



Planning Department
W240 N3065 Pewaukee Road
Pewaukee WI 53072
Phone: 262-691-0770

**PLAN COMMISSION
MEETING NOTICE AND AGENDA
Thursday, November 20, 2025
6:00 PM**

Pewaukee City Hall Common Council Chambers
W240N3065 Pewaukee Road, Pewaukee, WI

1. Call to Order and Pledge of Allegiance
2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes
 - 2.1 May 15, 2025
 - 2.2 June 12, 2025
 - 2.3 July 17, 2025
3. Items for Discussion and Possible Action
 - 3.1 Discussion and Action Regarding the Site and Building Plans for The Glen at Springdale for a Multi-Family Residential Development Upon Property Located at W220 N2475 Springdale Road as Requested by Cornerstone Development (PWC 0916997)
 - 3.2 Discussion and Action Regarding the Site and Building Plans for Lake Country Eye Surgery Center for an Ambulatory Surgery Center Upon Property Located at W238 N1670 Busse Road (PWC 0954998013)
 - 3.3 Discussion and Action Regarding a Mitigation Plan for the James and Susan Taylor Residence Located at N37 W26725 Kopmeier Drive (PWC 0894013)
 - 3.4 Discussion Regarding a Conceptual Review Application for a Multi-Tenant Medical Service and Office Development Upon Property Located at W240 N2687 Pewaukee Road (PWC 0924995)
4. Adjournment

Ami Hurd
Deputy Clerk
Community Development Coordinator
November 13, 2025

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum at the above stated meeting. No action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the City Planner/Community Development Director Nick Fuchs, at (262) 691-6007 three business days prior to the meeting so that arrangements may be made to accommodate your request.

In attendance:

Mayor S. Bierce, Alderwoman C. Brown, D. Kiser, and A. Schoenemann.

Also in attendance:

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, Department of Public Works Director M. Wagner, and Deputy Clerk/Community Development Coordinator A. Hurd.

1.0 Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 6:00pm and requested everyone stand for the Pledge of Allegiance.

2.0 Peter Amenda Property Located at N39 W27421 Hillside Grove Road (PWC 0889016001)

2.1 Discussion and Action Regarding a Certified Survey Map to Create Lot 1 and Outlot 1 for the Subject Property, Consistent with Deeds Recorded for Said Property and Property Located at N39 W27402 Hillside Grove Road

Mr. Fuchs stated the CSM included one lot and one outlot and was being proposed to clean up an ownership situation. In 2001, 40 feet of the outlot adjacent to the lake was deeded to a property on the north side of Hillside Grove Road. It resulted in the applicant's property showing dual ownership, but it should just be the single ownership. The CSM will show the applicant's lot and his portion of the outlot on the lake. The 40-foot portion would be deeded to the property on the north side of Hillside Grove Road.

A motion was made and seconded (D. Kiser, C. Brown) to recommend approval of the Certified Survey Map for the Peter Amenda property. Motion Passed: 4-For, 0-Against.

3.0 Spring City Family Dental Request for a Dental Office Located at N7 W23825 Bluemound Road (PWC 0966987)

3.1 Discussion and Action and Public Hearing to Rezone the Subject Property from B-1 Neighborhood Business to B-3 General Business

3.2 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit to Allow for a Dental Office Use on the Subject Property

3.3 Discussion and Action Regarding the Site and Building Plan Review for Approval of Improvements for a Proposed Dental Office on the Subject Property

Mr. Fuchs stated the building was 4,674 square feet with 30 parking spaces. The applicant was exceeding the 40 percent greenspace ratio. The only conditions of approval were for Engineering

Department approval of the grading, erosion control and utility plans, hookup to sewer if it becomes available, and the sign code must be met and permits issued prior to sign installation.

Chairman Bierce opened the public hearing at 6:06pm. After hearing no requests to speak, he closed the public hearing at 6:06pm.

Commissioner Brown stated she was glad to see the building would be rebuilt with something nice. She questioned if the westerly exit would be completely removed and made into greenspace, and the applicant noted that the area would all be turf.

Discussion took place regarding the building materials, as relates to the guidelines in the Zoning Code.

Bud Bessler, architect with Oliver Construction, discussed the renderings of the building and noted there would be a three-color panel blend with softer tones and a few accents from the owner's logo. He explained the various materials they were planning to use in the project.

Commissioner Schoenemann referred to the illuminated logo and questioned if it was all considered signage. Mr. Fuchs confirmed that the logos would be considered signage and would be added up per elevation and would have to be under the allowed square footage.

Commissioner Schoenemann referred to the photometrics and felt it seemed rather dark for anyone who parked on the south end of the building by the ADA parking stall. She felt there were not enough footcandles. Mr. Bessler noted that there would be a security light at each door, but he confirmed they would take a look at it.

Mr. Bessler then discussed the west driveway and mentioned that it would be all grass with a six-inch-high curb. He noted that they can't put any landscaping in the area because it is part of the right-of-way.

Chairman Bierce questioned the removal of the holding tank, and Mr. Bessler stated they would be replacing it and putting in two new, smaller tanks.

A motion was made and seconded (D. Kiser, A. Schoenemann) to concur with staff recommendations for approval, lights added to the south elevation, and the disturbance to the tree line to the south would have to be added back if anything was disrupted. Motion Passed: 4-For, 0-Against.

- 4.0 Pewaukee Golf Club Single- and Multi-Family Development Located at N12 W236506 Golf Road as Requested by Land by Label (PWC 0941988104 & PWC 0944994)
- 4.1 Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee from High Density Residential (< 6,500 Sq. Ft. / d.u.) and Floodplains, Lowland & Upland Conservancy and Other Natural Areas to Medium Density Residential (6,500 sq. ft. – 1/2 ac. / d.u.) and Floodplains, Lowland, & Upland Conservancy and

Other Natural Areas (PWC 0941988104)

- 4.2 Discussion and Action and Public Hearing to Rezone the Subject Property from Rm-3 Multi-Family Residential Planned Unit Development to Rs-6 Single-Family Residential and LC Lowland Conservancy (PWC 0941988104)
- 4.3 Discussion and Action Regarding a Recommendation to the Common Council for a Comprehensive Master Plan Amendment to Change the Year 2050 Land Use/Transportation Plan Use Designation for the City of Pewaukee from Public or Private Park and Recreation, Floodplains, Lowland, & Upland Conservancy and Other Natural Areas, and Water to High Density Residential (< 6,500 sq. ft. / d.u.), Medium Density Residential (6,500 sq. ft. – 1/2 ac. / d.u.), Public or Private Park and Recreation, and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas (PWC 0944994)
- 4.4 Discussion and Action and Public Hearing to Rezone the Subject Property from P-1 Park and Open Space, F-1 Floodplain, and LC Lowland Conservancy to Rm-3 Multi-Family Residential Planned Unit Development, P-1 Park and Open Space, and LC Lowland Conservancy (PWC0944994)
- 4.5 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Residential Planned Unit Development to Allow for a Multi-Family Residential Development Upon a Portion of the Subject Property (PWC 0944994)
- 4.6 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Residential Planned Unit Development to Allow for a Single-Family and Condominium Residential Development Upon the Subject Property (PWC 0941988104 & PWC 0944994)
- 4.7 Discussion and Action Regarding a Certified Survey Map for the Purpose of Subdividing the Subject Properties Into Three Lots and One Outlot (PWC 0941988104 & PWC 0944944)
- 4.8 Discussion and Action Regarding a Certified Survey Map for the Purpose of Subdividing the Subject Property Bearing Tax Key 0941988104 and a Portion of Subject Property Bearing Tax Key 0944994 Into Three Lots and One Outlot (PWC 0941988104 & PWC 0944994)
- 4.9 Discussion and Action Regarding the Site and Building Plans for a Condominium Development Upon the Subject Property (PWC 0941988104 & PWC 0944994)
- 4.10 Discussion and Action Regarding the Site and Building Plans for a Multi-Family Residential Development Upon a Portion of the Subject Property Located at N12 W26506 Golf Road (PWC 0944994)

Mr. Fuchs stated this request was for a mixed-use residential development including multi-family apartments and condominiums, single-family residential housing, and a privately owned park. The two properties included in the request were a 19-acre vacant property, and the other was the 142-acre Pewaukee Golf Club property. Mr. Fuchs noted that both rezonings proposed to utilize the Conditional Use Planned Unit Development option. For the single-family and condominium portion of the development, it would allow for 9,000 square-foot lots and a 70-foot width. For the multi-family, the PUD option would allow for four 19-unit buildings and nine 23-unit buildings,

and would also include 12 detached garages, a clubhouse, and a swimming pool, for a total of 283 units.

Mr. Fuchs referred to the privately owned park area and noted that it was zoned floodplain, but according to the DNR it was not being mapped as such. The area will be open to the general public. Mr. Fuchs recommended making a connection to the Lake Country Trail and providing a small parking lot for visitors.

Regarding access, the development would be served by a public road extending from Golf Road to Fieldhack Drive, and the applicant is proposing a gate for emergency access only at Fieldhack Drive. Mr. Fuchs recommended eliminating the gate from the plan and would prefer to see through traffic. He felt it would be helpful for the existing apartments on Fieldhack Drive to utilize the new road so that they would not have to go to Milkweed Lane or Fieldhack Drive.

A traffic impact analysis was completed for the property. Mr. Fuchs summarized the findings and noted that the study recommended a right turn lane into the site on the east approach, and constructing an eastbound bypass lane along the south side of Golf Road.

Mr. Fuchs mentioned that the applicant was proposing to fill about 27 wetland areas of varying sizes, which totaled approximately 5.19 acres. An additional 3.94 acres of environmental corridor would be disturbed, which would require DNR approval.

It was noted that the Fire Department was requesting the attics in the buildings be sprinkled. Alternatively, the Fire Chief would want to work with the applicant to increase building separation or widen drives in order to accommodate Fire Department access.

For the condominium portion of the development, Mr. Fuchs pointed out that there were 27 dwelling units proposed amongst four different building types. The developer planned to retain ownership of the condos. For the single-family development, there would be up to 160 single-family lots.

Staff recommended approval of the development.

Chairman Bierce opened the public hearing at 6:40pm.

Walt Russell (N11 W26655 Milkweed Lane A) was opposed to any access onto Milkweed Lane and Fieldhack Drive, as there was already too much traffic. He felt sidewalks would have to be added if more traffic was added to the roads.

Patricia Gustafson (N16 W26561 Wild Oats Drive H) stated she wanted to put a petition on record for 190 Spice Creek residents that were opposed to a second exit onto Fieldhack Drive, and she requested a gated emergency-only access onto Fieldhack Drive. The petition noted that there was a safety concern for pedestrians on foot or riding a bike. Ms. Gustafson was also concerned about turning onto Meadowbrook Road, especially with the proposed bike trail. She also did not want any construction traffic on the roads she currently pays for.

Bob Lorier (W273 N875 Robby Lane) stated this land was once apart of his family's dairy farm and he cautioned that the land to the north being rezoned from P-1 to Rm-3 could never be farmed, as it was muck, peat, and unstable. The soil is formed from vegetation being under a lake bottom, and he questioned if it made sense to develop this land.

Christine Howard (N16 W26543 Meadowgrass Circle E) was scared to add any more traffic onto the roads with all of the kids, bikers, and walkers in their neighborhood. She felt only 120 units should be allowed to Fieldhack Drive, as that was what was planned for the remainder of Meadowbrook Farms. Ms. Howard also questioned the traffic study results. She requested a provision in the approvals that a traffic study continue after the development is built, and if it got beyond what the traffic study said, then an emergency exit would be put in. Overall, she felt it was a good development, but it would be tough for the people that live in the area.

Dan Cobus (N16 W26543 Meadowgrass Circle E) did not believe people would use Golf Road instead of driving through thru Meadowbrook Farms, and felt people in this new development would come through his subdivision.

Carol Sazama (N16 W26532 Meadowgrass Circle B) stated she typically has to drive in the middle of the road in Meadowbrook Farms because there are so many people on the streets. There are so many walkers, bikers, strollers and dogs out on the roads, and that is where they gather for a sense of community.

Christine Howard (N16 W26543 Meadowgrass Circle E) added that she had the same petitions as Spice Creek.

Arlene Iglar (N19 W26637 Honeysuckle Court A) stated Milkweed Lane was a very narrow road, and the residents have to back out onto the road. She was concerned about the traffic on the road and the high speeds.

Charlie Browning (N16 W26563 Tall Reeds Lane B) questioned why land was always being built up, and he did not understand the need to develop land.

John Zigler (N19 W26671 Goldenrod Court A) stated he was almost hit by a truck in his neighborhood while on a walk and he had to jump out of the way. He felt Fieldhack Drive was three times as wide as Milkweed Lane, and he suggested sidewalks along Fieldhack Drive.

John Ardis (N15 W26510 Golf View Lane A) questioned if other options had been explored other than this one road and he questioned the rationale against an emergency access only. Mr. Ardis felt the current roads were constructed to a planned capacity related to what the development was at the time the road was constructed, and he questioned how that would factor into the increased traffic. He questioned whether the greenspace would be maintained and if there were any assurances that it would remain greenspace to avoid further development.

Casper Balistreri (N19 W26720 Primrose Court) noted there was so much traffic on Milkweed Lane currently that he has to walk on people's property to avoid the cars. He questioned what would happen when it snows and they are not able to walk on the grass.

Bill Hinze (N16 W26521 Meadowgrass Circle) questioned if the 300 apartments would cause the development to go over the 40 percent greenspace requirement. He felt the apartments would lower the value of the single-family residences and condos and he felt the density was too high. Mr. Hinze questioned what the development would look like 20 years from now and what the effect would be on the City.

Chairman Bierce closed the public hearing after hearing no other requests to speak.

Chairman Bierce stated he was opposed to the apartments. He did not believe this was the right spot for them and he felt they would bring down home values. He felt the apartments would eventually get sold and the quality would go down. Chairman Bierce noted he was not opposed to the single-family portion of the development, but traffic was a big issue.

Emily Cialdini with Land by Label confirmed that she spoke with GE regarding the possibility of using the road on their property. The response from GE was that they did not want to encumber the property with public access, as they did not know what their future plans were for the land. The answer was unequivocally no, any which way they tried to acquire it.

Ms. Cialdini referred to the greenspace and mentioned that they agreed to a restricted covenant that would preclude development of the area. They are also planning on rezoning it to P-1 Park and Open Space, and the existing wetlands will remain and will not be impacted.

Chairman Bierce questioned sprinkling the apartments. Ms. Cialdini felt ongoing conversations would have to take place, as she did not believe the code required the attics to be sprinkled if they were to draft-stop them.

Further discussion took place regarding filling of the wetlands according to the Army Corps of Engineers. Ms. Cialdini stated they were only partly through the process at this time, but they would have to go through the approval process.

Commissioner Schoenemann stated she was in favor of the development because she liked the mix that was being offered. She felt they would be missing a huge opportunity to offer choices to younger members of the community. Commissioner Schoenemann felt it was extremely discriminatory to say the City should not allow some very well-done multi-family on the site.

Commissioner Brown felt the only way she would vote for this would be with the emergency access, and she felt the development would look very nice if it went through. The developers are willing to put in the emergency access in order to balance the capacity that they want and the capacity that is already next to them.

Commissioner Kiser stated he was in favor of concurring with staff and connecting the road. He felt the rest of the traffic in the development would head south. Commissioner Kiser felt from an overall development perspective, this would go over extremely well because we have a lot of early-career professionals in the City that want this product.

Discussion took place regarding the amount of parking. Ms. Cialdini pointed out that the code requirement was 450 stalls, but they were providing 540 because they accounted for driveway stalls of the attached parking. She stated they would agree to a lower parking count that more closely aligns with the code.

Commissioner Kiser referred to the stormwater ponds and questioned why they were all wet. It was noted that a wet pond was the most cost-effective way to remove the sediment. Ms. Cialdini mentioned that the ground water in this area was very high, so it would be tough to keep a stormwater management pond dry in that situation.

Buck Knitt with Rinka Architects spoke about the landscaping. He felt there was opportunity between the buildings to find room for more hardwood or spruce trees. Ms. Cialdini added that there were streets trees all along the public road in the single-family for rent development.

Commissioner Schoenemann mentioned the garages that would face mostly residential, and she suggested some lighter colors other than the charcoal. She felt it looked like a black hole, and Ms. Cialdini confirmed that they could look at different colors. Commissioner Schoenemann felt the building materials were all very nice quality.

A motion was made and seconded (C. Brown, A. Schoenemann) to recommend approval of the Comprehensive Master Plan Amendments, Rezoning from Rm-3 to Rm-6, Rezoning from P-1, F-1, and LC to Rm-3, P-1, and LC, the Conditional Use Permits, and the Certified Survey Maps as proposed, including staff recommendations, but including an emergency gate at Fieldhack Drive for emergency use only. Motion passed: 3-For, 1-Against (Bierce).

5.0 Adjournment

A motion was made and seconded (C. Brown, D. Kiser) to adjourn the meeting at 8:22pm.
Motion Passed: 4-For, 0-Against.

Respectfully Submitted

Ami Hurd
Deputy Clerk/
Community Development Coordinator

In attendance:

Mayor S. Bierce, Alderwoman C. Brown, D. Kiser, D. Linsmeier, and A. Schoenemann.

Also in attendance:

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, and Department of Public Works Director M. Wagner.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 6:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Possible Action Regarding Approval of Plan Commission Meeting Minutes

2.1 September 19, 2024

Commissioner Schoenemann stated she was at the meeting, but her name was not listed on the first page as being in attendance. She requested changing the minutes to reflect her attendance.

A motion was made and seconded (D. Kiser, A. Schoenemann) to approve the September 19th, 2024 Plan Commission minutes with the change discussed. Motion Passed: 5-For, 0-Against.

3. The Courtyard at Pewaukee as Requested by Andev Group (0940999001)

3.1 Discussion and Action Regarding a Time Extension Request for the Courtyard at Pewaukee Senior Living Facility Development Located on the Northwest Corner of Meadowbrook Road and Golf Road

Mr. Fuchs stated the applicant was continuing to work on financing and they are going through with the project but are coming up on some expiration dates. They have requested extending the approvals until September 19th, 2026. If building permits are not applied for by that date, staff would bring it back to the Plan Commission to revert the zoning.

A motion was made and seconded (C. Brown, D. Linsmeier) to approve the time extension request for Courtyard at Pewaukee. Motion Passed: 5-For, 0-Against.

4. Winkleman Farm Certified Survey Map, N47 W26699 Lynndale Road as Requested by Brian & Kevin Kazmierczak (PWC 0882999)

4.1 Discussion and Action Regarding a Certified Survey Map to Create a 5-Acre Parcel Containing the Existing Farmhouse, Barns and Outbuildings

Mr. Fuchs stated the property owner was looking to create a 35-acre parcel that would include the existing single-family home and farm buildings on the property. The remaining portion of the land would continue to be farmed and used for agricultural purposes. Mr. Fuchs noted that the applicant did go before the Plan Commission for a concept review to consider an industrial development. This portion was shown as single-family residential, so the CSM is changing it to this proposal. The layout would not impact the potential future development of the rest of the property.

Ms. Wagner noted that they would like to see a 40-foot utility easement that would allow future sewer and water for the development of the remaining parcel to extend to Greenhill Subdivision. The easement would need to be outside of the floodplain on the property, on Lot 1. Ms. Wagner clarified that the easement could not be in the public right-of-way because with the grade of the land, it would not be able to serve Greenhill. It would have to come from the south.

Discussion took place with Briohn Building regarding the location of the easement. Ms. Wagner stated the topography in the area was much higher than the Greenhill Subdivision, so they would not be able to serve any of the homes if the sewer and water was in Lynndale Road.

A motion was made and seconded (C. Brown, D. Kiser) to approve the Certified Survey Map for the Winkleman Farm with the addition of a 40-foot utility easement. Motion Passed: 5-For, 0-Against.

5. Smokexpress LLC/Cloud 9 Conditional Use Permit, N20 W22951 Watertown Road, Suite 105 (PWC 0958982004)

5.1 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit for the Purpose of Operating a Retail Tobacco and Vape Shop

Mr. Fuchs stated this was a request for a smoke and vape retail store within the Crossings development on Watertown Road. The tenant space was 2,113 square feet and the proposed hours would be Monday through Sunday from 9am to 10pm. They are not proposing any building or site changes but do plan to have signage. Mr. Fuchs recommended approval with the conditions that all other government approvals be obtained, the hours of operation would not extend past 10pm, the Conditional Use Permit would be subject to periodic review, signage must meet the sign standards, and any interior promotional displays or advertisements would not be done in a manner that would intend to be visible from the exterior.

Commissioner Brown referred to the business plan and stated the applicant noted they could do hours of 9am to 9pm. She was concerned about the signage and what she felt were typical smoke shop electric signs, and she noted that type of signage was not allowed in the City of Pewaukee. Commissioner Brown stated she would be comfortable pulling the Conditional Use Permit if blinking lights or that type of signage was added to the outside or inside.

Chairman Bierce saw no value for the community in this request. He stated he would never vote for bringing CBD into the community and would vote in favor of it only if the CBD was removed.

The applicant stated if people want to buy CBD, they can do so knowing the product is safe at this location and not laced with Fentanyl. He noted people use CBD for reasons other than recreational, such as cancer, pain, or Multiple Sclerosis, and he felt it was unfair for his patients to have to travel to other cities or states to get the product.

Commissioner Schoenemann questioned if there would be employee training and the applicant confirmed there would be. He noted that no one under the age of 21 would be allowed to buy anything.

A motion was made and seconded (C. Brown, D. Kiser) to recommend approval of the Conditional Use Permit for Smokexpress LLC/Cloud 9 with the conditions set by staff.
Motion Passed: 4-For, 1-Against (Bierce).

6. Adjournment

A motion was made and seconded (D. Linsmeier, C. Brown) to adjourn the meeting at 6:26pm. Motion Passed: 5-For, 0-Against.

Respectfully Submitted

Ami Hurd
Deputy Clerk
Community Development Coordinator

In attendance:

Mayor S. Bierce, Alderwoman C. Brown, J. Endl, D. Kiser, D. Linsmeier, A. Schoenemann, and S. Sullivan.

Also in attendance:

City Planner & Community Development Director N. Fuchs, Administrator S. Klein, Chief Engineer of Streets & Development M. Gabbey, and Deputy Clerk/Community Development Coordinator A. Hurd.

1. Call to Order and Pledge of Allegiance

Chairman Bierce called the meeting to order at 6:00pm and requested everyone stand for the Pledge of Allegiance.

2. Discussion and Action Regarding Approval of Plan Commission Meeting Minutes

2.1 October 17, 2024

A motion was made and seconded (C. Brown, D. Kiser) to approve the October 17th, 2024 Plan Commission meeting minutes. Motion Passed: 7-For, 0-Against.

