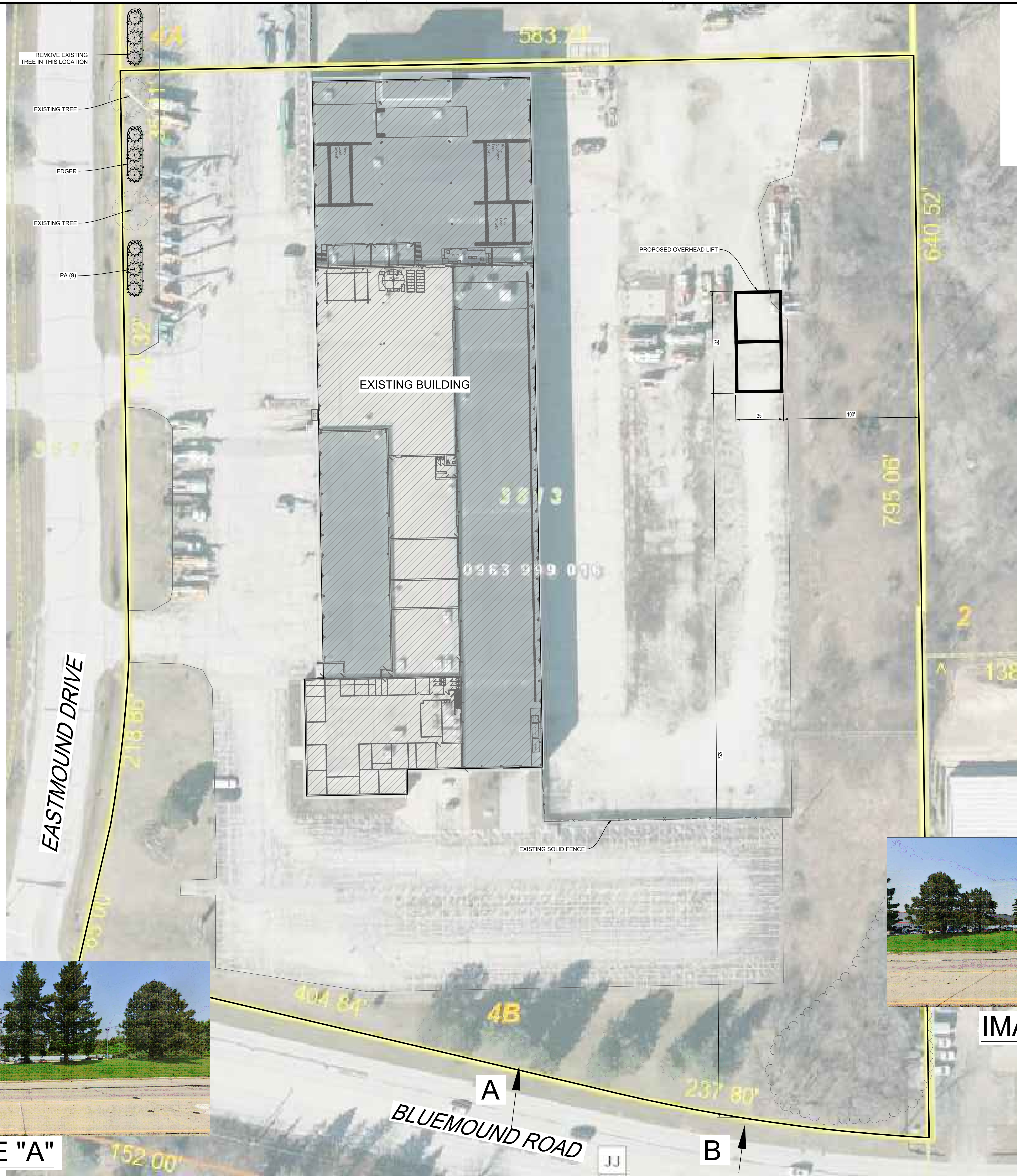
We anticipate construction to begin as soon as the weather allows in the spring of 2026, with a tentative completion date of June 30, 2026.

Please contact me at 515-243-9143 or Carleigh.Noel@ISGInc.com with any questions or if there is any additional information we can provide in support of this project.

Sincerely,

A handwritten signature in black ink that reads 'Carleigh Noel'.

Carleigh Noel
Development Services Coordinator
Carleigh.Noel@ISGInc.com



PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
SHRUBS					
	PA	9	THILIA-ARBORVITAE PYRAMIDAL ARBORVITAE	5 GAL	CONT
GROUND COVERS					
	MULCH	1825 SF	SHREDDED HARDWOOD OR DECORATIVE STONE MULCH		
EDGER					
		370 LF	EDGER POLYVINYL (BLACK COLOR)		



SHEET NOT VALID UNLESS THIS TEXT IS COLOR.