3. T-Mobile Property Located at N19 W24075 Riverwood Drive as Requested by XEC, Inc. (PWC 0949998010)

3.1 Discussion and Action Regarding Site and Building Plan Review and Approval of the Installation of a Ten-Foot-Tall Security Fence

Mr. Fuchs stated the security fence would be installed on the south side of the building around some mechanical equipment. He noted that staff had no objections.

A motion was made and seconded (D. Linsmeier, S. Sullivan) to approve the Site and Building Plans for T-Mobile. Motion Passed: 7-For, 0-Against.

4. Ronnie and Karen Strand Property Located on Lot 1 of Edgewood Avenue (PWC 0935029)

4.1 Discussion and Action and Public Hearing to Rezone the Subject Property from B-3 General Business to Rs-7 Single-Family Residential

Mr. Fuchs stated the rezoning request was being made for potential future development of the lot for a single-family home. The Rs-7 district allows existing parcels to be placed within it when no other residential districts are appropriate, so due to this lot size, this would be the only rezoning option for this property to be single family. The zoning would be consistent with the Comprehensive Master Plan of medium density residential. Mr. Fuchs recommended approval.

Chairman Bierce opened the public hearing at 6:03pm.

Ronnie Strand, the applicant, stated he and his wife were looking to build a 1,000 square foot vacation home. He questioned if he would need a variance, and Mr. Fuchs suggested submitting building plans and the City would review them and make that determination.

Chairman Bierce closed the public hearing at 6:05pm.

Commissioner Brown felt this property made more sense as residential.

Mr. Gabbey noted that the City does not have water in this location, and the sewer would belong to Lake Pewaukee Sanitary District.

A motion was made and seconded (A. Schoenemann, D. Kiser) to recommend approval of the Rezoning with the condition of adding a well and speaking to Lake Pewaukee Sanitary District. Motion Passed: 7-For, 0-Against.

5. Pewaukee Retail Partners, LLC Property Located at N20 W22951 Watertown Road Suites 107 and 111 as Requested by Hatch Fitness LLC (PWC 0958982004)

- 5.1 Discussion and Action Regarding a Recommendation to the Common Council for a Conditional Use Permit to Allow a Physical Fitness Facility Within an Existing Tenant Space

Mr. Fuchs stated the request was for a physical fitness facility looking to occupy two tenant spaces within approximately 4,783 square feet. Proposed hours of operation would be from 8am to 7:30pm Monday through Friday and 8am to 1pm on Saturdays. Mr. Fuchs recommended approval.

The applicant, Amy Strong, noted that the facility was for older adults, and they typically do not wake up as early, hence why they were not planning to open until 7:30am.

Commissioner Endl questioned if there were any parking concerns. The applicant stated they could only have two classes going on at a time, and the capacity would be 14 people for each. There would be some overlapping of classes, but they were typically staggered. Mr. Fuchs pointed out that there were no issues with parking, but the building was also not fully occupied yet. With the mix of uses, Mr. Fuchs was not anticipating an issue. It was noted that there were also a small number of parking spots behind the building.

A motion was made and seconded (S. Sullivan, D. Kiser) to recommend approval of the Conditional Use Permit for Hatch Fitness, LLC. Motion Passed: 7-For, 0-Against.

6. Waukesha County Parks and Land Use Property Located at W262 N4656 Ryan Road (PWC 0881999001 & PWC 0878998)

- 6.1 Discussion and Action and Public Hearing to Rezone the Subject Property from Rs-3 Single-Family Residential and A-1 Agricultural to P-1 Park and Open Space

Mr. Fuchs stated the properties were owned by Waukesha County and were planned to be used for park purposes. He noted that the use was consistent with the future land use plan. There would be some signage installed off of Ryan Road, so the County would come forward

with that request at some point. Mr. Fuchs stated staff had no objections to the rezoning.

Chairman Bierce opened the public hearing at 6:18pm. After hearing no requests to speak, the public hearing was closed at 6:18pm.

A motion was made and seconded (D. Kiser, S. Sullivan) to approve the Rezoning for Waukesha County Parks and Land Use. Motion Passed: 7-For, 0-Against.

7. Pewaukee Golf Club Multi-Family Development Located at N12 W26506 Golf Road as Requested by Land by Label (PWC 0941988104 & PWC 0944994)
 - 7.1 Discussion and Action Regarding Site and Building Plans for Approval of Improvements for a Multi-Family Residential Development (PWC 0944994)

Mr. Fuchs stated this request was previously tabled following Plan Commission approval of the Comp Plan Amendments, Rezonings, Conditional Use Permits, and Certified Survey Maps. Some changes have been made since those approvals, but there was nothing included that would not conform to code and everything still met the zoning requirements. Mr. Fuchs mentioned that the applicant had decided to sprinkle the attics, which was preferred by the Fire Chief.

Emily Cialdini with Land by Label stated they were planning on doing a subdivision plat process for the single-family and condominiums instead of doing a Site and Building Plan Review. She highlighted the changes that were made since the previous meeting and noted that they connected to the Lake Country Trail, added 15 parking stalls along the north/south road for park visitors, increased the building separation between buildings to 53 feet, revised the plans to sprinkle the attics in the buildings, added landscaping with street trees, converted the green space in the courtyard to mowed lawn space with landscaping, and some of the garage doors are now a lighter beige color.

Commissioner Sullivan did not believe it was a good idea for 280 apartments to all discharge on the road to the south, and he preferred the cars to discharge to the east onto the WE Energies property. Commissioner Sullivan stated he loved everything about the development, except that there was only one access.

Chairman Bierce stated he preferred the road be a boulevard the entire length of the road. He questioned what would happen if tree fell and blocked the road. Chairman Bierce felt the Plan Commission was at a point where they could force the developer to make the entire road a boulevard in order to give extra space in case something happened.

Discussion took place regarding the emergency gate related to paying for the opening and closing. The Commissioners discussed what would constitute an emergency to open the gate.

Commission Schoenemann referred to the boulevard and felt there would be risks involved. The applicant noted that there would be single-family homes with access directly off of it, so a boulevard would obstruct anyone from exiting. Residents would have to make a U-turn to go the other way.

Chairman Bierce requested clarification on exactly how the gate would work. He wanted to know who would be responsible and who would have the authority to use it. Commissioner Sullivan suggested providing the turning radius for a fire truck in the area.

Chairman Bierce felt the garages needed more, and he suggested adding a window or some sort of architectural detail on the side elevations. He stated he loved the look of the apartments, but he pointed out that there were giant, open spaces in the middle of the side elevation. Ms. Cialdini noted that it was mainly circulation space within the building and would most likely end up being a room for the water and fire suppression system.

Commissioner Schoenemann felt there were not a lot of color tones represented on the front of the building and she suggested adding some taupe onto the ends of the building. Discussion then took place regarding the siding materials.

Commissioner Brown referred to the southeast corner and questioned what was envisioned for the area. Ms. Cialdini stated they would convert a few garage stalls to a maintenance office to keep equipment, and the other side would be a pet spa, which they wanted to keep away from the club house. The car wash was for people to be able to spray down their cars. All of the uses were clustered together and there would be a drain that would go into an on-site stormwater system.

Commissioner Brown agreed that there needed to be some small windows on the garage doors or some sort of architecture. Ms. Cialdini noted that they tried to avoid windows on garages because of the visibility inside them. She suggested they could look at adding something at the end of the garages.

A motion was made and seconded (C. Brown, D. Kiser) to approve the Site and Building Plans for Land by Label including the comments made for staff to review with the applicant. Motion Passed: 7-For, 0-Against.

8. Ken Weber Towing Service Property Located at N27 W26560 Prospect Avenue (PWC 0930984001)

8.1 Discussion and Action Regarding Site and Building Plans for Approval of Landscaping and Fencing on the Property

Mr. Fuchs noted that Ken Weber Towing Service received approval to acquire a portion of the adjacent church property and combined it with their property. They are now looking to clear the area that was purchased and add fencing and landscaping around the perimeter of that area. The site plan also shows construction of a drive that would connect to the existing storage area. Mr. Fuchs recommended paving more of the area than was proposed with staff review of a minor site plan amendment to make sure they maintain 40 percent green space and were complying with the setbacks. Engineering review would also be required. Mr. Fuchs also recommended that the setback for the fence be at least 20 feet from the side and rear property lines and 30 feet from the street property line. Mr. Fuchs recommended approval.

Commissioner Schoenemann felt the property looked nice with how it had been cleared out and healthy trees were left. She questioned why the fence would go to 17 feet right up to the

residential homes. She felt it could be pushed back to allow for the natural trees to remain as a buffer to the homes.

Ken Weber stated he spoke with the neighbors and noted that the bushes would go along the fence. The grass will be put in on their side of the fence. Mr. Weber mentioned that they wanted to drive in one way and exit the other way so that they never had to back into the lot off the road again.

Commissioner Brown was concerned about the arborvitaes and was worried about having just one species of trees around the fence. She did not want them to die because of the deer.

Dorie Loescher (N27 W26676 Prospect Avenue) stated she owned the home on the other side of this property and she was fine with it.

Jeff Jira (N27 W26673 Lauderdale Drive) agreed and stated he was on the other side of the property.

Pastor Brinkman with Crossroads Church (N27 W26541 Prospect Avenue) felt he could not have a better neighbor, and he felt the arborvitaes were perfect for the separation.

Commissioner Kiser referred to the second driveway access and mentioned that since it was a County road, it would need County approval.

Commissioner Linsmeier stated he liked the look of the fence.

A motion was made and seconded (D. Kiser, S. Sullivan) to approve the Site and Building Plans for Ken Weber Towing Service including staff recommendations and working with the applicant to revise the site plan to show a 20-foot setback. Motion

Passed: 7-For, 0-Against.

9. Discussion and Action and Public Hearing for Bielinski Homes to Rezone Property Located at W240 N2687 Pewaukee Road from B-6 Mixed Use Business to Rm-3 Multi-Family Residential (PWC 0924995) - PETITION WITHDRAWN

No action taken.

10. Adjournment

A motion was made and seconded (D. Kiser, D. Linsmeier) to adjourn the meeting at 7:33pm.

Motion Passed: 7-For, 0-Against.

Respectfully Submitted

Ami Hurd
Deputy Clerk/
Community Development Coordinator

















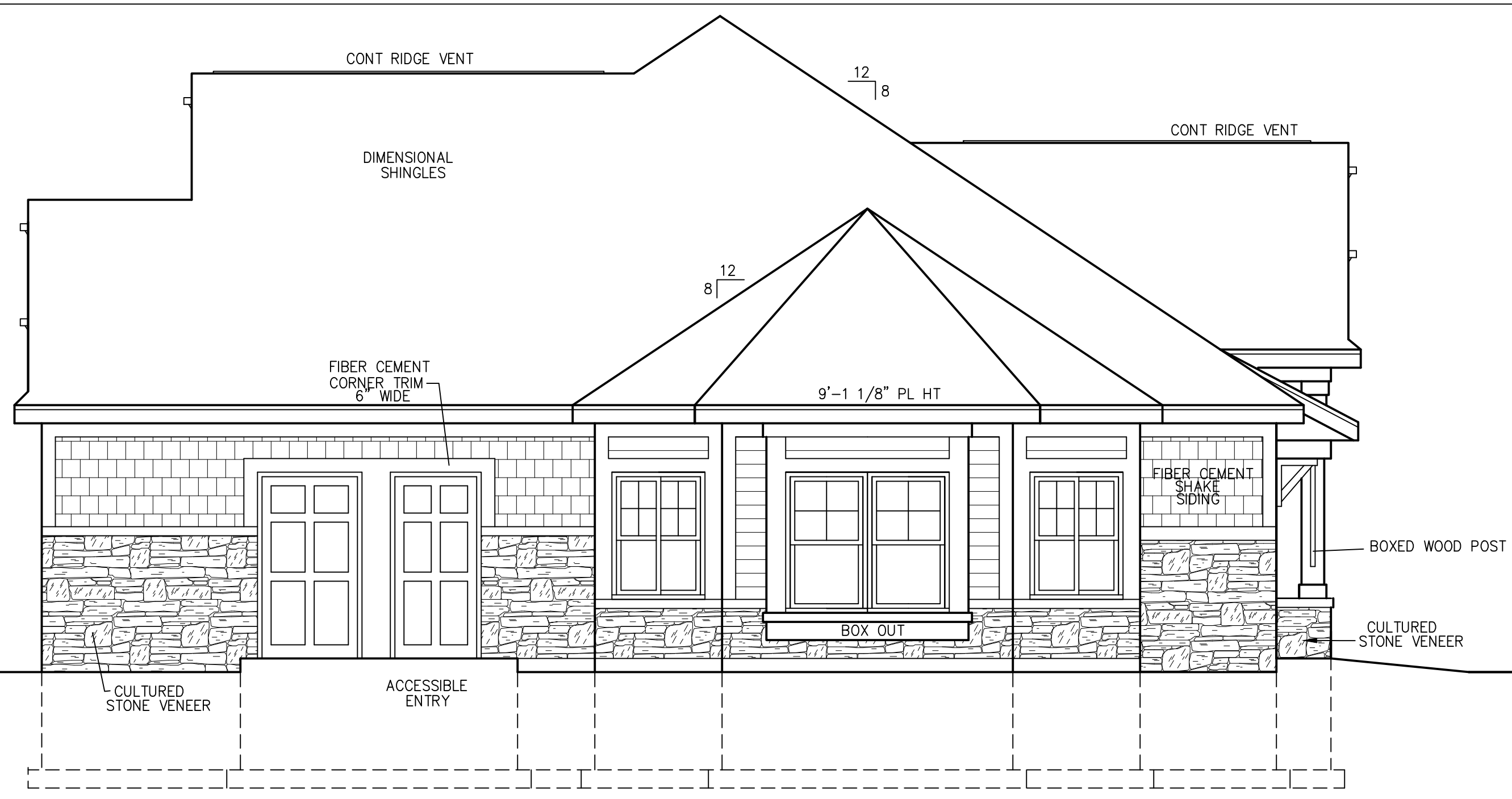
Presented by Cornerstone Development



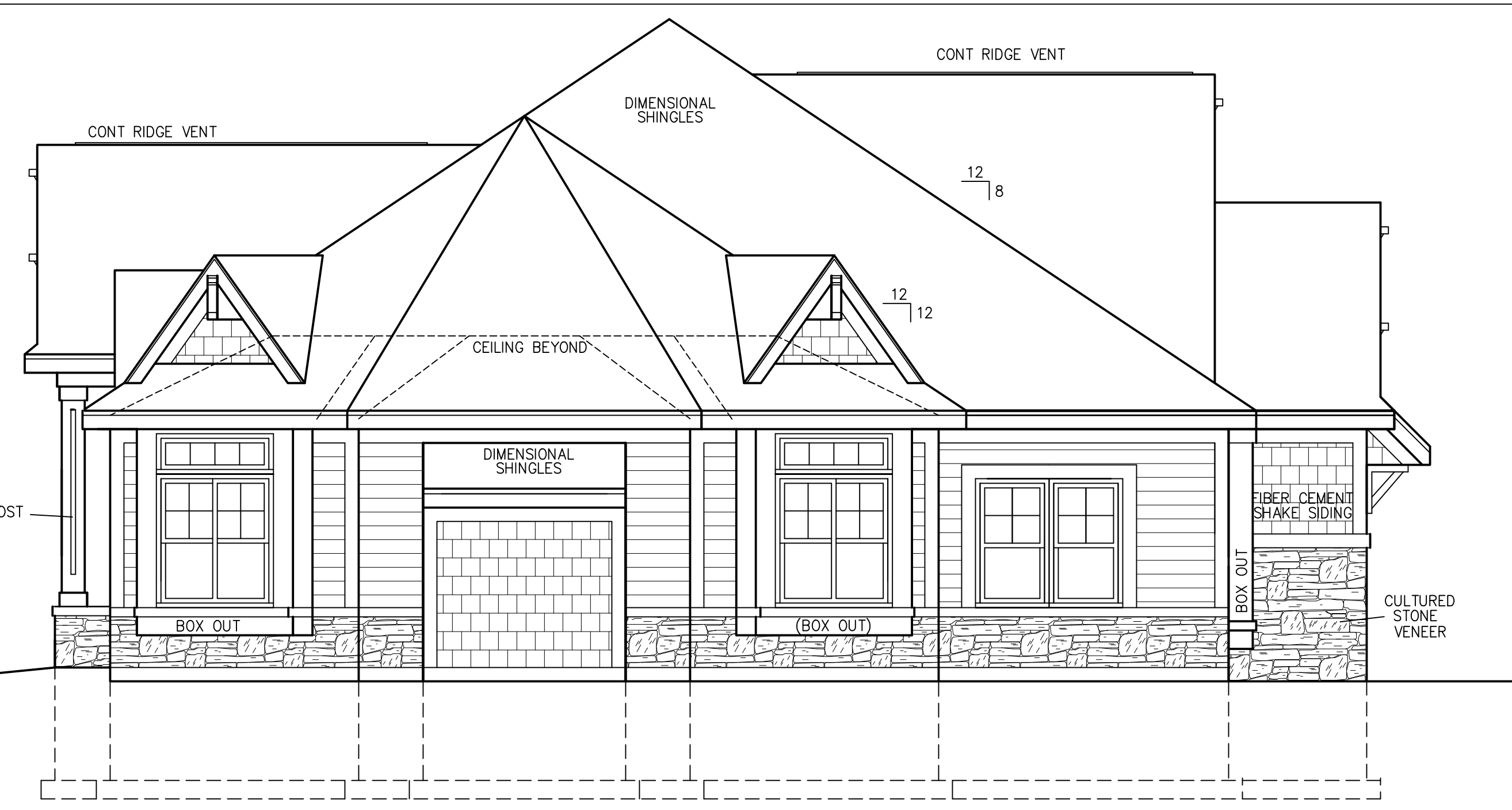
343



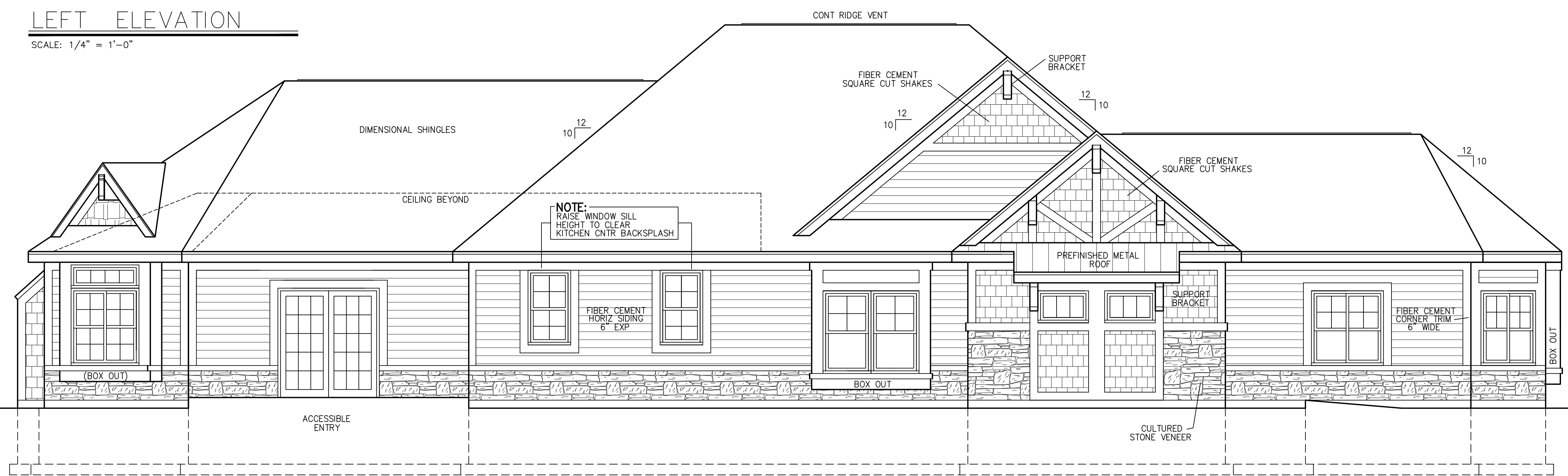
Presented by Cornerstone Development



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

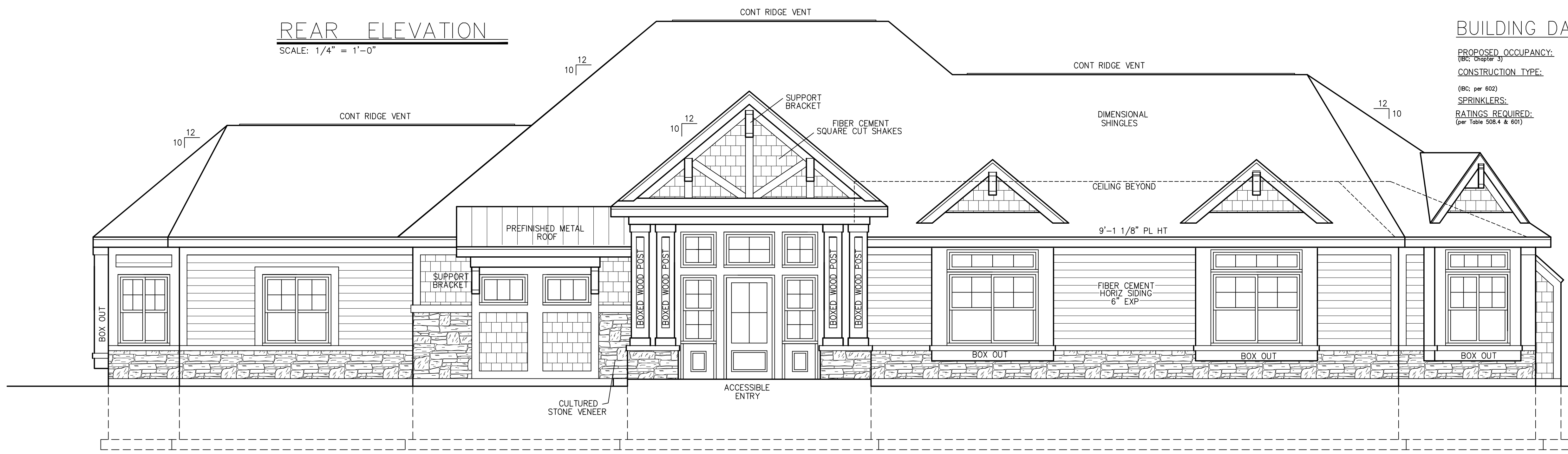
BUILDING DATA :

PROPOSED OCCUPANCY: <small>(IBC Chapter 3)</small>	GROUP A2 - ASSEMBLY
CONSTRUCTION TYPE: <small>(IBC per 602)</small>	TYPE VB ONE STORY
SPRINKLERS: <small>RATINGS REQUIRED: (per Table 505.4 & 601)</small>	NON-SPRINKLERED
	OCCUPANCY SEPARATION _____ none per IBC 508.3
	STRUCTURAL FRAMING _____ 0 HOUR RATING
	BEARING WALL EXTERIOR _____ 0 HOUR RATING
	BEARING WALL INTERIOR _____ 0 HOUR RATING
	NON BEARING EXTERIOR (≥30') _____ 0 HOUR RATING
	NON BEARING INTERIOR _____ 0 HOUR RATING
	FLOOR CONSTRUCTION _____ 0 HOUR RATING
	ROOF CONSTRUCTION _____ 0 HOUR RATING

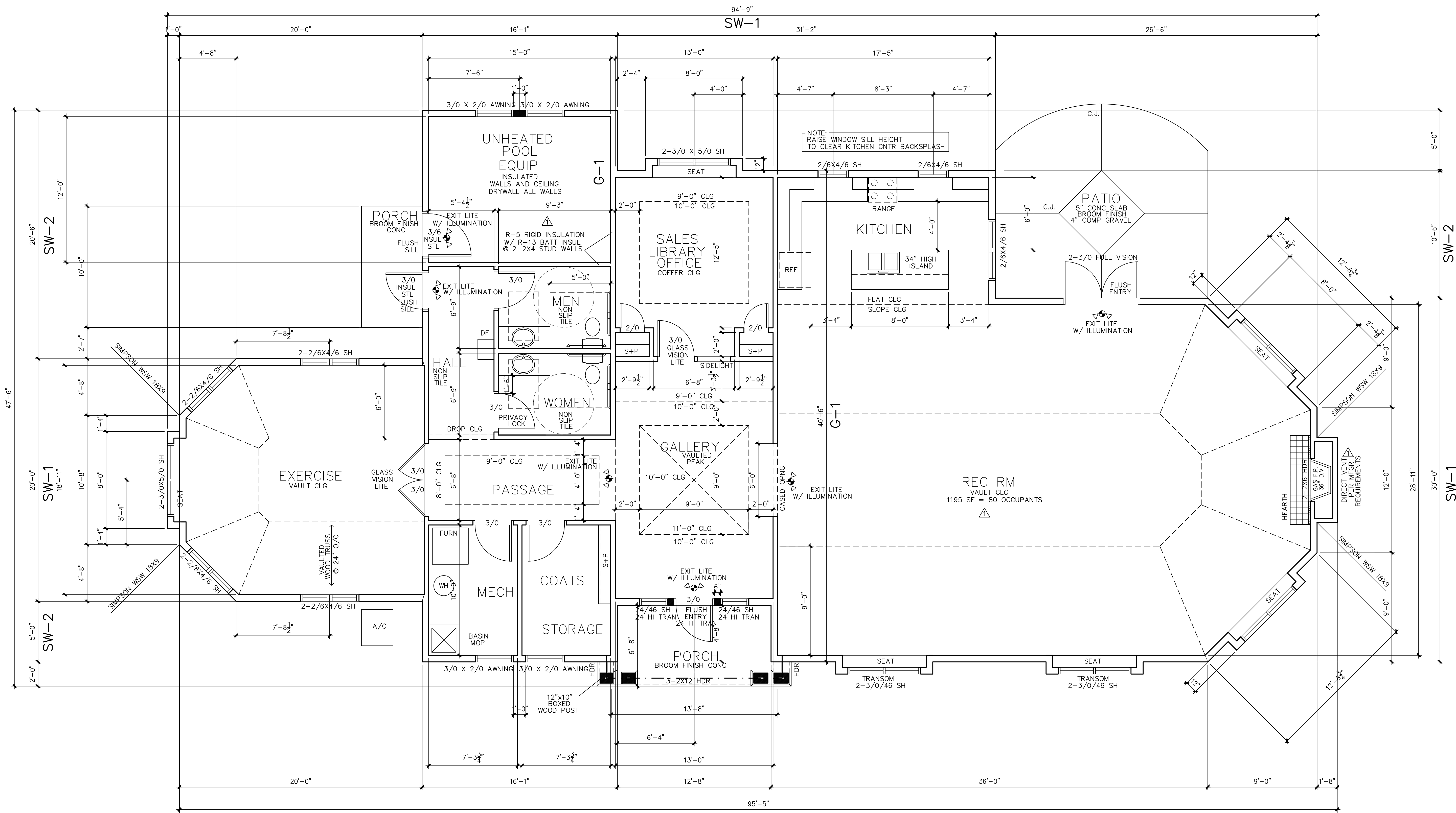
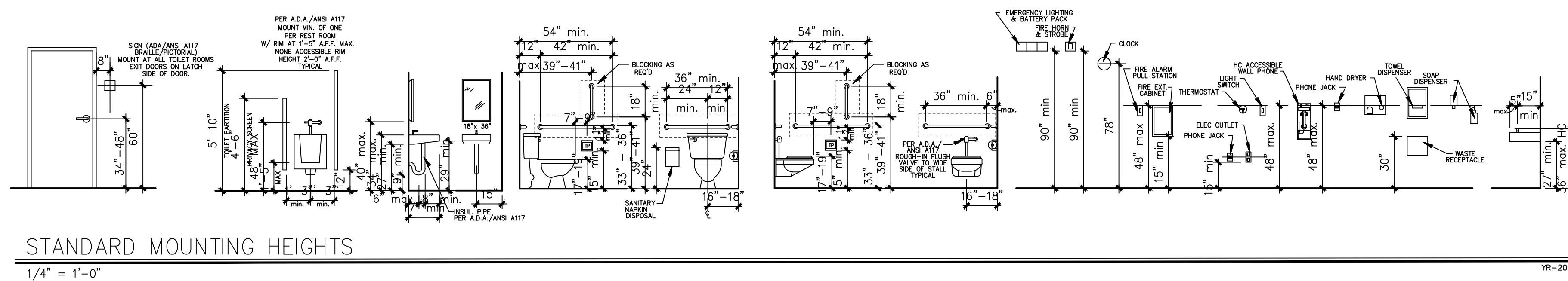
BUILDING VOLUME
48,538 CUBIC FEET

SHEET INDEX

A1 - EXTERIOR ELEVATIONS
A2 - FOUNDATION PLAN
A3 - FLOOR PLAN
A4 - SECTION - ROOF PLAN
E1 - ELECTRICAL PLAN



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



HEADER SCHEDULE
SPANS LESS THAN - 3'-6" = 2-2XB
4'-0" MAX SPAN = 2-2X10
6'-6" MAX SPAN = 3-2X12

TOILET RM FINISHES
CEILING : 5/8" MR DRYWALL
WALLS : 1/2" MR DRYWALL
BASE : 4" TILE BASE
FLOOR : NON SLIP HARD TILE

FLOOR PLAN
SCALE: 1/4" = 1'-0" 3028 SF

DOOR NOTES:
EXTERIOR DOORS: INSULATED SWEEPSTRIP WEATHERSTRIP LOCK CLOSERS SAFETY GLAZING - DOORS AND SIDELITES
ALL DOORS : LEVER HARDWARE - TYPICAL

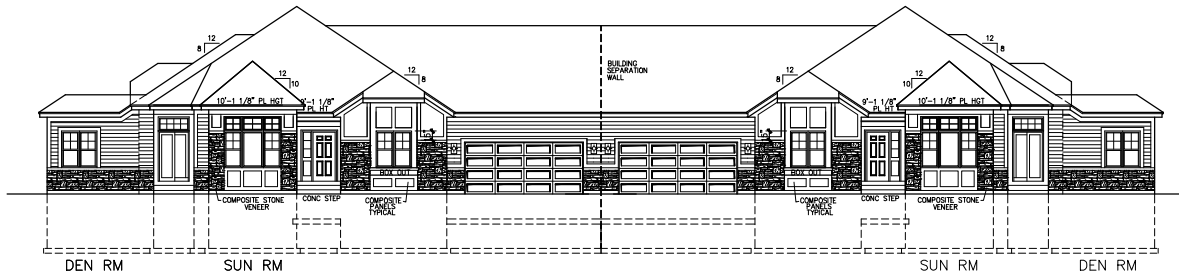
OCCUPANT LOAD
ASSEMBLY = 1195 SF / 15 SF = 80
BUSINESS = 1452 SF / 100 SF = 15
STORAGE = 381 SF / 300 SF = 2
TOTAL 3028 SF 97 OCCUPANTS





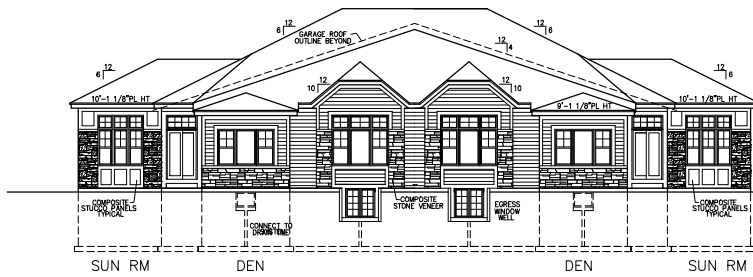
TDI ASSOCIATES, INC.
ARCHITECTS, PLANNERS

1500 S. VILLA TERRACE
NEW BERLIN, WISCONSIN 53146
PHONE 262-437-0400 FAX 262-437-0401



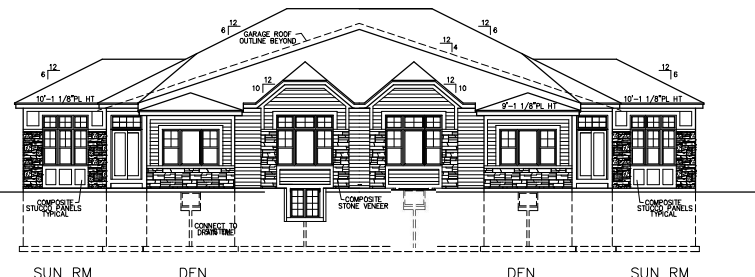
THE TARTAN UNIT #64 THE TARTAN UNIT #63

SIDE ELEVATION
1/8" = 1'-0" 1/8" = 1'-0"



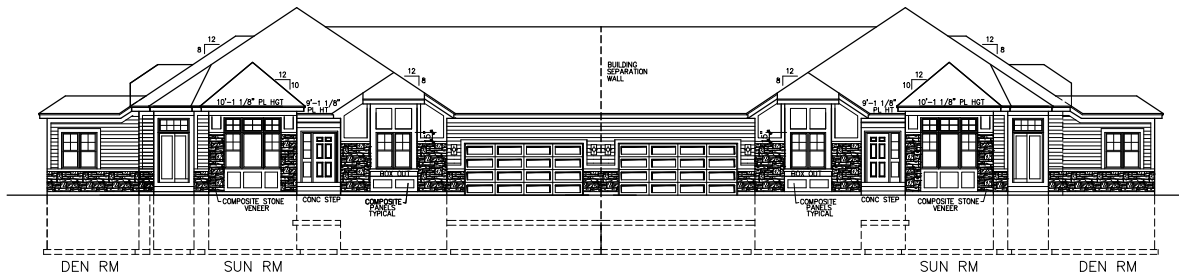
THE TARTAN UNIT #61 THE TARTAN UNIT #64

END ELEVATION
1/8" = 1'-0"



THE TARTAN UNIT #63 THE TARTAN UNIT #62

END ELEVATION
1/8" = 1'-0"



THE TARTAN UNIT #62 THE TARTAN UNIT #61

SIDE ELEVATION
1/8" = 1'-0"

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Sheet Title
EXTERIOR ELEVATIONS

Issued For: Date:
REVISION 15 MAY 2024

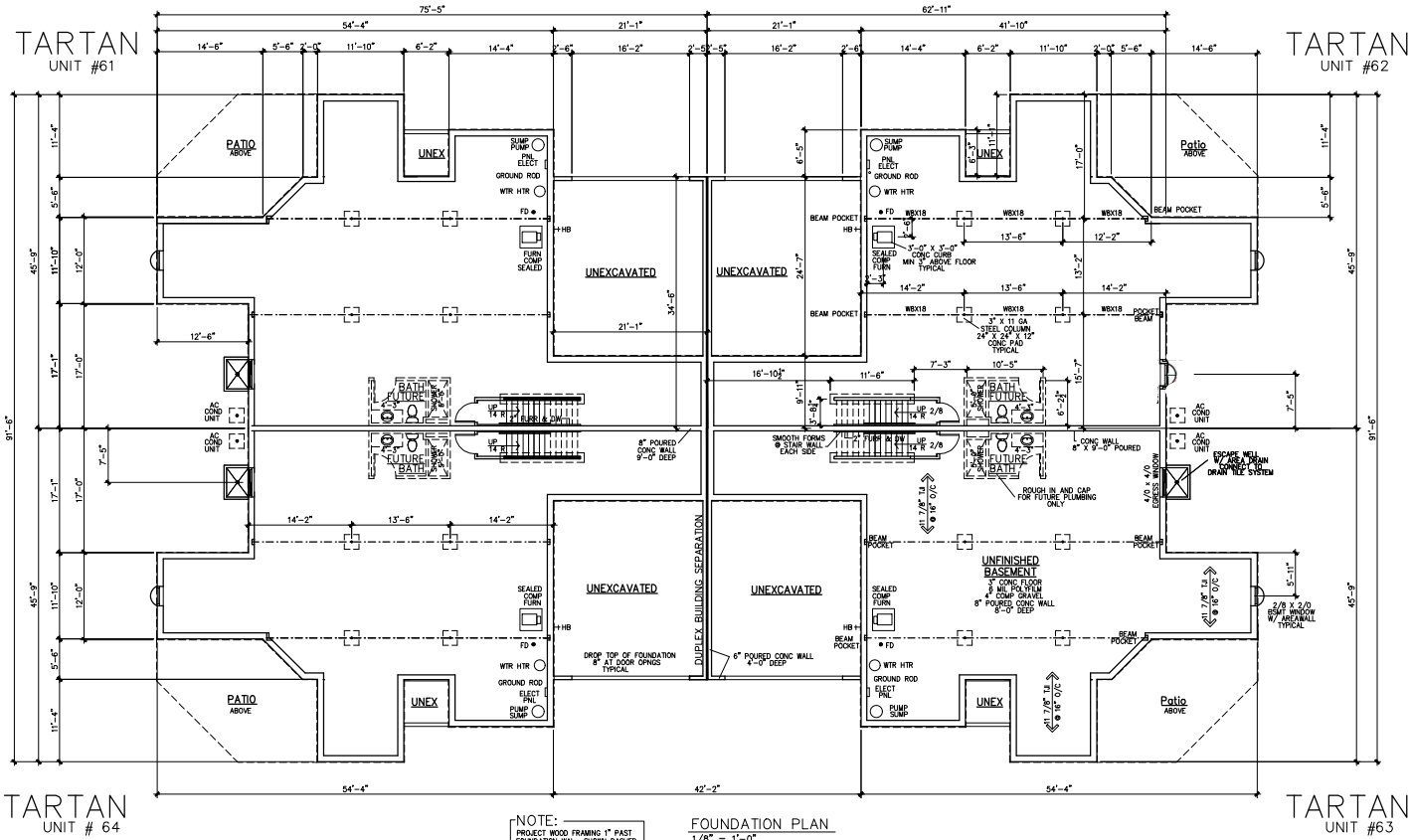
Date: 23 MAY 2024
Job NO.: 19-209-23
Drawn By: LS
Sheet No.

A2.1



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ARCHITECTS, PLANNERS

1500 S. VILLA TERRACE
NEW BERLIN, WISCONSIN 53146
PHONE 262-437-0400 FAX 262-437-0401



NOTE:
PROJECT WOOD FRAMING 1"
FOUNDATION WALL - SHOWN DASHED

FOUNDATION PLAN
1/8" = 1'-0"

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Sheet Title
BASEMENT /
FOUNDATION PLAN

Issued For: Date:
REVISION 23 MAY, 2024

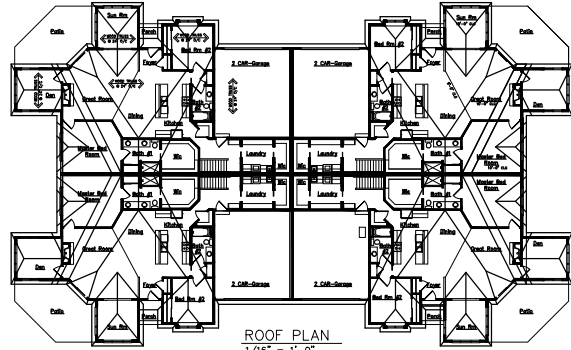
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Job NO.: 19-209-23
Drawn By: LS
Sheet No.

A1.0

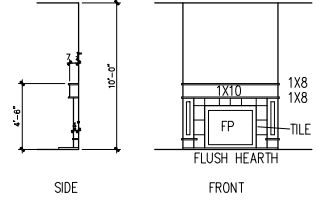


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ARCHITECTS, PLANNERS

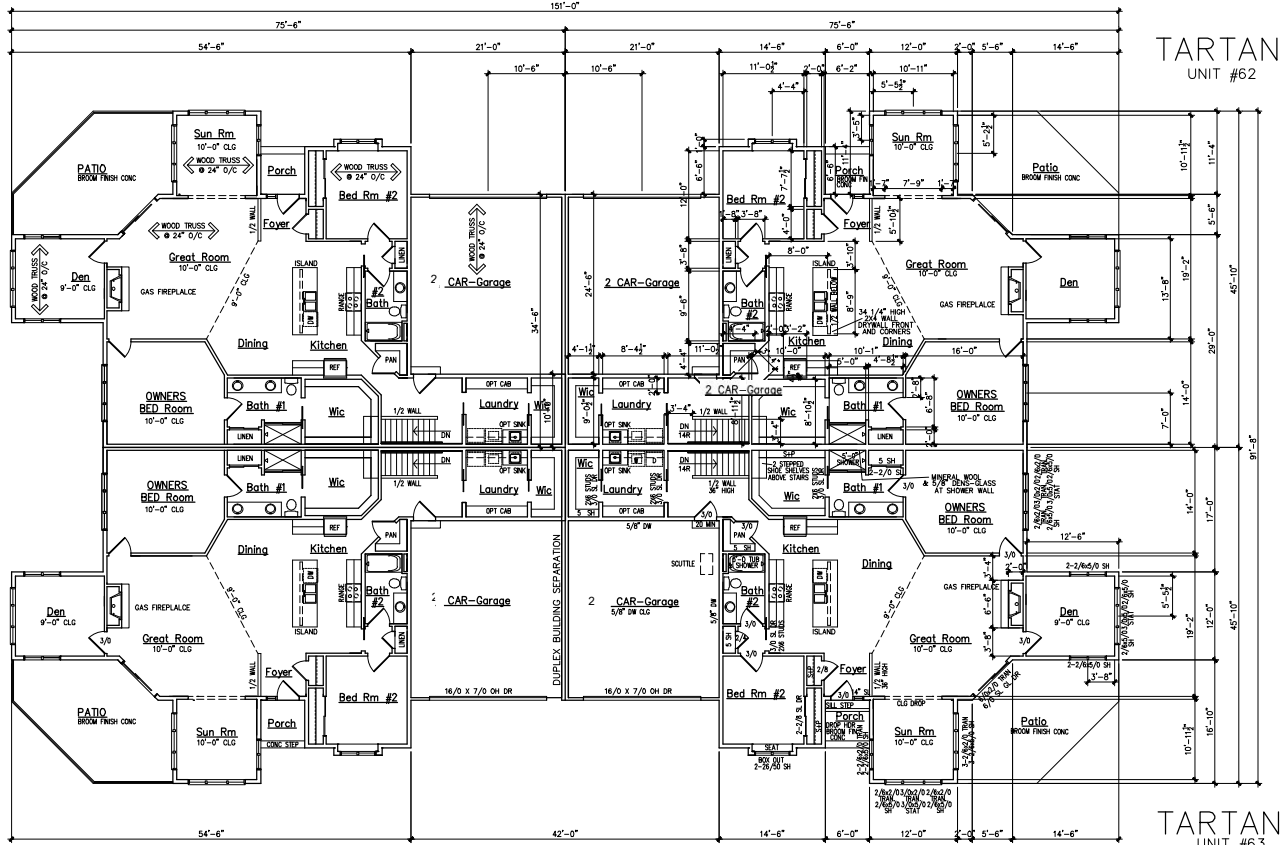
1500 S. VILLA TERRACE
NEW BERLIN, WISCONSIN 53146
PHONE 262-437-6400 FAX 262-437-6401



ROOF PLAN
1/16" = 1'-0"



FIREPLACE DETAIL
1/4" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

NOTE: TYPICAL
9'-0" CLG - SUN RM
10'-0" CLG - GREAT RM
OWNERS BEDRM

TARTAN UNIT #61

TARTAN UNIT #62

TARTAN UNIT #64

TARTAN UNIT #63

TARTAN UNIT #61

TARTAN UNIT #62

TARTAN UNIT #64

TARTAN UNIT #63

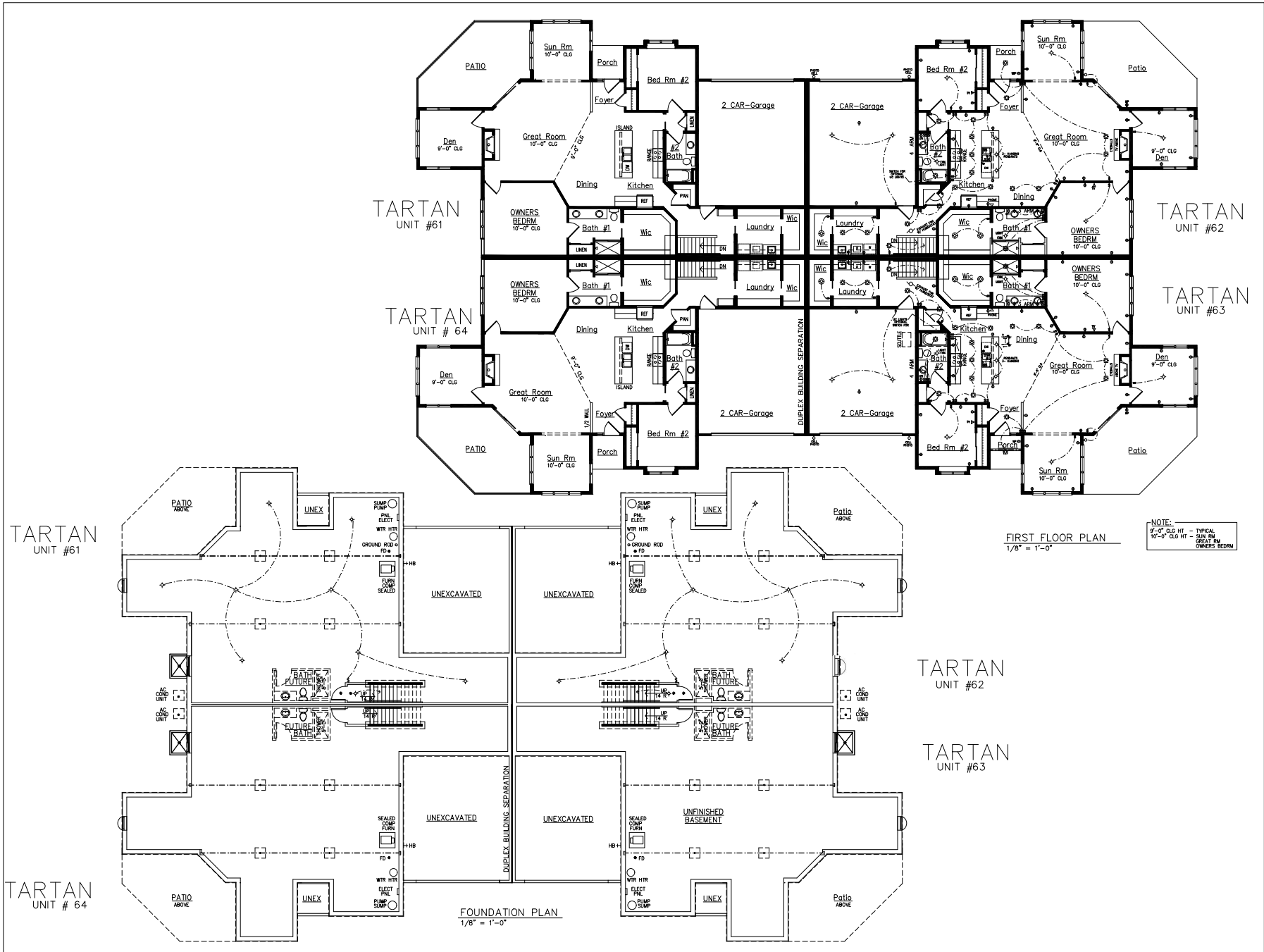
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Sheet Title
FLOOR PLAN

Issued For: Date:
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Date: 23 MAY, 2024
Job NO.: 19-209-23
Drawn By: LS
Sheet No.