PROJECT
**TEREX
 BLDG
 RENOVATIONS**
 PEWAUKEE WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 25-33639
 FILE NAME 33639-C1-10 SITE CONCEPT
 DRAWN BY ---
 DESIGNED BY ---
 REVIEWED BY ---
 ORIGINAL ISSUE DATE ---
 CLIENT PROJECT NO. -

TITLE
SITE PLAN

SHEET
C1-10 OF #



IMAGE "A"



IMAGE "B"

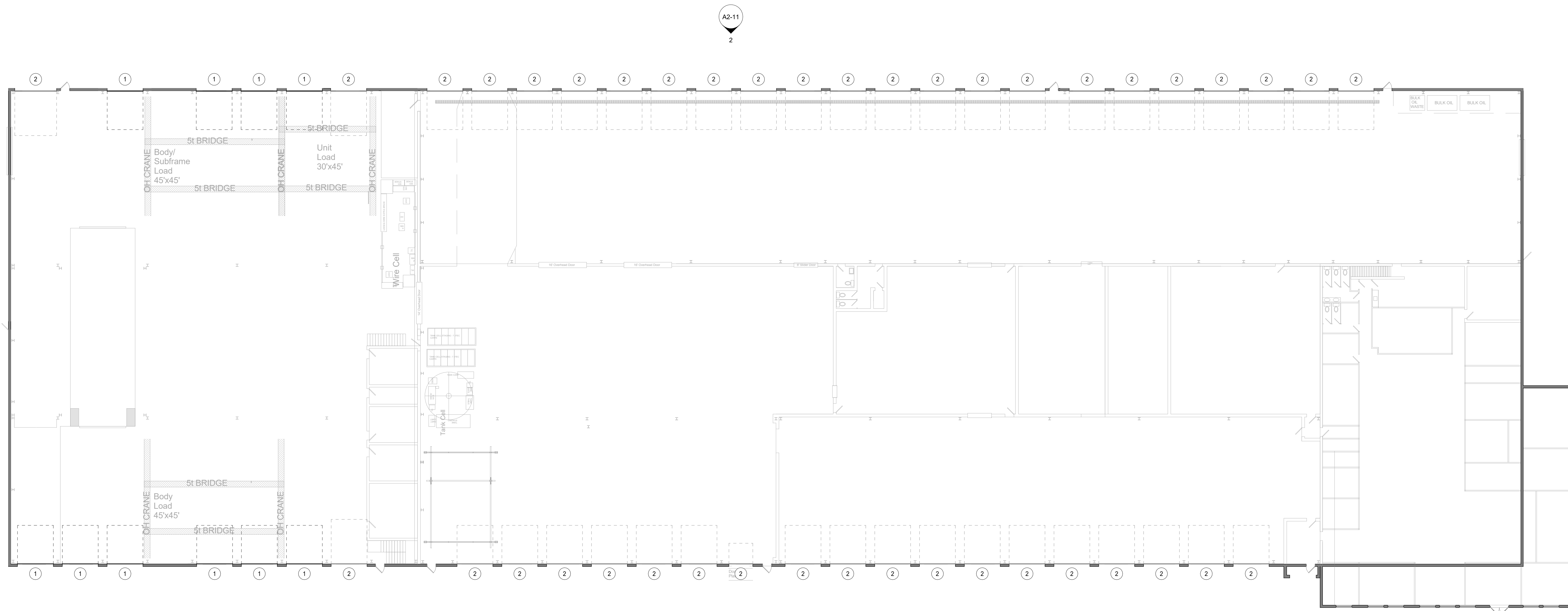
PRELIMINARY NOT FOR CONSTRUCTION



WALL LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION

- FLOOR PLAN SHEET NOTES**
- ALL INTERIOR PARTITION WALLS SHALL BE WALL TYPE UNLESS OTHERWISE NOTED.
 - INTERIOR WALL DIMENSIONS ARE FROM FACE OF MASONRY/ CONCRETE AND CENTER OF STUD WALL, UNLESS NOTED OTHERWISE.
 - PAINT ALL EXPOSED METALS, BUT NOT LIMITED TO COLUMNS, RISERS, STAIR HANDRAILS, GUARDRAILS, EXPOSED JOISTS, AND FLOOR EDGES, UNLESS NOTED OTHERWISE.
 - REFER TO SHEET INFO WISH SCHEDULES FOR MARKER/TAPE SPECIFICATIONS.
 - INSTALL FERROCEMENT TREATED BLOCKING AS REQUIRED IN PARTITIONS TO RECEIVE COUNTERS, SHELVES, MARKER BOARDS, TVS, ETC.
 - ALL WALL MOUNTED ITEMS TO SIT FLUSH ON A WALL SURFACE. IN INSTANCES WHERE A WALL MOUNTED ITEM IS TO BE INSTALLED ON TWO DIFFERENT FINISH THICKNESSES, PROVIDE A HARDBOARD BACKER FOR THE ITEM TO SIT FLUSH. PROVIDE SEALANT AROUND ALL EDGES OF BACKER AND PAINT TO MATCH ADJACENT SURFACE.