A1.1



FIRST FLOOR PLAN
1/8" = 1'-0"

FOUNDATION PLAN
1/8" = 1'-0"

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Sheet Title
**ELECTRICAL
BASEMENT
FIRST FLOOR
PLANS**

Issued For: Date:
REVISION 23 MAY, 2024

Date: 23 MAY, 2024
Job NO.: 19-209-23
Drawn By: LS

Sheet No.
E1.1



TDI ASSOCIATES, INC.
ARCHITECTS, ENGINEERS, PLANNERS

18 W2250 JOHNSON DRIVE, SUITE B4
WAUKESHA, WISCONSIN 53186
PHONE 262-437-0400 FAX 262-437-0401

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Sheet Title
EXTERIOR
ELEVATIONS

Issued For: Date:
REVISION 5 FEB. 2023 -

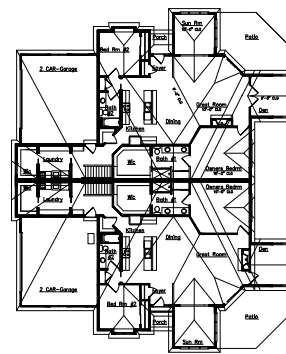
Date: 9 JAN. 2023

Job NO.: 19-209-10

Drawn By: LS

Sheet No.

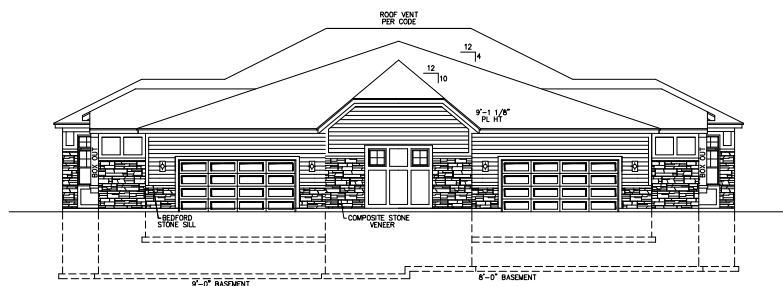
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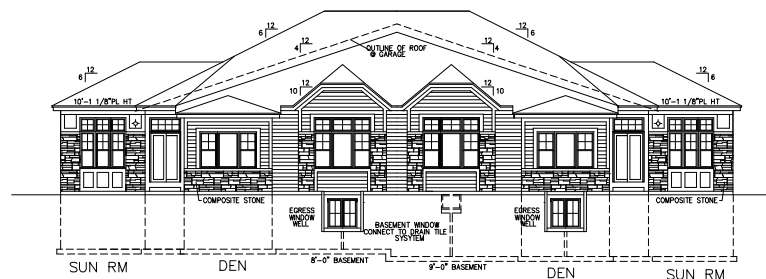
ROOF PLAN
1/16" = 1'-0"

TARTAN
UNIT #19

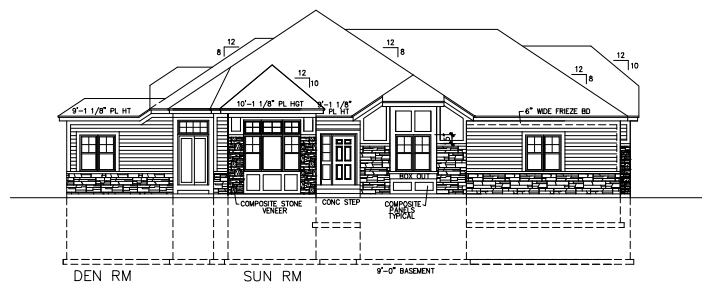
TARTAN
UNIT #20



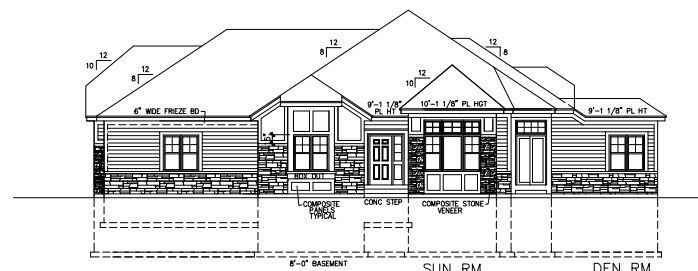
THE TARTAN UNIT #19 FRONT ELEVATION THE TARTAN UNIT #20
1/8" = 1'-0"



THE TARTAN UNIT #20 REAR ELEVATION THE TARTAN UNIT #19
1/8" = 1'-0"



THE TARTAN UNIT #19 LEFT ELEVATION
1/8" = 1'-0"



THE TARTAN UNIT #19 RIGHT ELEVATION THE TARTAN UNIT #20
1/8" = 1'-0"



TDI ASSOCIATES, INC.
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Sheet Title
BASEMENT /
FOUNDATION PLAN

Issued For: Date:
REVISION 5 FEB. 2023

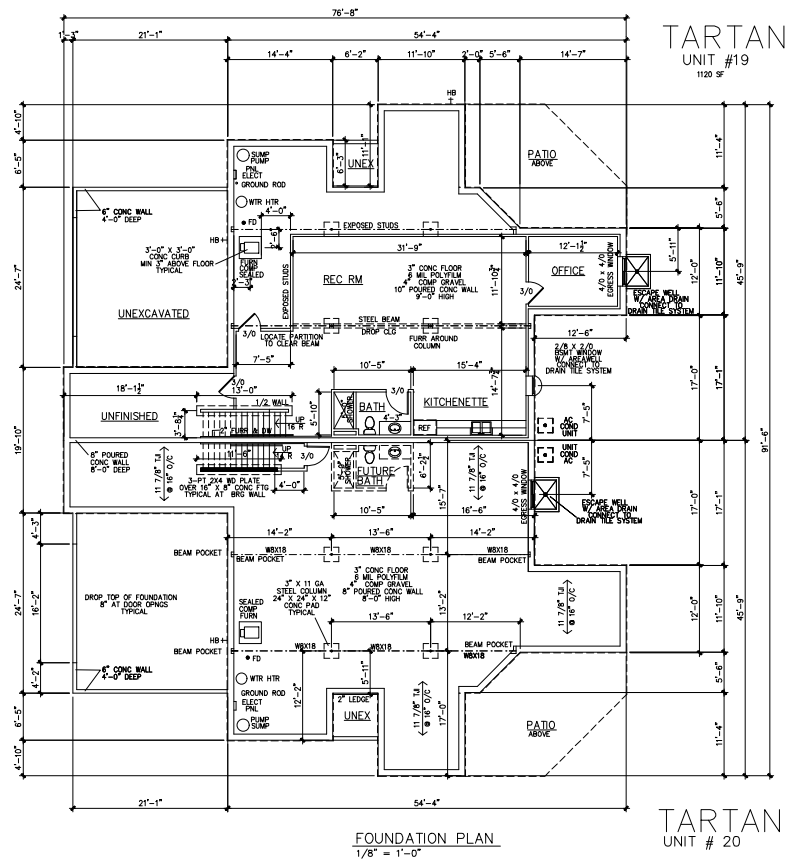
Date: 9 JAN. 2023

Job NO.: 19-209-10

Drawn By: LS

Sheet No.

A1.0



TARTAN
UNIT #19
1120 SF

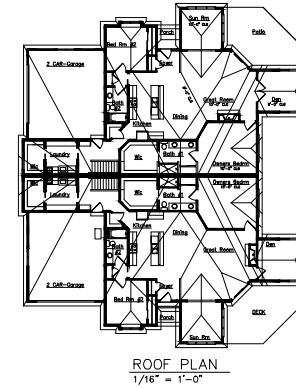
FOUNDATION PLAN
1/8" = 1'-0"

TARTAN
UNIT # 20



TDI ASSOCIATES, INC.
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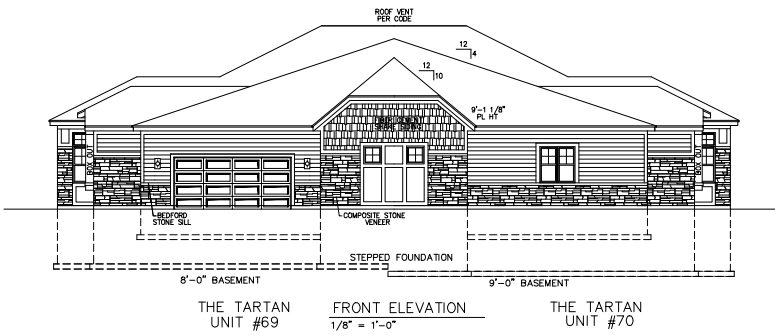
N8 W22350 JOHNSON DRIVE, SUITE B4
WAUKESHA, WISCONSIN 53186
PHONE 262-437-0400 FAX 262-437-0401



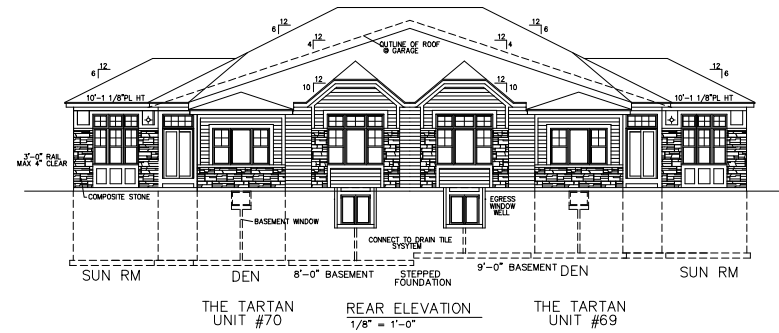
TARTAN
UNIT #69

TARTAN
UNIT #70

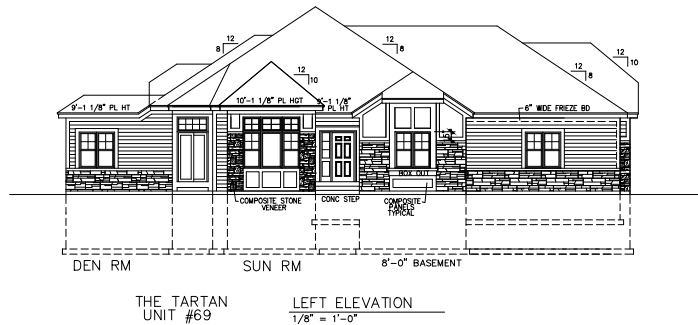
ROOF PLAN
1/16" = 1'-0"



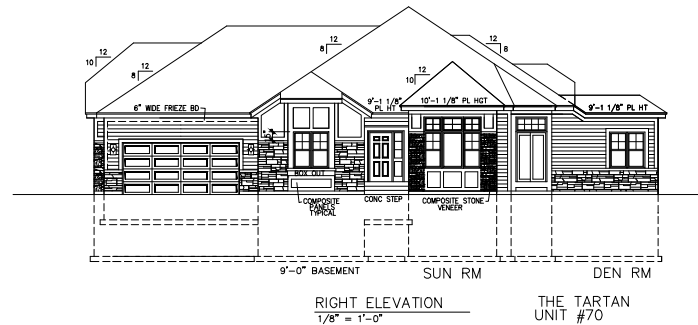
THE TARTAN UNIT #69 FRONT ELEVATION THE TARTAN UNIT #70
1/8" = 1'-0"



THE TARTAN UNIT #70 REAR ELEVATION THE TARTAN UNIT #69
1/8" = 1'-0"



THE TARTAN UNIT #69 LEFT ELEVATION
1/8" = 1'-0"



THE TARTAN UNIT #69 RIGHT ELEVATION THE TARTAN UNIT #70
1/8" = 1'-0"

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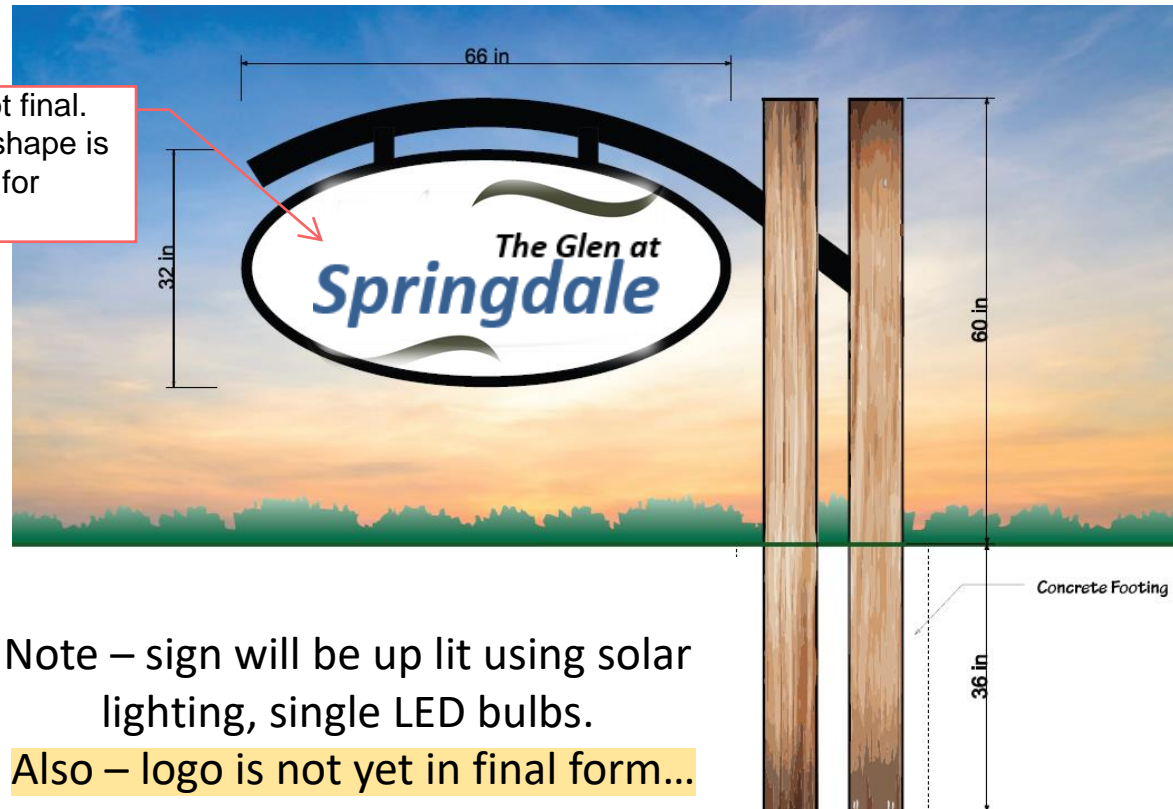
Sheet Title
EXTERIOR
ELEVATIONS

Issued For: _____ Date: _____
REVISION _____

The Glen at Springdale Sign (Draft version)

- SINGLE-SIDED SIGN PANEL & FREE-STANDING STRUCTURE
- 32" X 66" X 2" SAND-BLASTED, CARVED WESTERN RED CEDAR SIGN PANEL WITH INTERNAL BRACING & STRUCTURAL MOUNT-RODS; RAISED LETTERING; PREMIUM SOLID COLOR STAIN & ENAMEL FINISH.
- 8"X8"X92" WHITE OAK TIMBERS (60" ABOVE GROUND) NATURAL PATINA WITH 4"X4"X96" HEAVY WALL SQUARE ALUMINUM TUBE FORMED AS SHOWN, WITH BLACK SATIN POWDER COAT FINISH; THIS WILL BE FIT THRU & SECURED TO OAK TIMBERS; INSTALLED IN LANDSCAPE WITH CONCRETE ANCHOR AND OUT OF VISION TRIANGLE.

Logo is not final.
Just sign shape is
submitted for
approval.



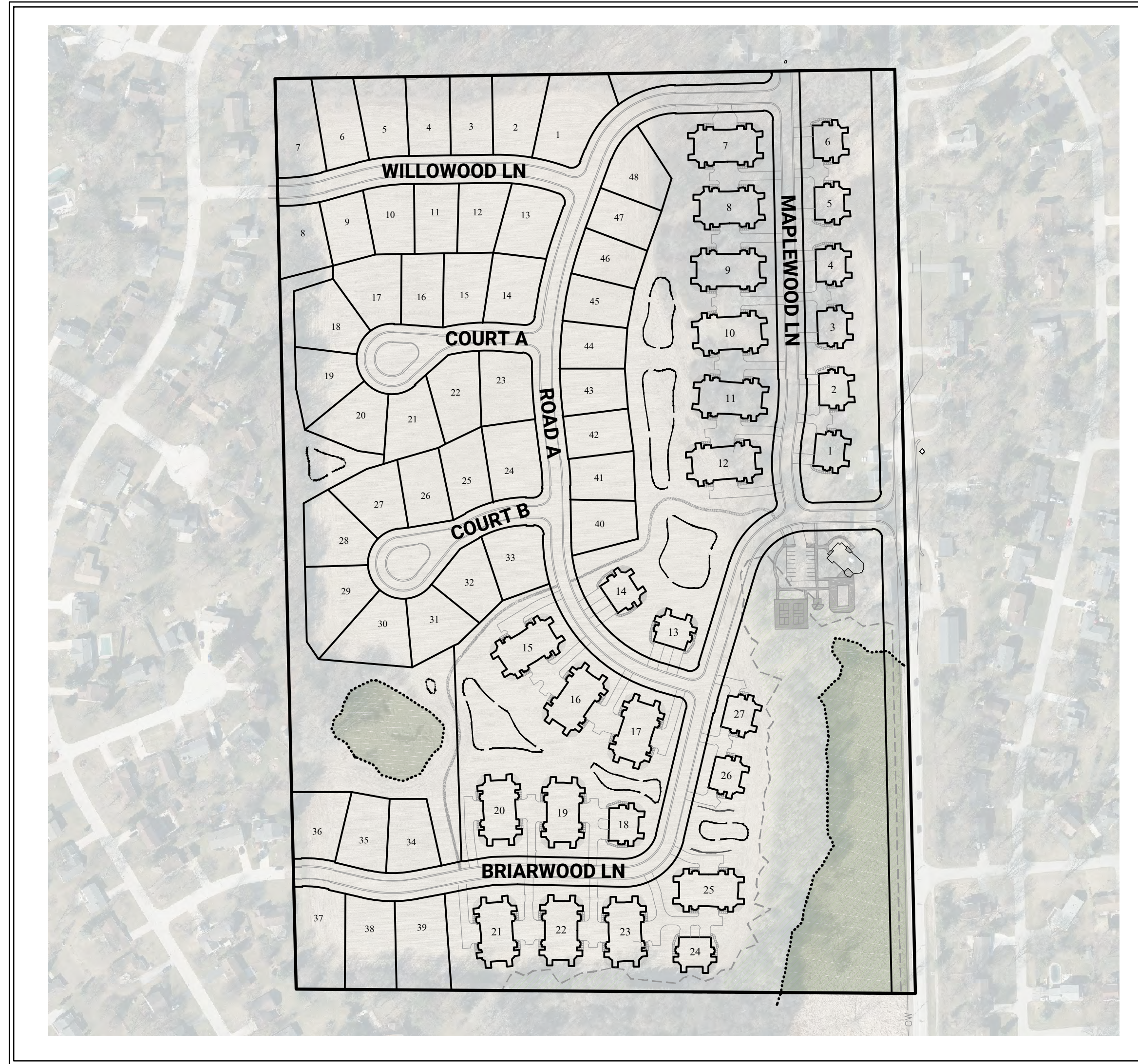
Note – sign will be up lit using solar lighting, single LED bulbs.

Also – logo is not yet in final form...

GENERAL NOTES

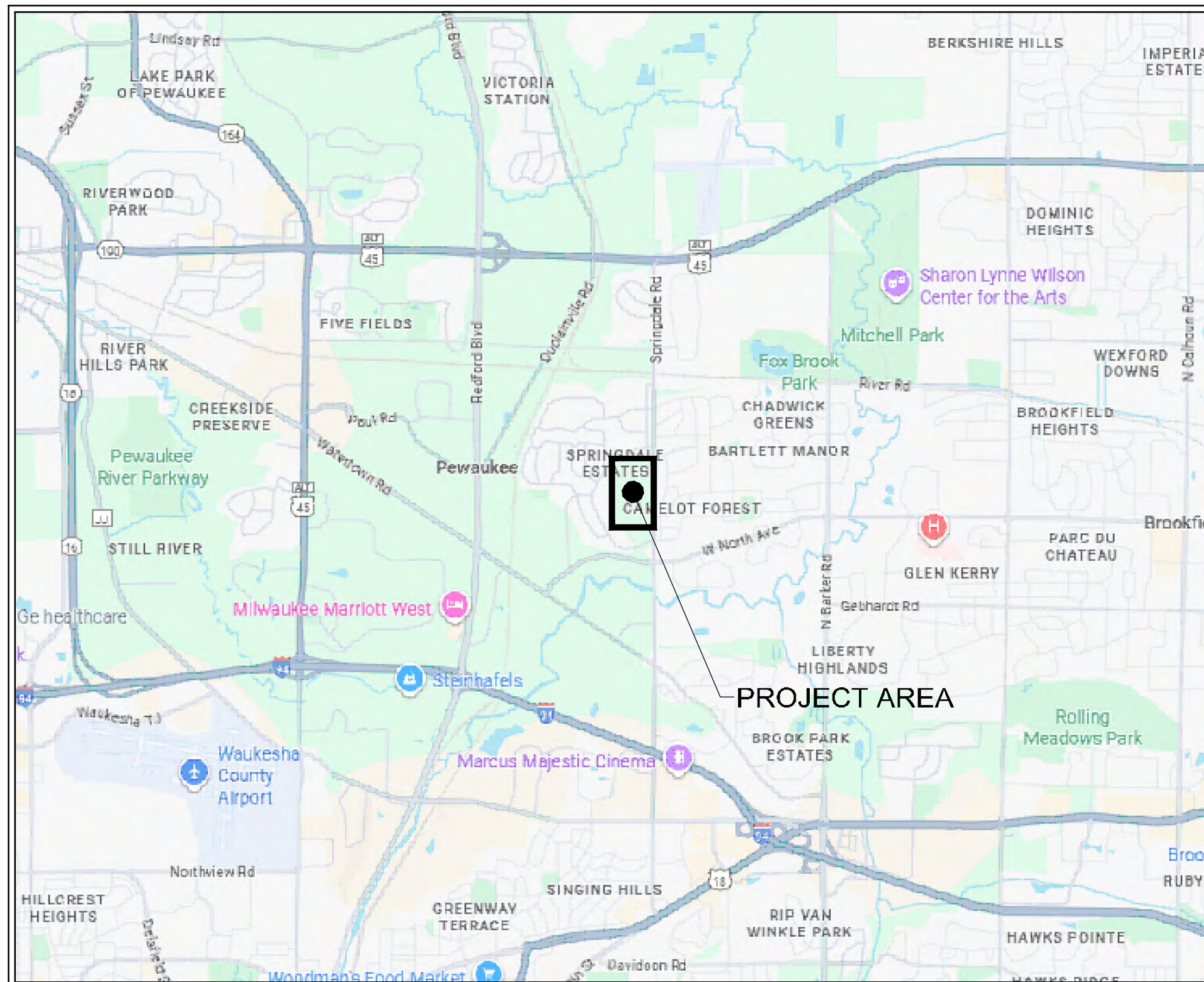
- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 -STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
 -THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 -MNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 -WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 -CITY OF PEWAUKEE TECHNICAL STANDARDS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY OR AS REQUIRED BY THE CITY OF PEWAUKEE.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE CITY OF PEWAUKEE SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.

ESSER PROPERTY RESIDENTIAL SUBDIVISION PRELIMINARY SITE DEVELOPMENT PLANS CITY OF PEWAUKEE, WISCONSIN



ENGINEER:
 TRIO ENGINEERING, LLC
 4100 N CALHOUN ROAD, SUITE 300
 BROOKFIELD, WI 53005
 CONTACT: MR. JOSHUA PUDELKO, P.E., M.S.
 PHONE: 262-790-1480
 FAX: 262-790-1481
 EMAIL: jpudelko@trioeng.com

SITE PLAN
 SCALE: 1" = 200'



LOCATION MAP
 NOT TO SCALE



SHEET INDEX

PRELIMINARY CIVIL	
CO.0	- COVER SHEET
CO.1	- EXISTING SITE PLAN
CO.2	- PROPOSED SITE PLAN
C1.0	- OVERALL GRADING PLAN
C1.1-C1.8	- GRADING PLANS
C2.0	- UTILITY SYSTEM PLAN
C2.1-C2.7	- ROADWAY & SANITARY SEWER PLANS
C3.0-C3.1	- CONSTRUCTION NOTES & DETAILS



4100 N. CALHOUN RD., SUITE 300
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpudelko@trioeng.com

PROJECT:
ESSER PROPERTY
 CITY OF PEWAUKEE, WISCONSIN
 BY: CORNERSTONE DEVELOPMENT
 N63 W23849 MAIN ST.
 SUSSEX, WI 53089

REVISION HISTORY

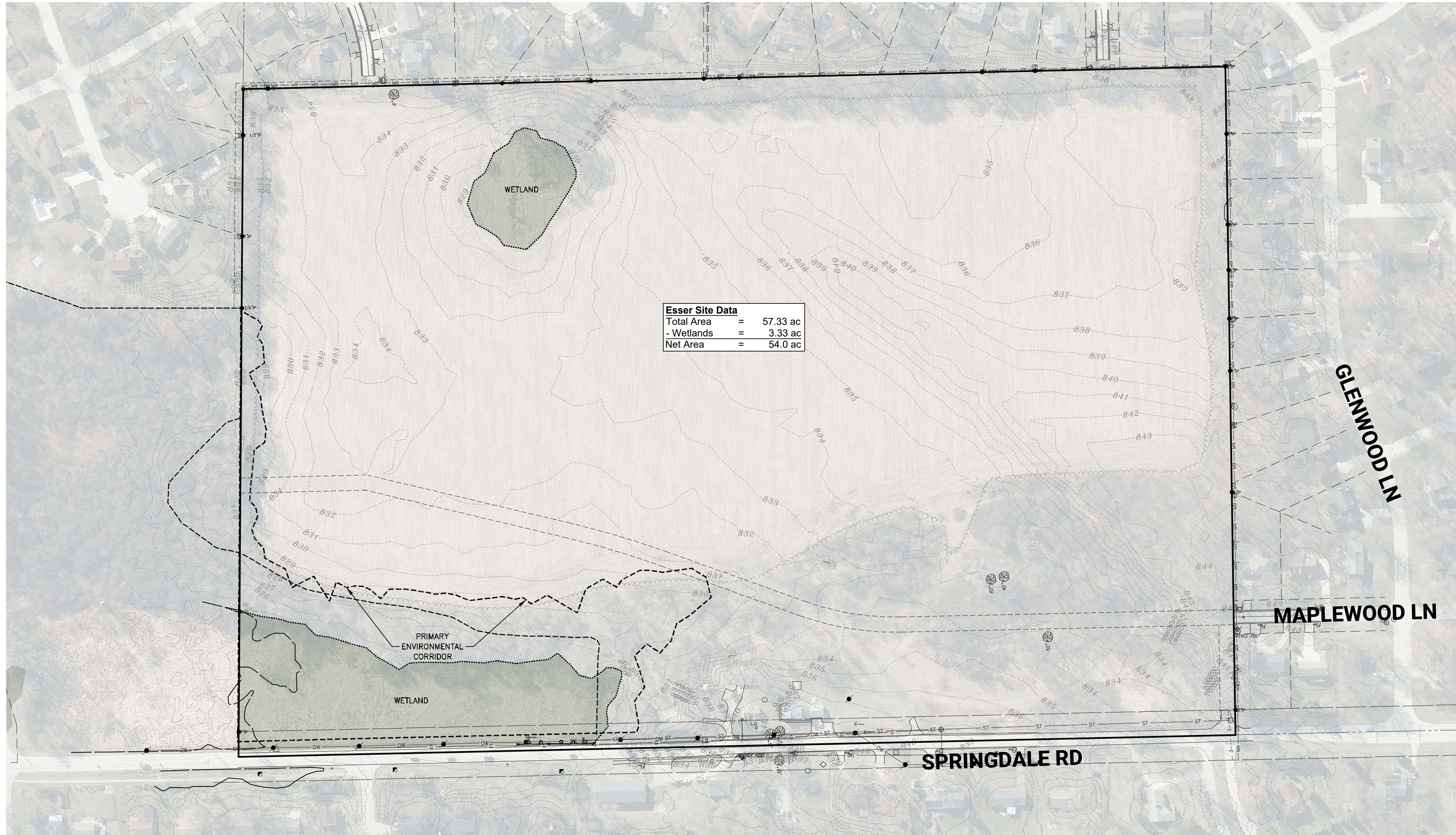
DATE	DESCRIPTION
8/29/25	PRELIMINARY PLAN

DATE:
 AUGUST 29, 2025

JOB NUMBER:
 25-01-796

DESCRIPTION:
 COVER SHEET

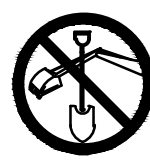
SHEET
CO.0



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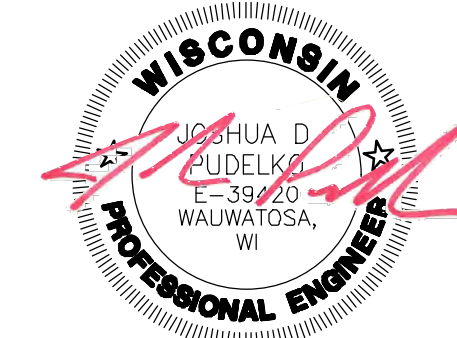


0 20 40 80
 SCALE: 1" = 100' (22"x34")
 SCALE: 1" = 200' (11"x17")



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

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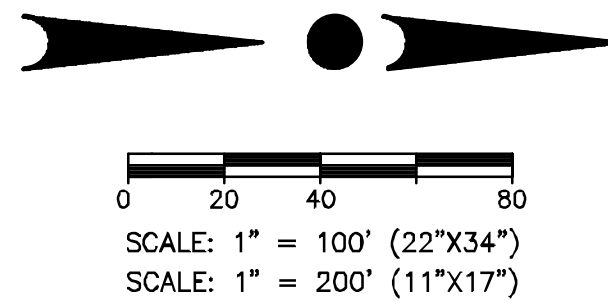
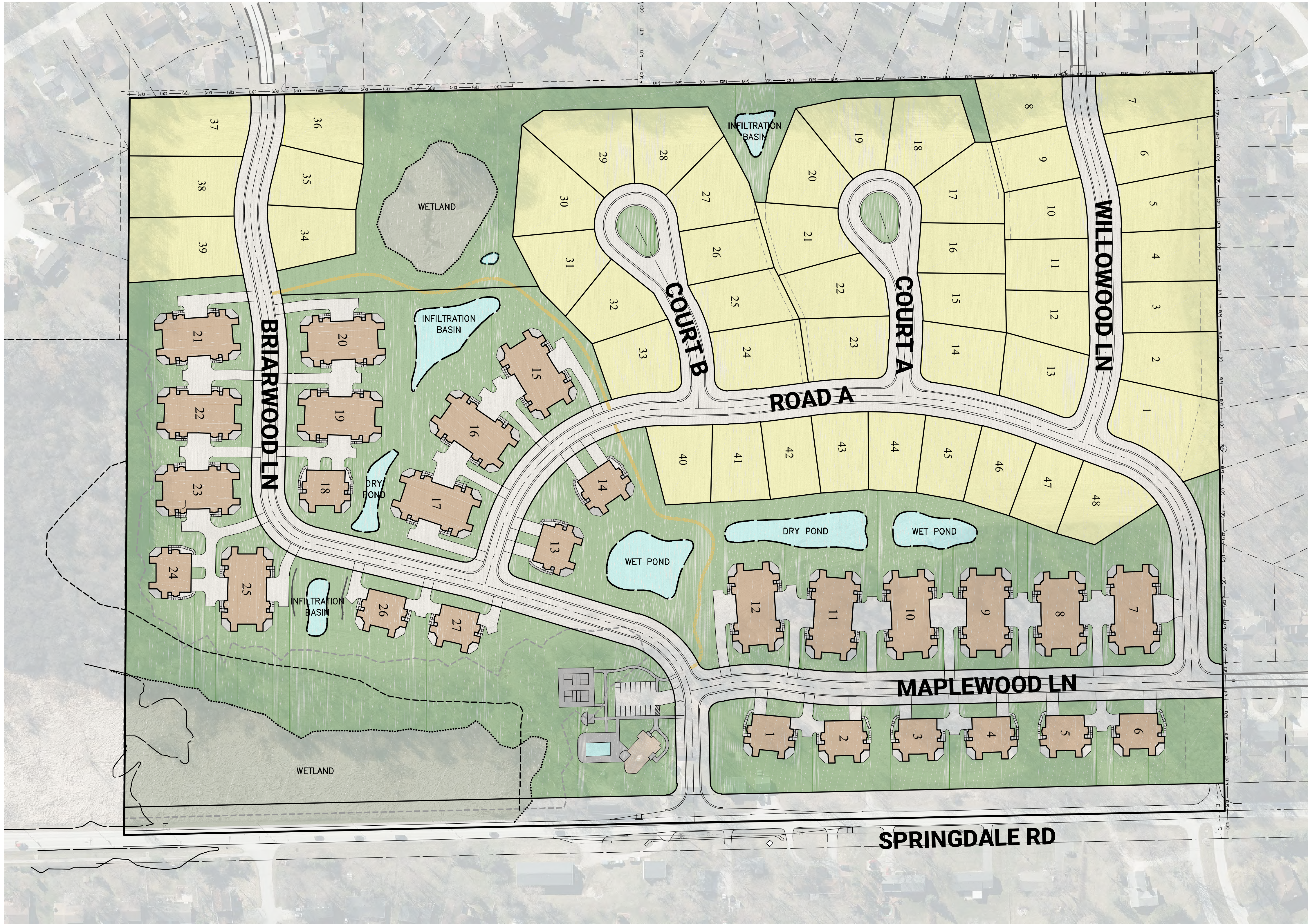
DATE:
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JOB NUMBER:
 25-01-796

DESCRIPTION:
 EXISTING
 SITE PLAN

SHEET
C0.1

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_CO-SITE_22X34.DWG



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Condominium Community	84 units	Single Family	48 lots
- Lot Area = 0.5 ac		- Lot Area = 12,500 sf	
- Lot Width = 120'		- Lot Width = 90'	
- Setbacks:		- Setbacks:	
-- Front = 20' to building, 25' to garage		-- Front = 30'	
-- Wetland = 25'		-- Wetland = 25'	
-- Side = 40' building-to-building, 25 on side		-- Side = 12'	
- 2.5 parking spaces per unit		-- Rear = 35'	



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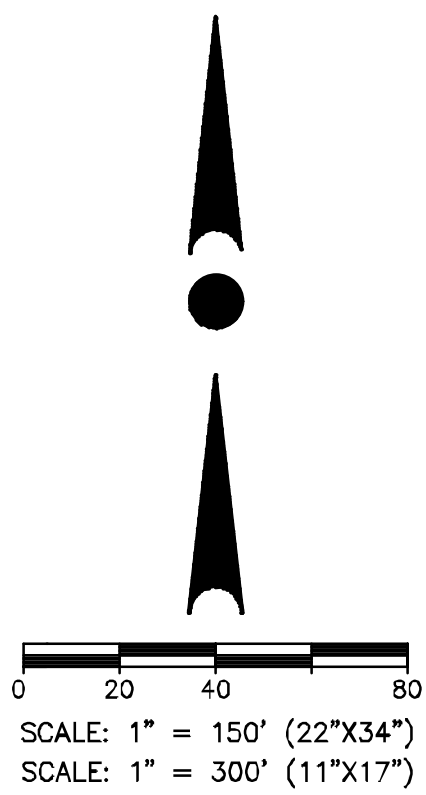
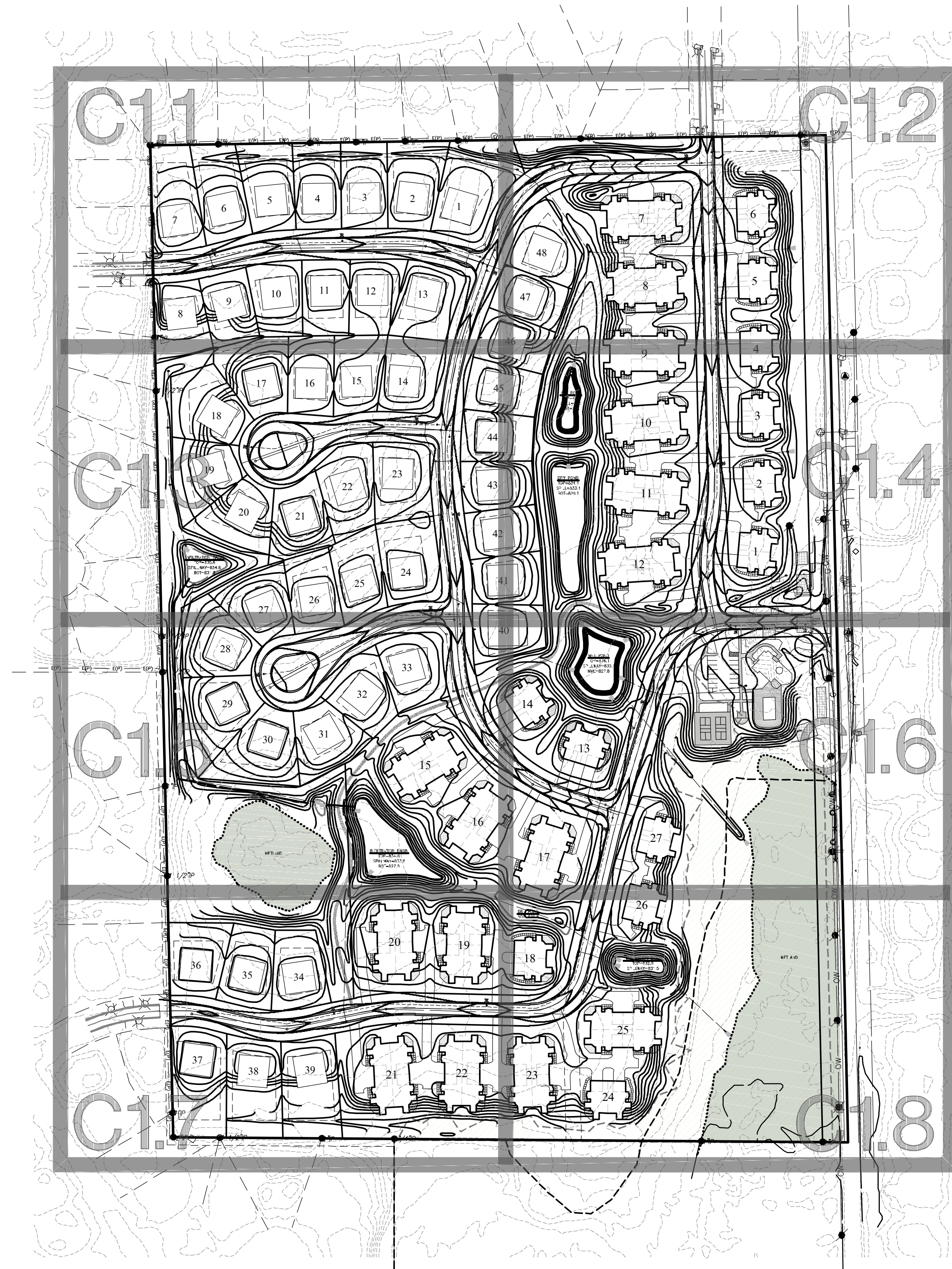
DATE:
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JOB NUMBER:
25-01-796

DESCRIPTION:
PROPOSED
SITE PLAN

SHEET
C0.2

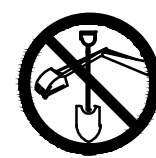
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GRADING LEGEND:

- 850 ----- - EXISTING CONTOUR
- 850 ———— - PROPOSED CONTOUR
- × 850.0 - PROPOSED SPOT ELEVATION
- BSMT 850.0** - FINISHED BASEMENT ELEVATION
- EXP 850.0** - PROPOSED EXPOSURE GRADE
- FF 850.0** - FINISHED FIRST FLOOR ELEVATION
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REVISION HISTORY

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8/29/25	PRELIMINARY PLAN

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JOB NUMBER:
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DESCRIPTION:
OVERALL GRADING PLAN

SHEET
C1.00



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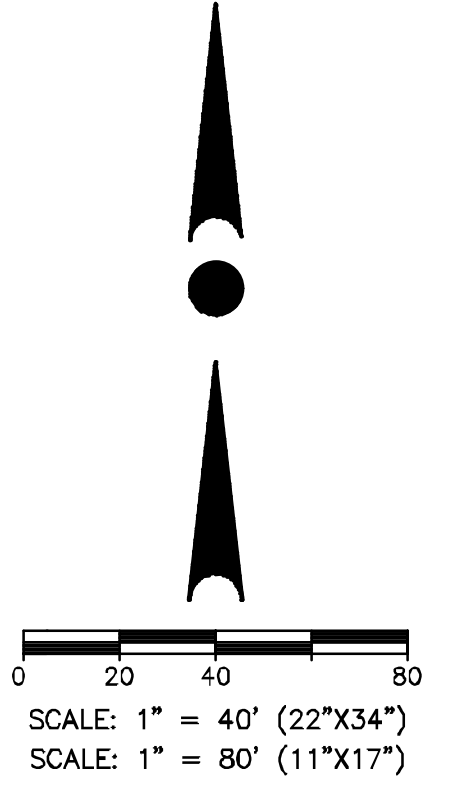
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GRADING PLAN

SHEET

C1.1



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GRADING LEGEND:	
---	850 --- EXISTING CONTOUR
---	850 --- PROPOSED CONTOUR
X	850.0 --- PROPOSED SPOT ELEVATION
BSMT	850.0 --- FINISHED BASEMENT ELEVATION
EXP	850.0 --- PROPOSED EXPOSURE GRADE
FF	850.0 --- FINISHED FIRST FLOOR ELEVATION
FG	850.0 --- PROPOSED FINISHED GRADE