KEYNOTE LEGEND	
1	NEW 12'-0" x 14'-0" OVERHEAD DOOR
2	EXISTING OVERHEAD DOOR TO REMAIN



1 FIRST FLOOR PLAN
1/16" = 1'-0"

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PROJECT
**TEREX
BLDG
RENOVATIONS**
WAUKESHA WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	25-33639
FILE NAME	33639 ARCH R24
DRAWN BY	Author
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MM/DD/YY
CLIENT PROJECT NO.	

TITLE
**FIRST FLOOR
PLAN**

SHEET
A1-21

REFERENCE SCALE
1" = 1'-0"
0 1/4" 1/2" 1" 2"

PRELIMINARY NOT FOR CONSTRUCTION

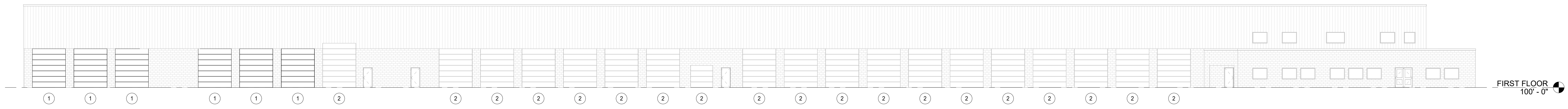


EXTERIOR ELEV. SHEET NOTES

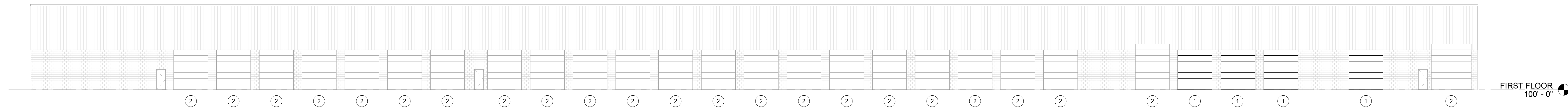
- THROUGH-WALL FLASHING TO BE LOCATED ABOVE GRADE.
- PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT FACADE MATERIAL COLOR.
- SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES.

KEYNOTE LEGEND

1	NEW 12'-0" x 14'-0" OVERHEAD DOOR.
2	EXISTING OVERHEAD DOOR TO REMAIN.



1 WEST ELEVATION - LOOKING EAST
1/16" = 1'-0"



2 EAST ELEVATION - LOOKING WEST
1/16" = 1'-0"

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PROJECT

**TEREX
BLDG
RENOVATIONS**

WAUKESHA WISCONSIN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	25-33639
FILE NAME	33639 ARCH R24
DRAWN BY	MDS
DESIGNED BY	Designer
REVIEWED BY	Checker
ORIGINAL ISSUE DATE	MMDDYY
CLIENT PROJECT NO.	

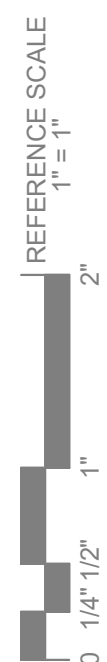
TITLE

**EXTERIOR
ELEVATIONS**

SHEET

A2-11

PRELIMINARY NOT FOR CONSTRUCTION



December 23, 2025

Nick Fuchs
Planner & Community Development Director
City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072
fuchs@pewaukee.wi.us



RE: Plan Review Response Letter to Address Staff Comments

Nick,

Thank you for your plan review letter dated December 15, 2025. We have prepared the following information to address your review comments for the property located at N4W22610 Bluemound Road (Tax Key No. PWC 0963999016). Please note that for your convenience each review item is restated below along with our corresponding response.

REVIEWING STAFF COMMENTS

1. What is the height of the overhead lift?
 - a. *ISG Response: Overall height is <40 feet. Exact dimension is still being engineered but will be slightly less than 40'.*
2. Staff anticipates recommending that broken slats within the existing fence be replaced as part of this project. If required, are there any concerns with matching the color of the existing slats and how that may be addressed?
 - a. *ISG Response: Broken slats will be replaced. If color matching can't be achieved, all slats will be replaced with new slats.*
3. Staff recommends that a Landscape Plan be submitted for review that adds trees and/or evergreens on the property along Eastmound Drive.
 - a. *ISG Response: A landscape plan is being provided to show the additional plantings that are being proposed along Eastmound Drive to screen the new overhead doors.*
4. The project narrative references additional projects for this site that are in the planning phase. Please be aware that these projects will require separate review and approval. Moreover, outdoor storage is an existing nonconforming use in the M-4 District. These projects should be discussed with staff as soon as possible if an expansion of outdoor storage is planned.
 - a. *ISG Response: The narrative may have created confusion by the expanding business comment as in the fact that the business is providing additional services under roof that were located at other locations. The building and the site are not expanding or creating any new outdoor storage.*

Please contact me at 515-243-9143 or via email at Carleigh.Noel@ISGInc.com with any questions or if there is any additional information we can provide in support of this project.

Sincerely,

Carleigh Noel
Development Services Coordinator
Carleigh.Noel@ISGInc.com