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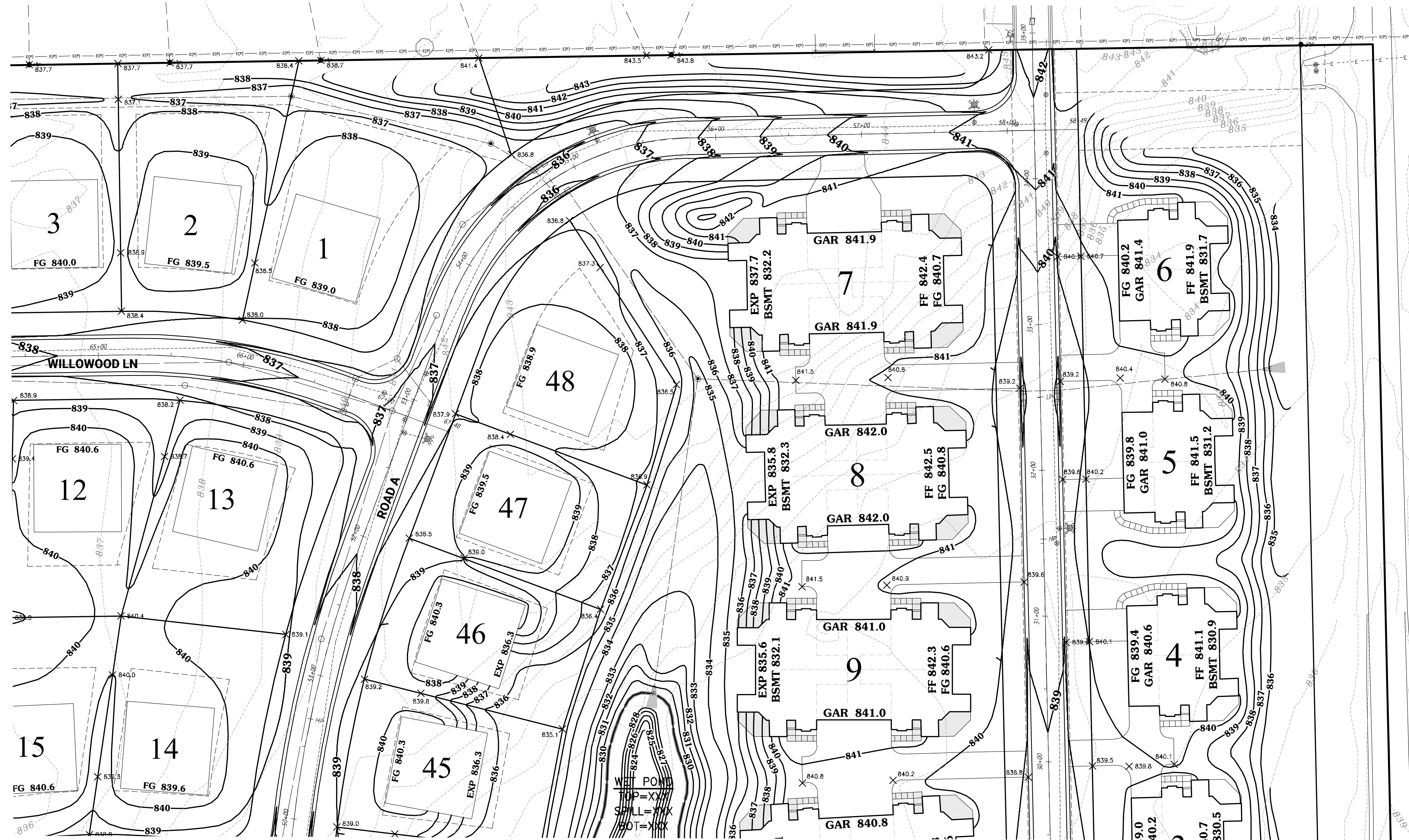
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DESCRIPTION:
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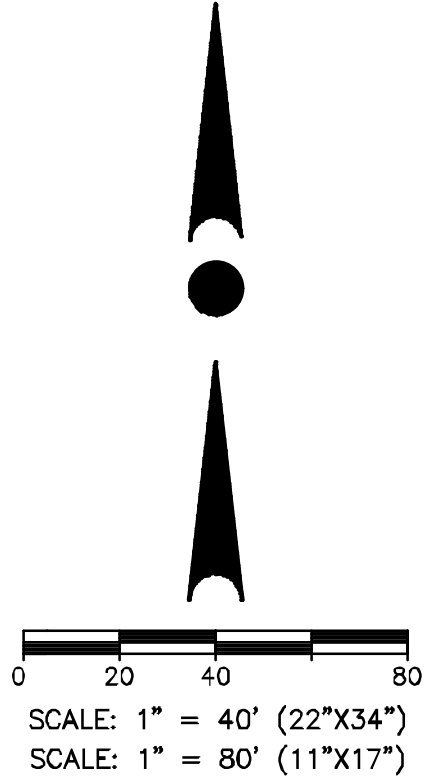
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C1.2

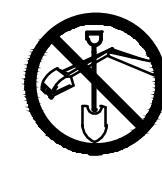


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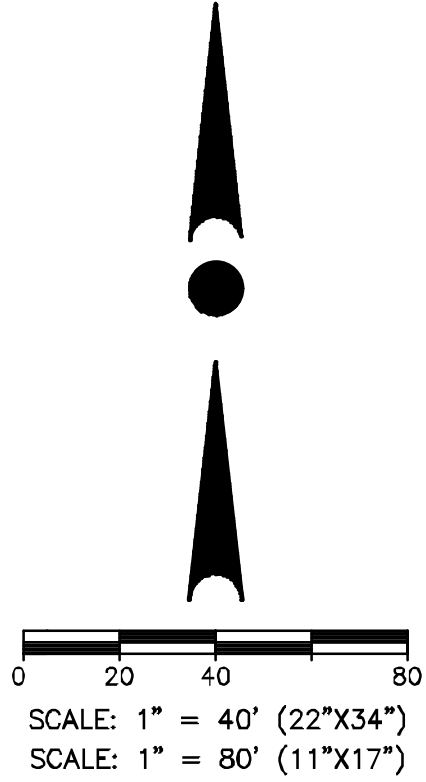
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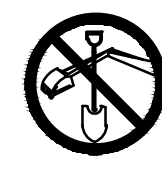
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PROJECT:
ESSER PROPERTY
 CITY OF PEWAUKEE, WISCONSIN
 BY: CORNERSTONE DEVELOPMENT
 N63 W23849 MAIN ST.
 SUSSEX, WI 53089

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DATE	DESCRIPTION
8/29/25	PRELIMINARY PLAN

DATE:
 AUGUST 29, 2025

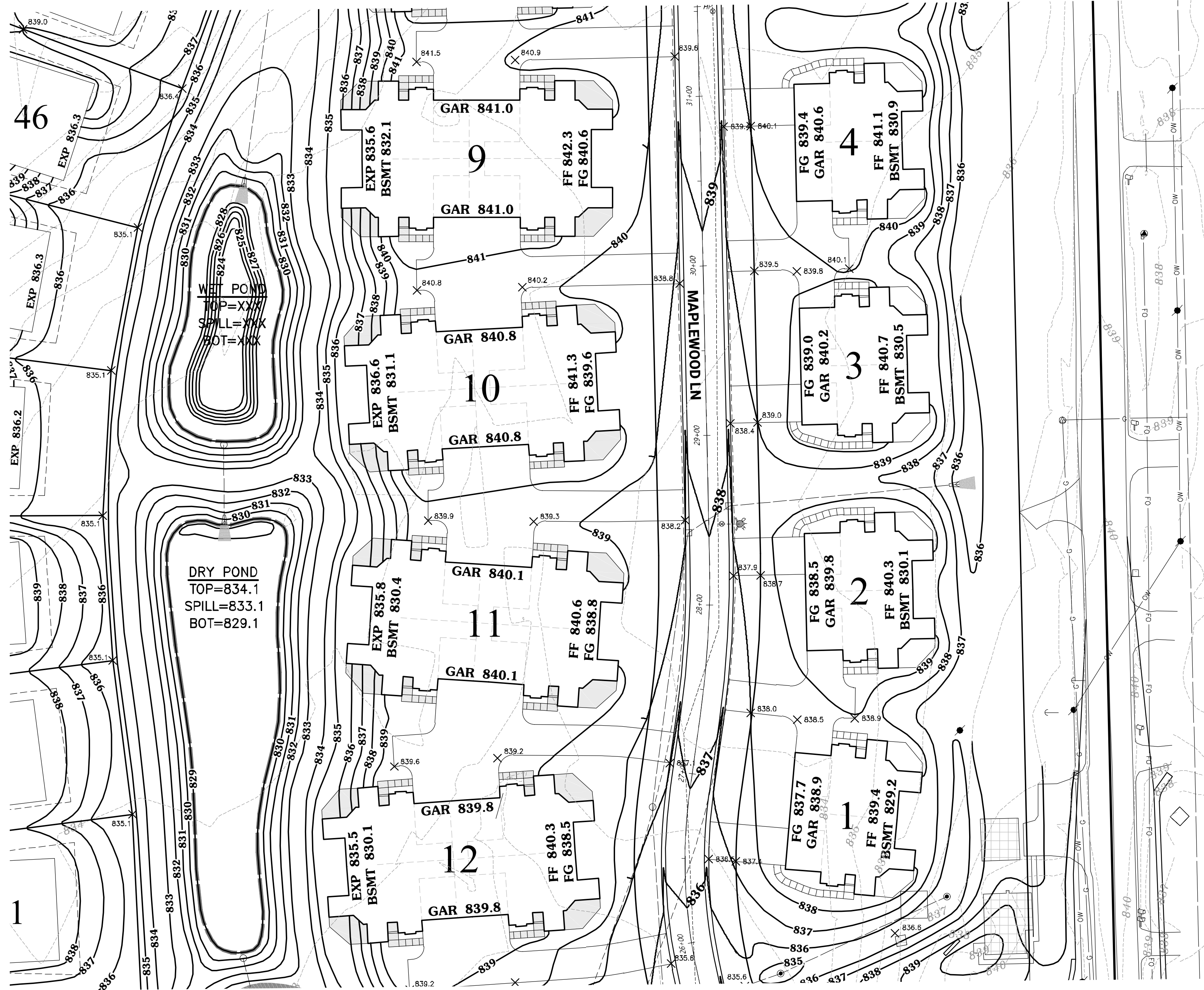
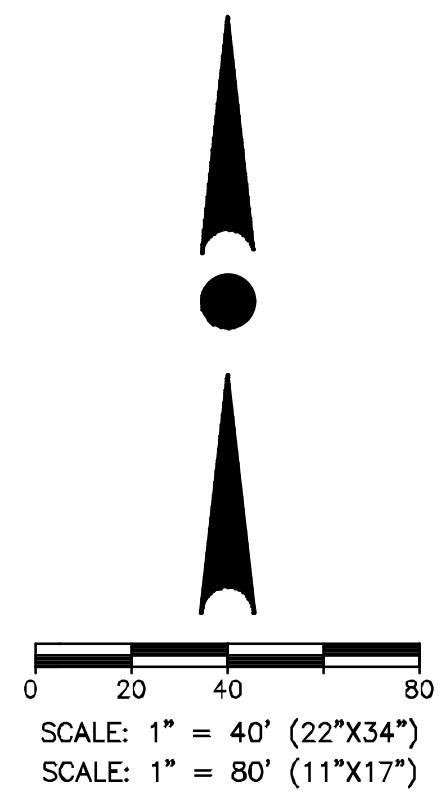
JOB NUMBER:
 25-01-796

DESCRIPTION:
 GRADING PLAN

SHEET

C1.3

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_CI-GRAD_12X34.DWG



GRADING LEGEND:	
---	850 - EXISTING CONTOUR
—	850 - PROPOSED CONTOUR
×	850.0 - PROPOSED SPOT ELEVATION
BSMT 850.0	- FINISHED BASEMENT ELEVATION
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JOB NUMBER:
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DESCRIPTION:
GRADING PLAN

SHEET

C1.4

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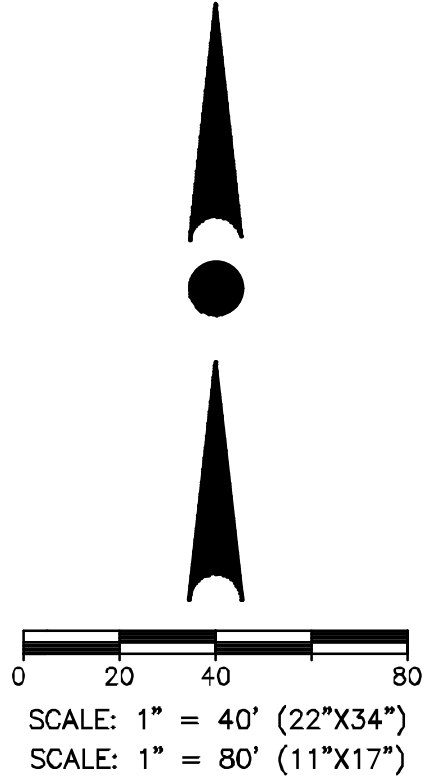


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 SPILLWAY=834.6
 BOT=831.3

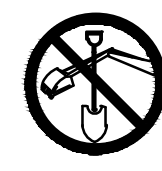
WET POND
 TOP=834.1
 SPILLWAY=833.1
 NWL=827.8

GRADING LEGEND:

- 850 --- - EXISTING CONTOUR
- 850 — - PROPOSED CONTOUR
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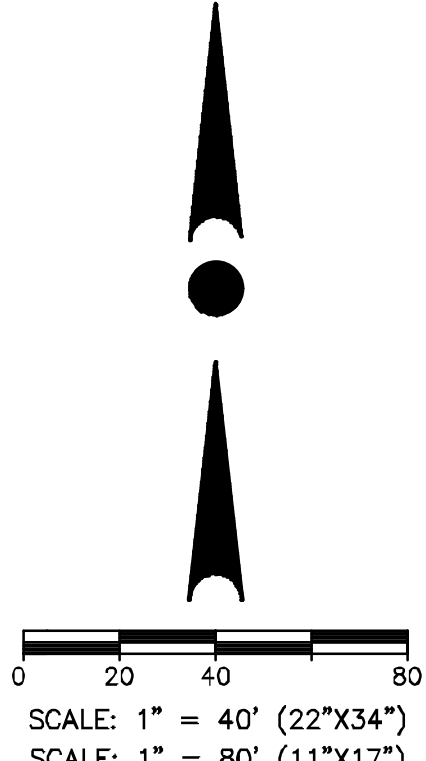
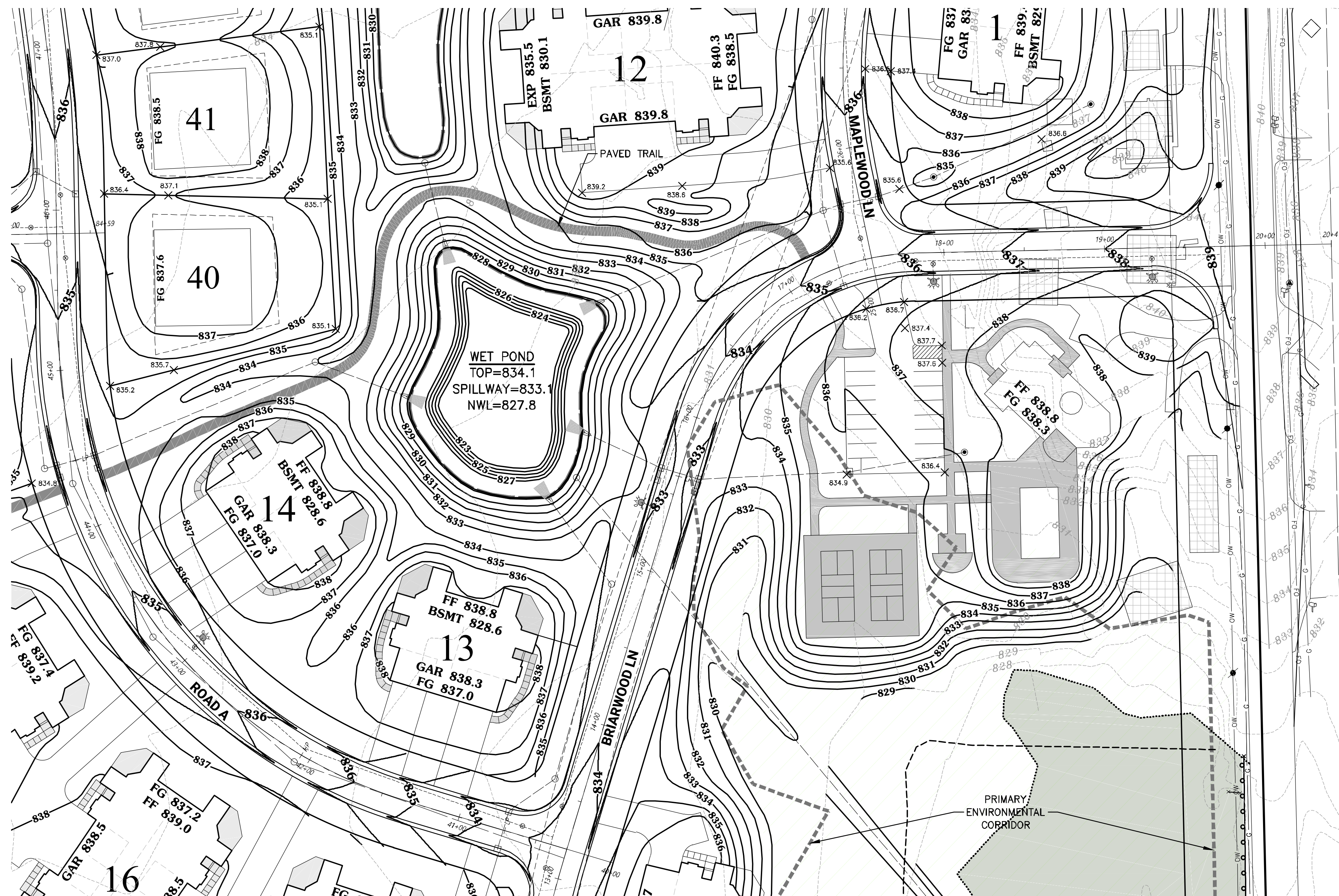
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DESCRIPTION:
 GRADING PLAN

SHEET
C1.5

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_C1-GRAD_12X34.DWG



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GRADING LEGEND:

- 850 --- - EXISTING CONTOUR
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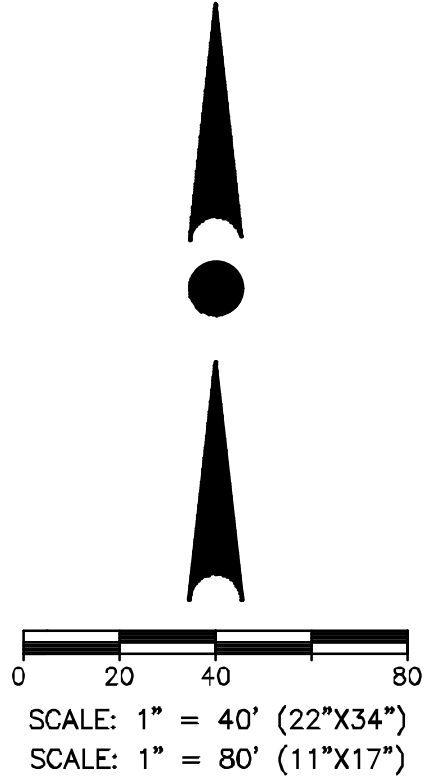
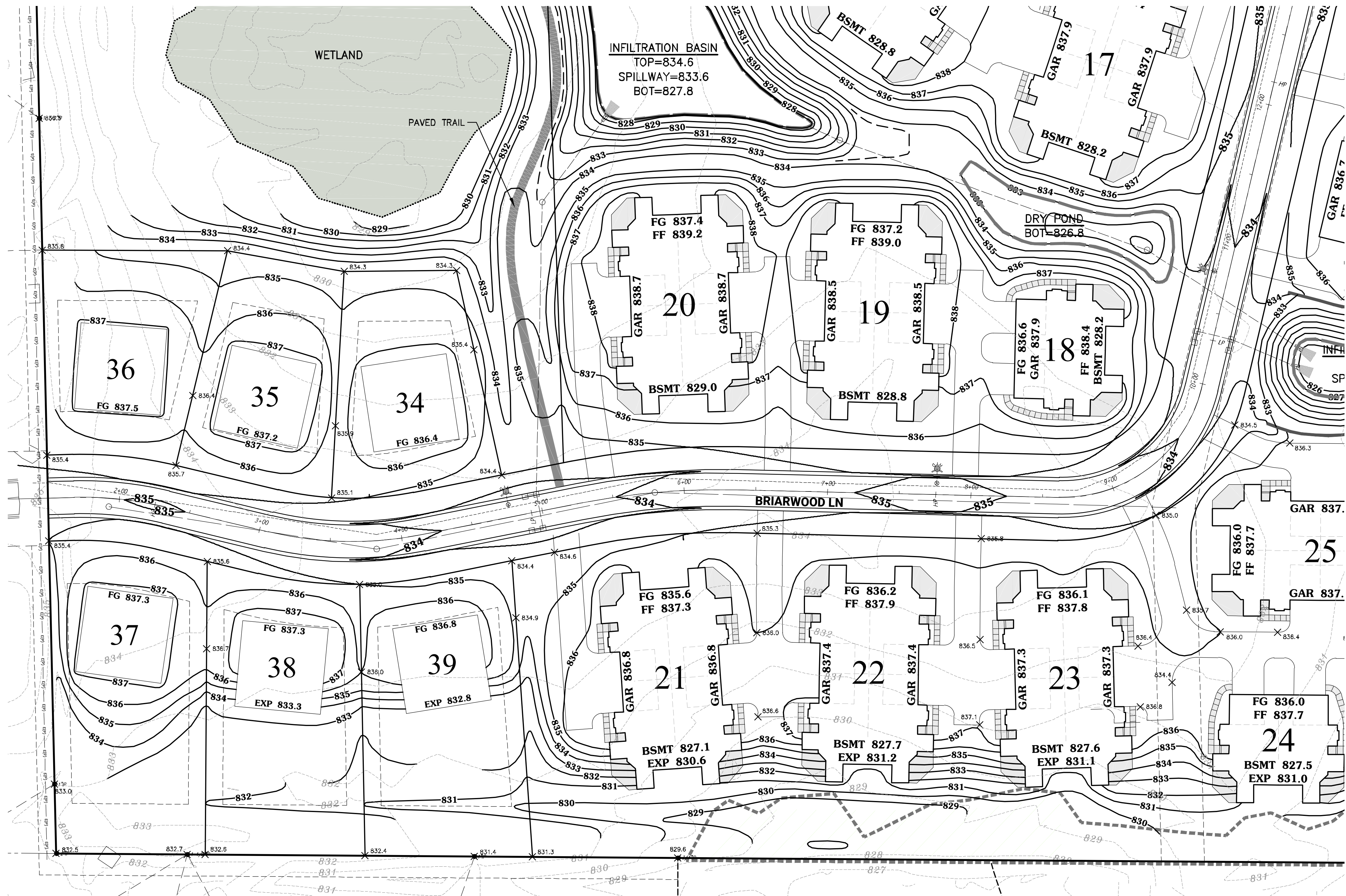
JOB NUMBER:
 25-01-796

DESCRIPTION:
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SHEET

C1.6

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ESSER PROPERTY
CITY OF PEWAUKEE, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY

DATE	DESCRIPTION
8/29/25	PRELIMINARY PLAN

DATE:
AUGUST 29, 2025

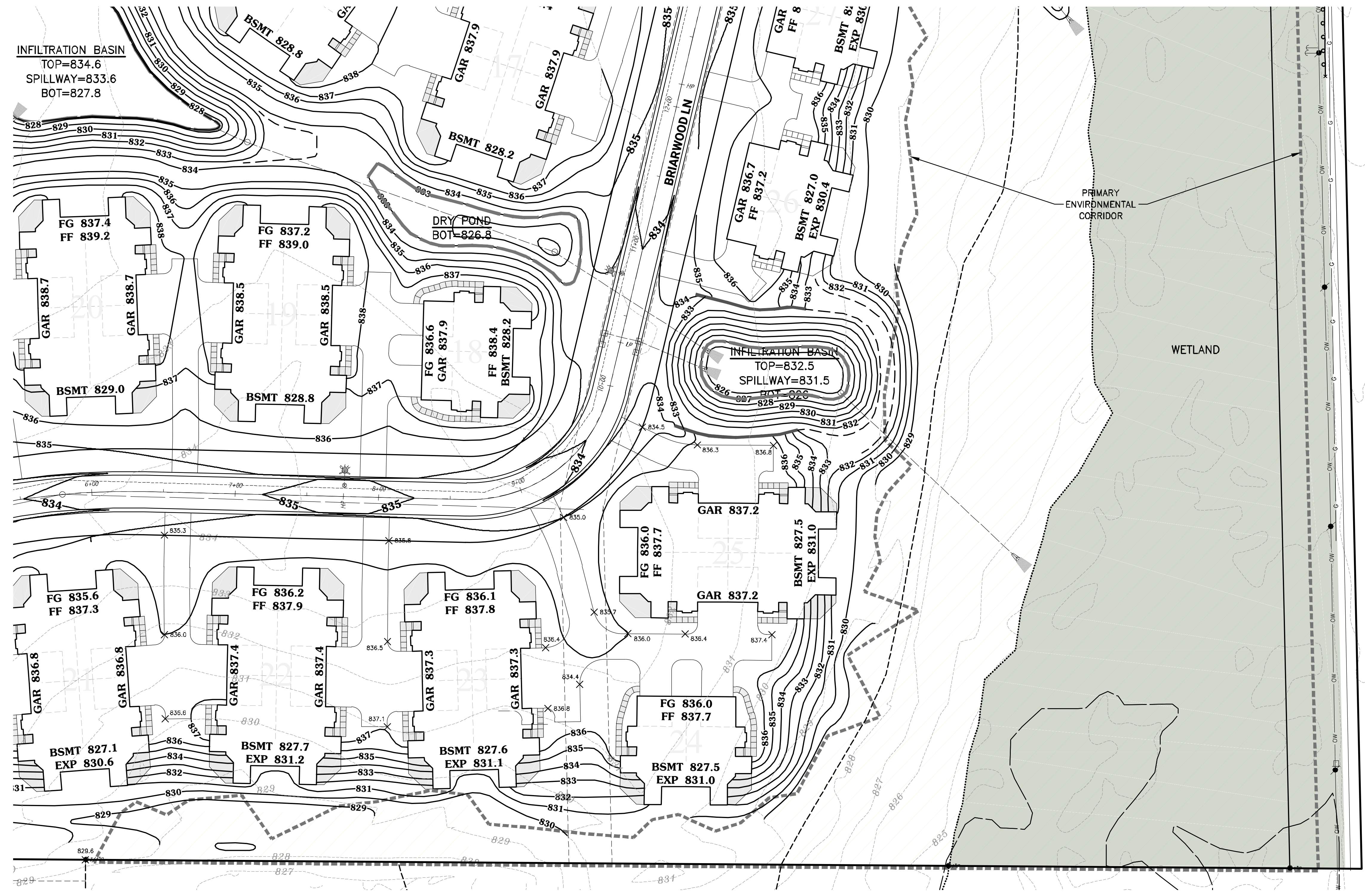
JOB NUMBER:
25-01-796

DESCRIPTION:
GRADING PLAN

SHEET

C1.7

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_C1-GRAD_22X34.DWG



INFILTRATION BASIN
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SPILLWAY=833.6
BOT=827.8

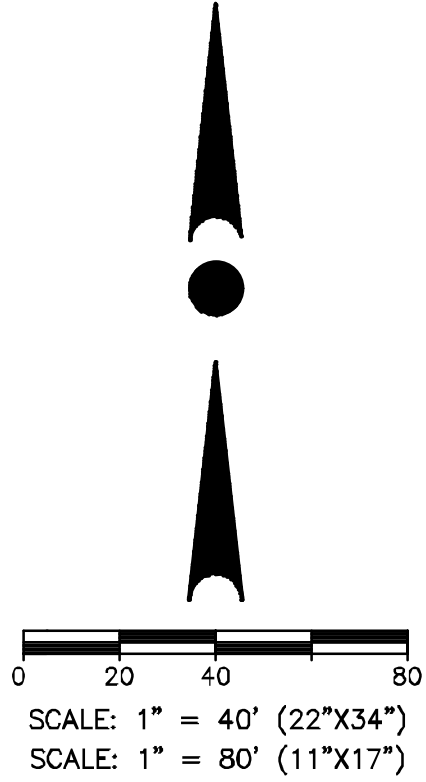
DRY POND
BOT=826.8

INFILTRATION BASIN
TOP=832.5
SPILLWAY=831.5

PRIMARY ENVIRONMENTAL CORRIDOR

WETLAND

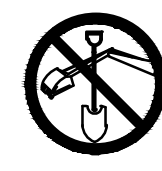
BRIARWOOD LN



GRADING LEGEND:

- 850 --- - EXISTING CONTOUR
- 850 — - PROPOSED CONTOUR
- × 850.0 - PROPOSED SPOT ELEVATION
- BSMT 850.0** - FINISHED BASEMENT ELEVATION
- EXP 850.0** - PROPOSED EXPOSURE GRADE
- FF 850.0** - FINISHED FIRST FLOOR ELEVATION
- FG 850.0** - PROPOSED FINISHED GRADE

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CALL DIGGERS HOTLINE 1-800-242-8511



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jjudelko@tribeng.com

PROJECT:
ESSER PROPERTY
CITY OF PEWAUKEE, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
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REVISION HISTORY

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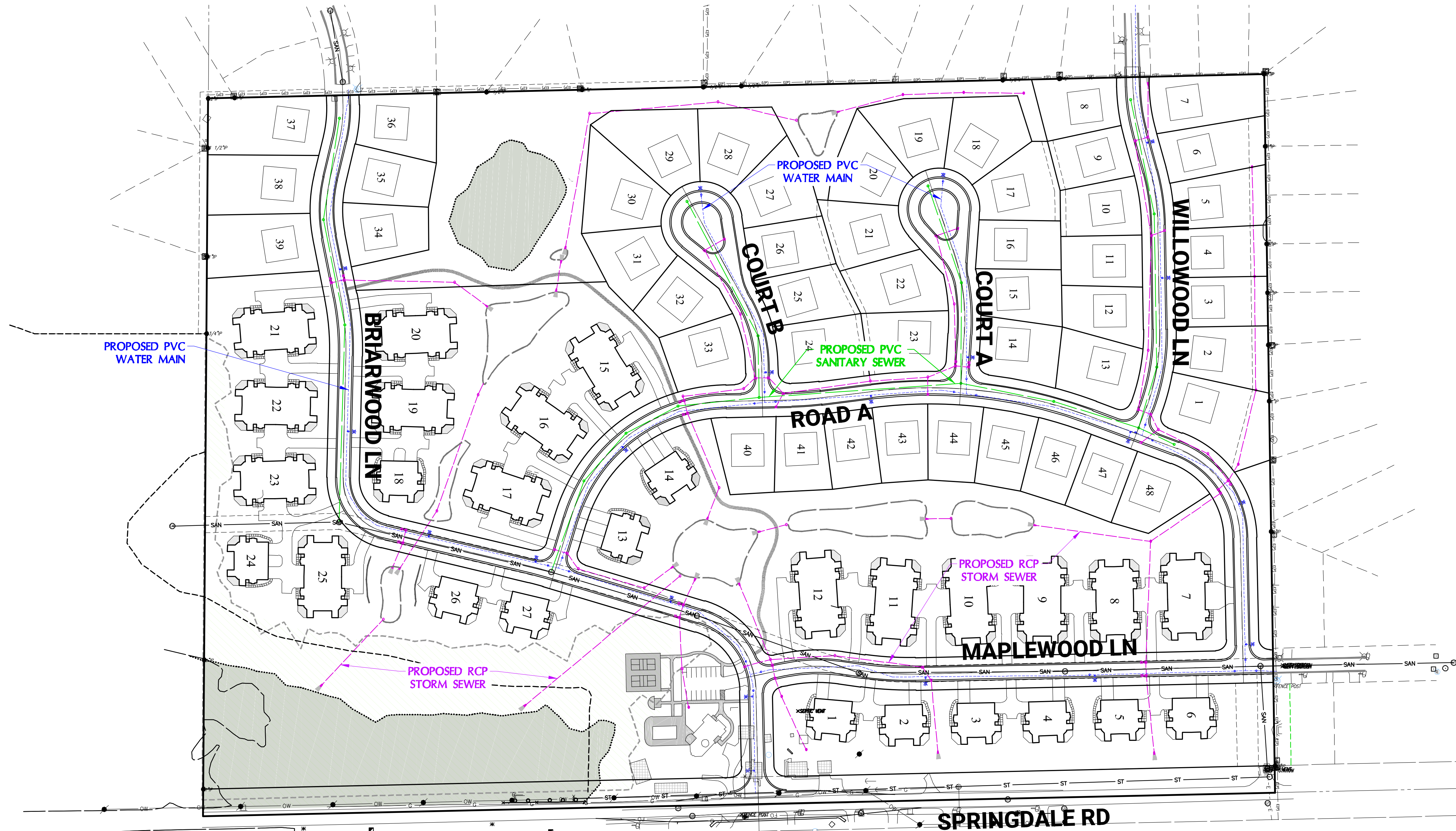
JOB NUMBER:
25-01-796

DESCRIPTION:
GRADING PLAN

SHEET

C1.8

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_C2-UTIL_22X34.DWG



PROPOSED PVC WATER MAIN

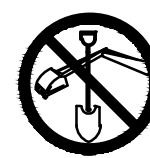
PROPOSED PVC WATER MAIN

PROPOSED PVC SANITARY SEWER

PROPOSED RCP STORM SEWER

PROPOSED RCP STORM SEWER

0 50 100 200
 SCALE: 1" = 100' (22"x34")
 SCALE: 1" = 200' (11"x17")



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REVISION HISTORY

DATE	DESCRIPTION
8/29/25	PRELIMINARY PLAN

DATE:
 AUGUST 29, 2025

JOB NUMBER:
 25-01-796

DESCRIPTION:
 UTILITY
 SYSTEM PLAN

SHEET
C2.0



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BY: CORNERSTONE DEVELOPMENT
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8/29/25	PRELIMINARY PLAN

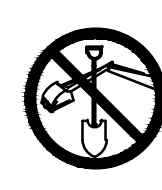
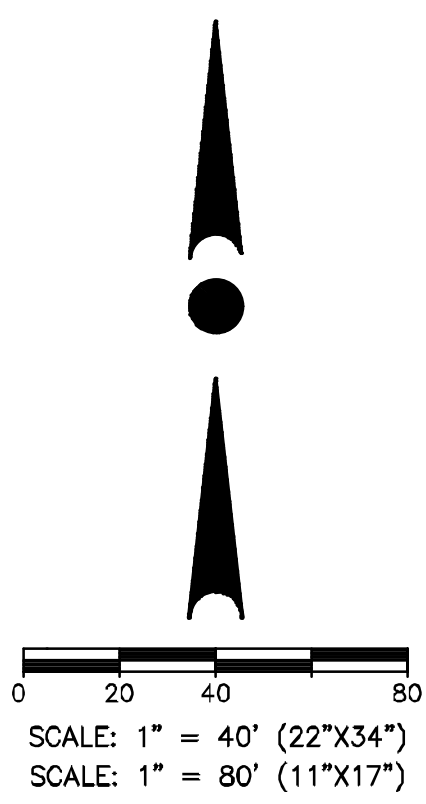
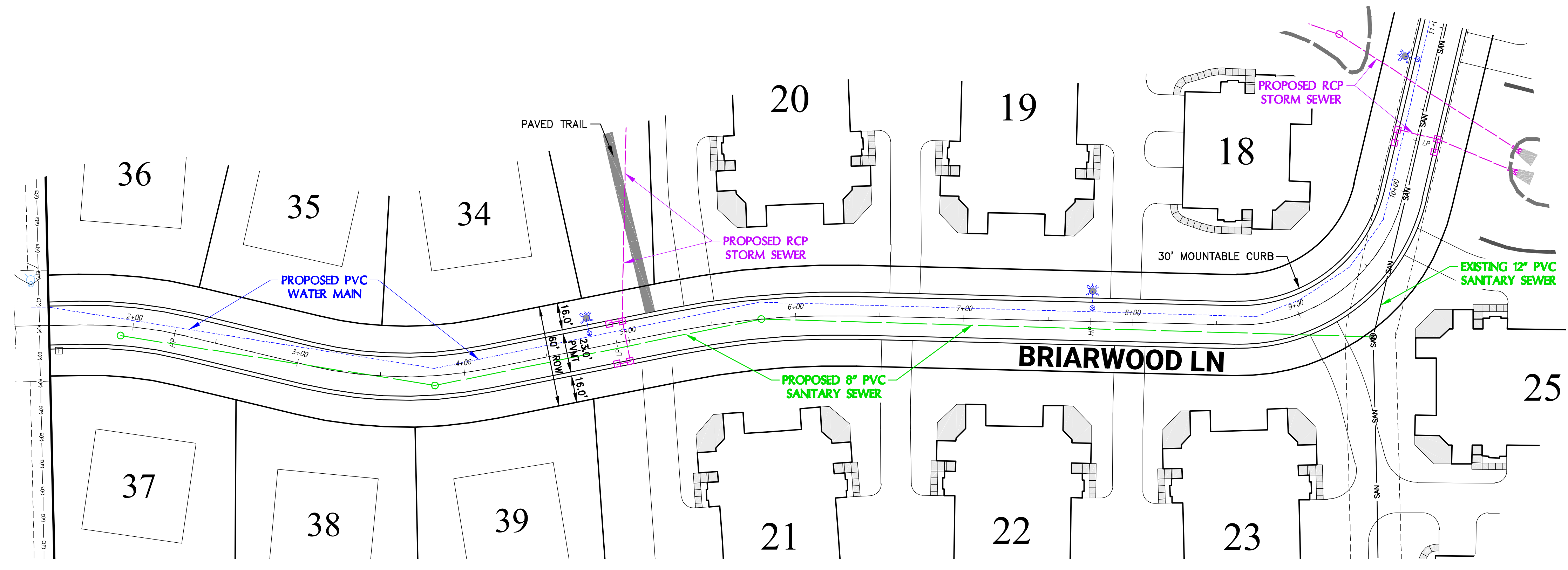
DATE:
AUGUST 29, 2025

JOB NUMBER:
25-01-796

DESCRIPTION:
ROADWAY AND
SANITARY SEWER
PLAN & PROFILE

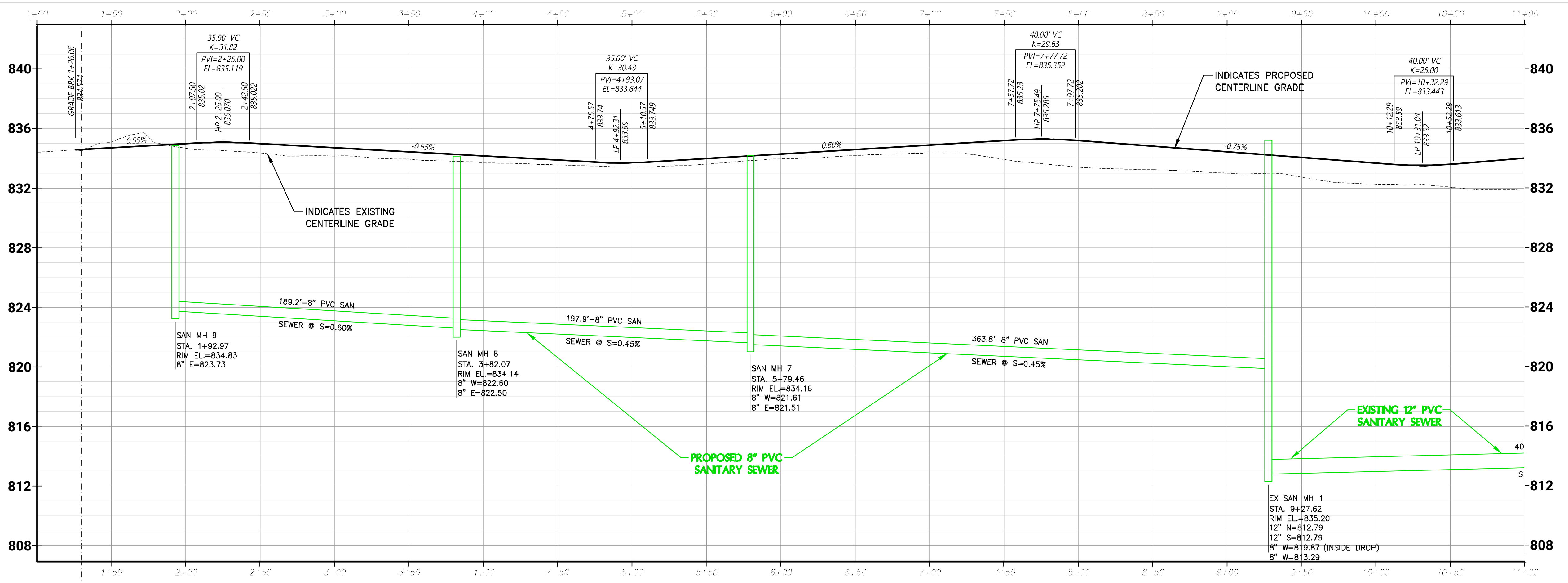
SHEET

C2.1



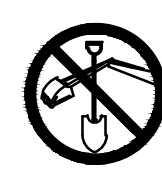
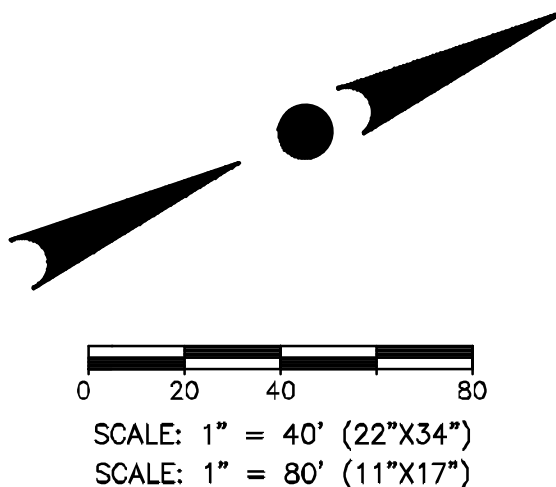
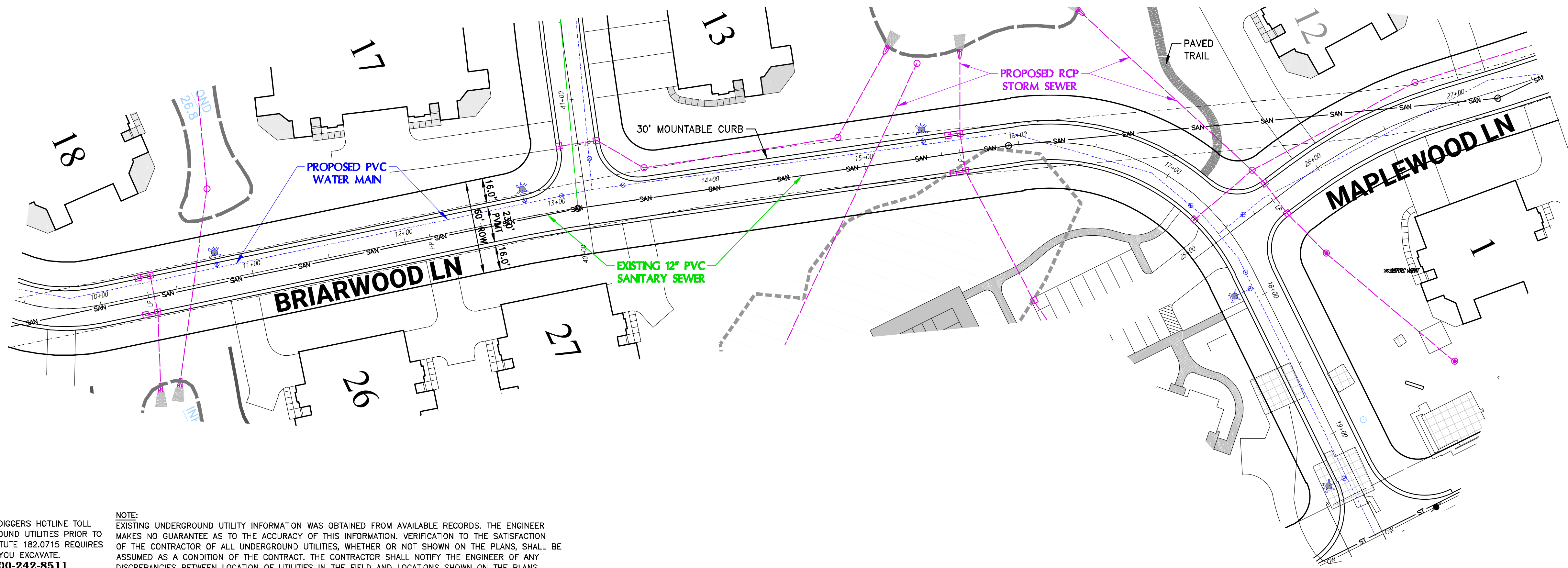
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EXIST RD

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_C2-UTIL_22X34.DWG



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PROJECT:
ESSER PROPERTY
CITY OF PEWAUKEE, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

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DATE	DESCRIPTION
8/29/25	PRELIMINARY PLAN

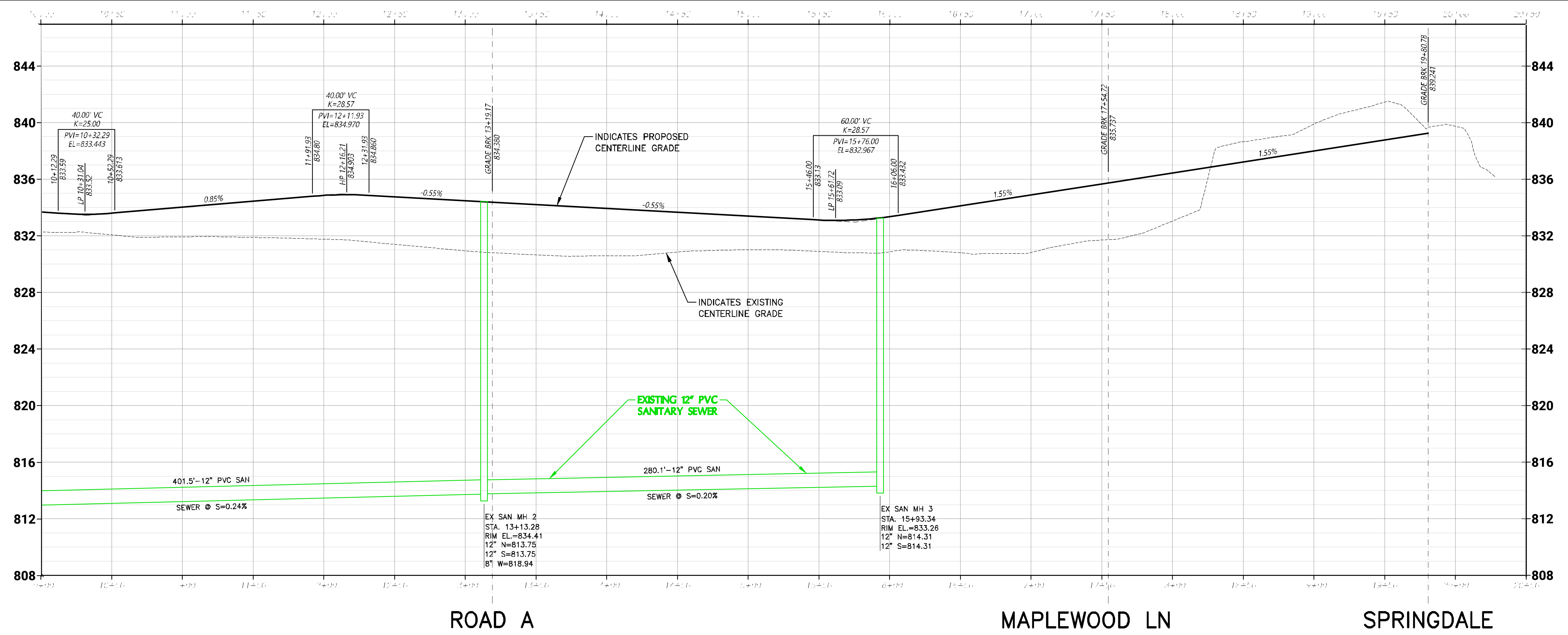
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AUGUST 29, 2025

JOB NUMBER:
25-01-796

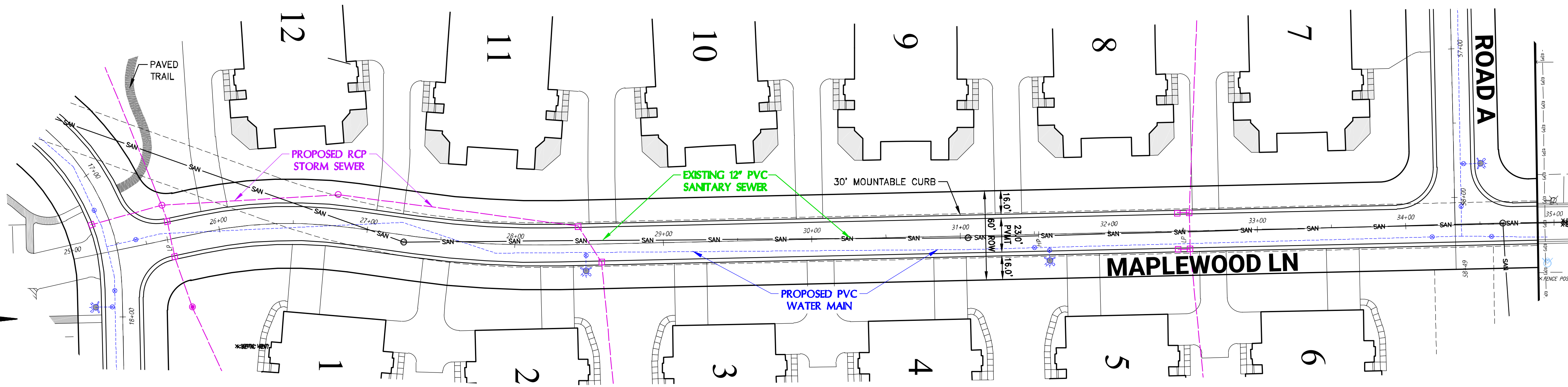
DESCRIPTION:
ROADWAY AND
SANITARY SEWER
PLAN & PROFILE

SHEET

C2.2



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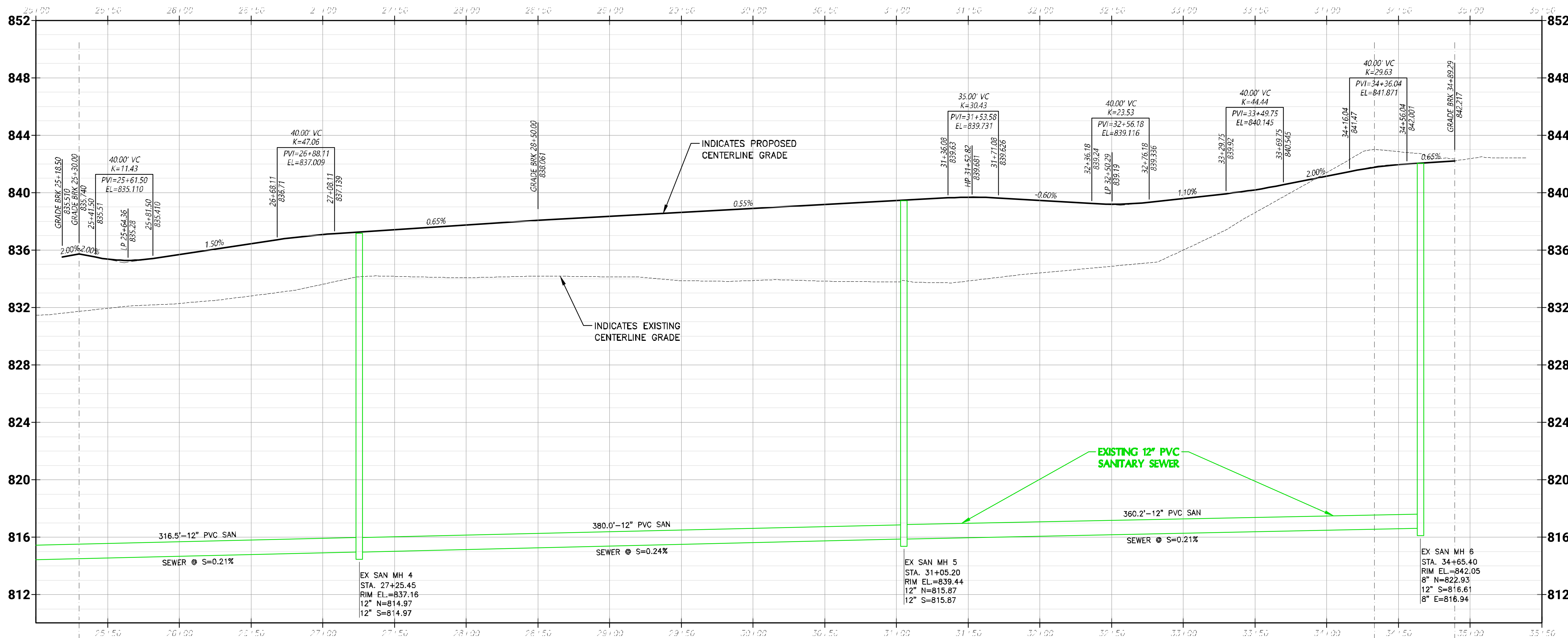


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 SCALE: 1" = 40' (22"x34")
 SCALE: 1" = 80' (11"x17")



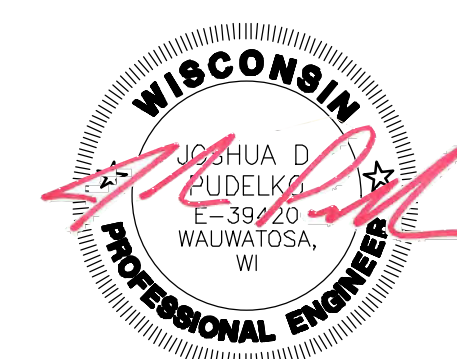
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BRIARWOOD LN

ROAD A EXIST RD



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 CITY OF PEWAUKEE, WISCONSIN
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8/29/25	PRELIMINARY PLAN

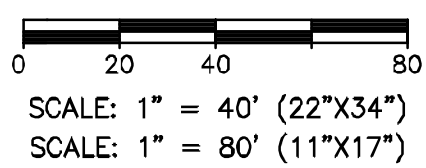
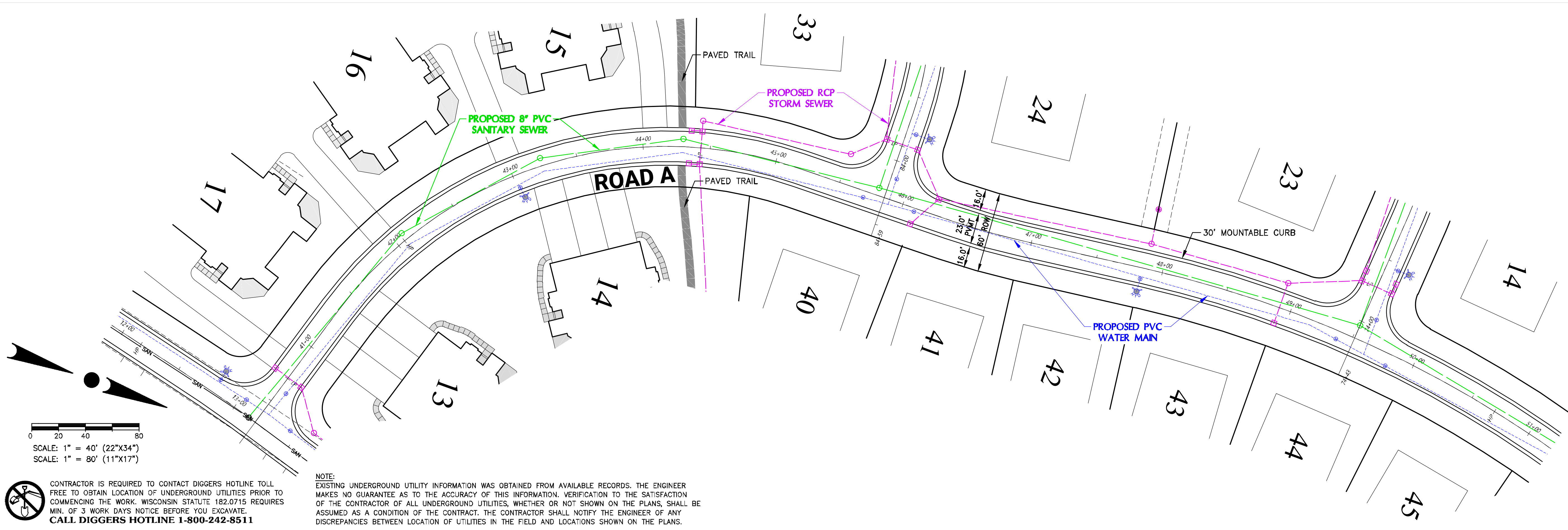
DATE:
 AUGUST 29, 2025

JOB NUMBER:
 25-01-796

DESCRIPTION:
 ROADWAY AND
 SANITARY SEWER
 PLAN & PROFILE

SHEET
C2.3

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_C2-UTIL_22X34.DWG



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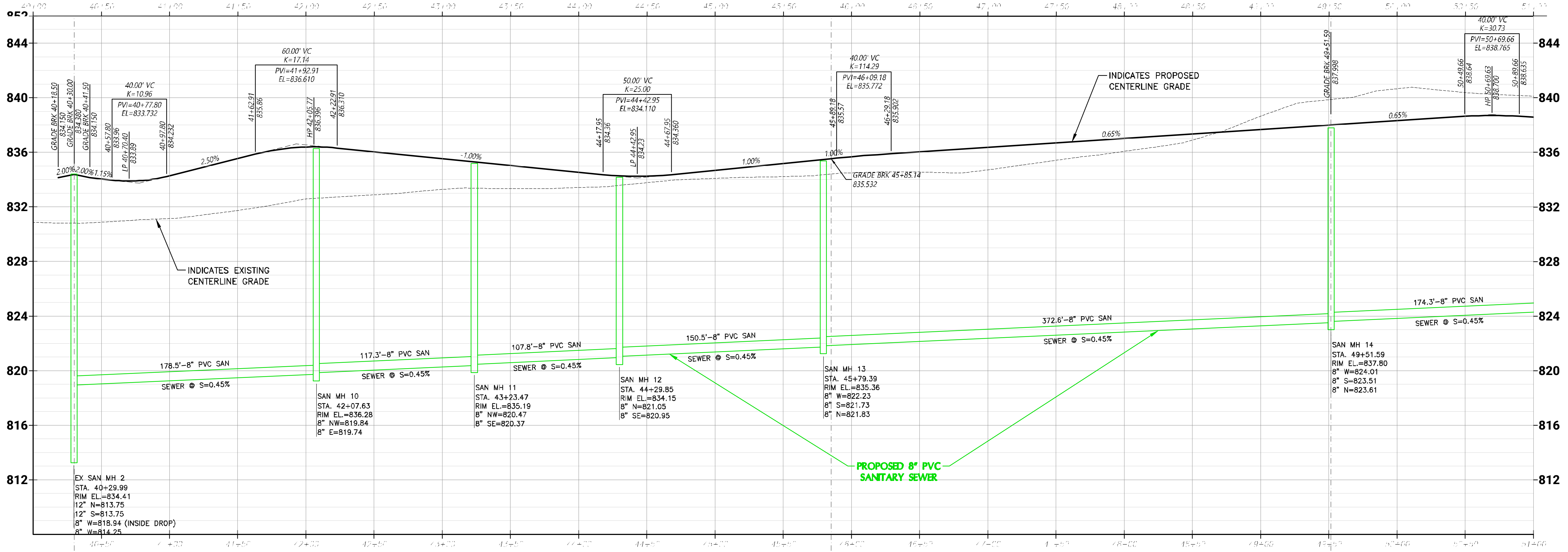
DATE:
AUGUST 29, 2025

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DESCRIPTION:
ROADWAY AND
SANITARY SEWER
PLAN & PROFILE

SHEET

C2.4



BRIARWOOD LN

COURT B

COURT A

X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_C2-UTIL_22X34.DWG



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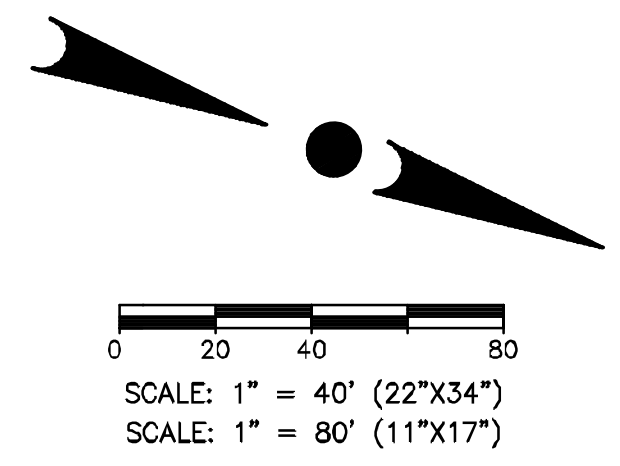
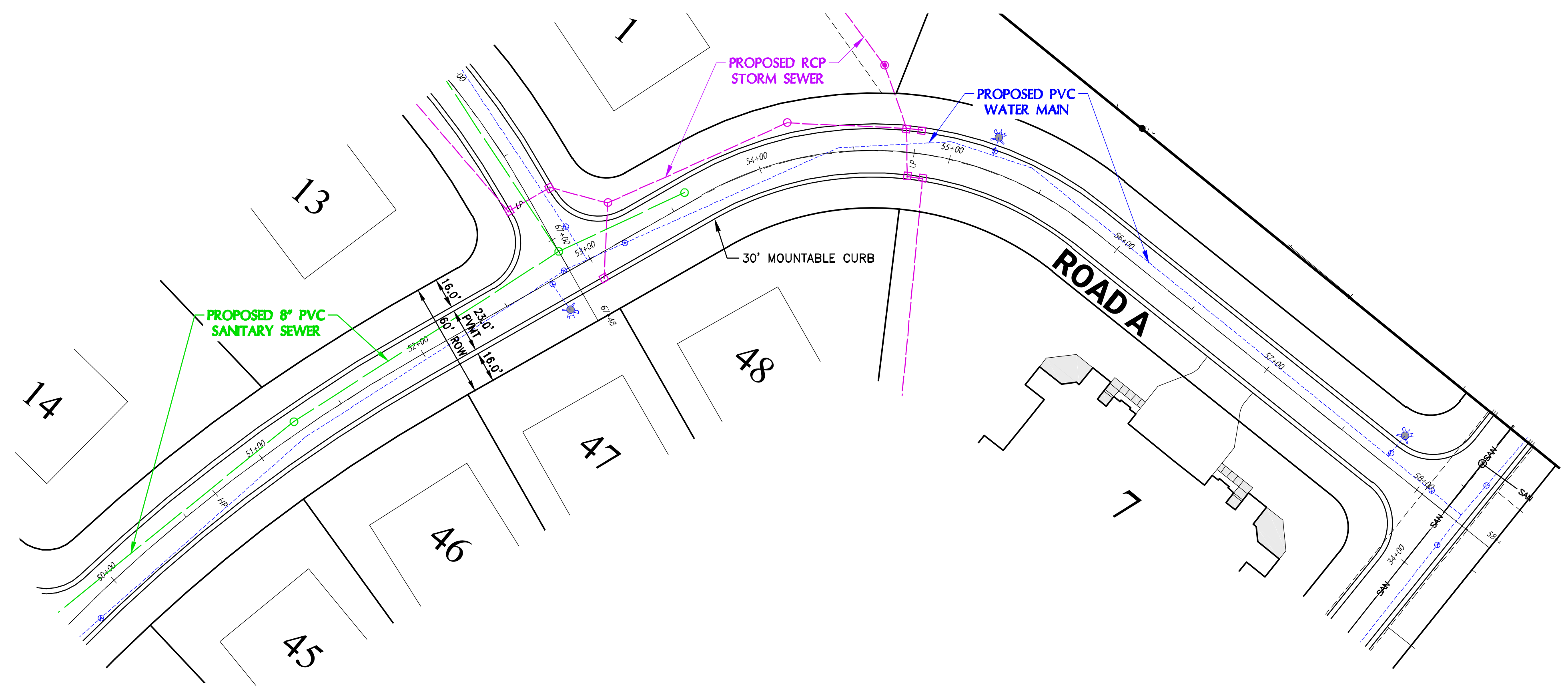
DATE:
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ROADWAY AND
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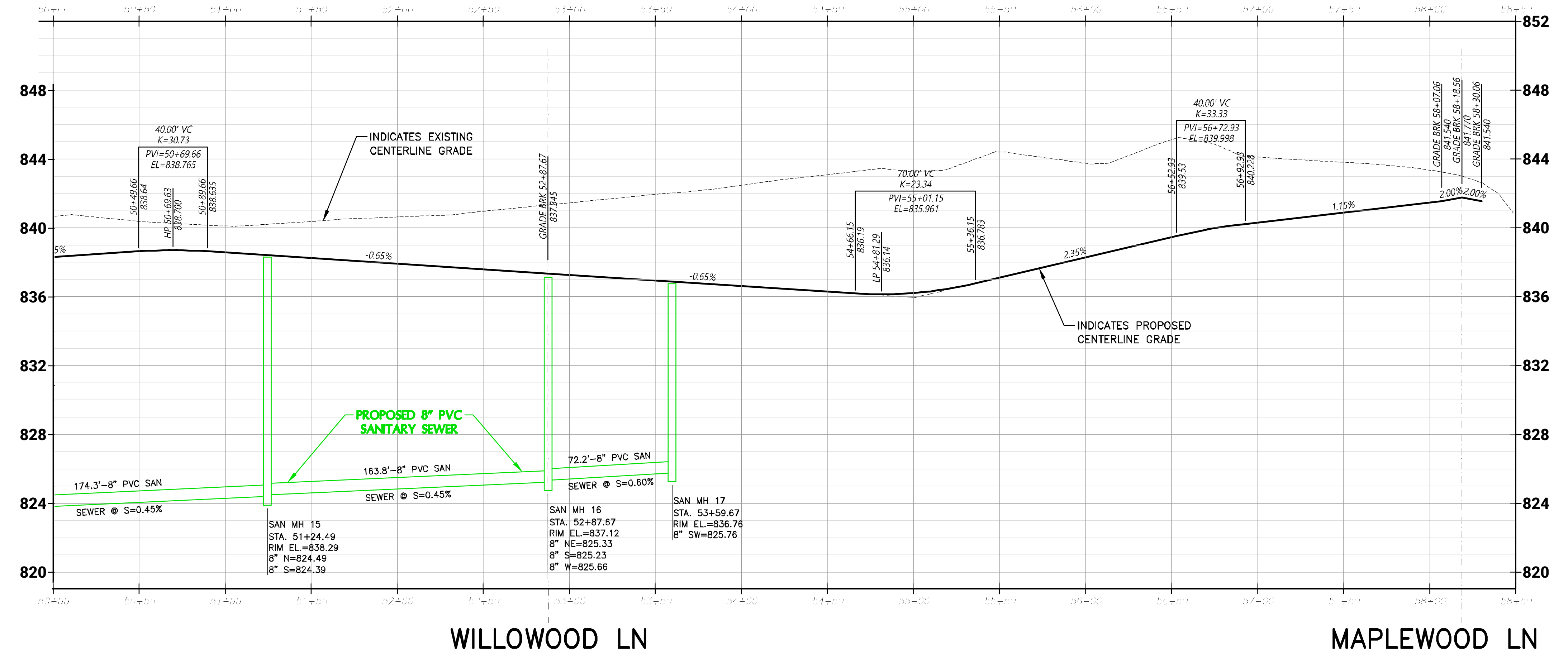
SHEET

C2.5



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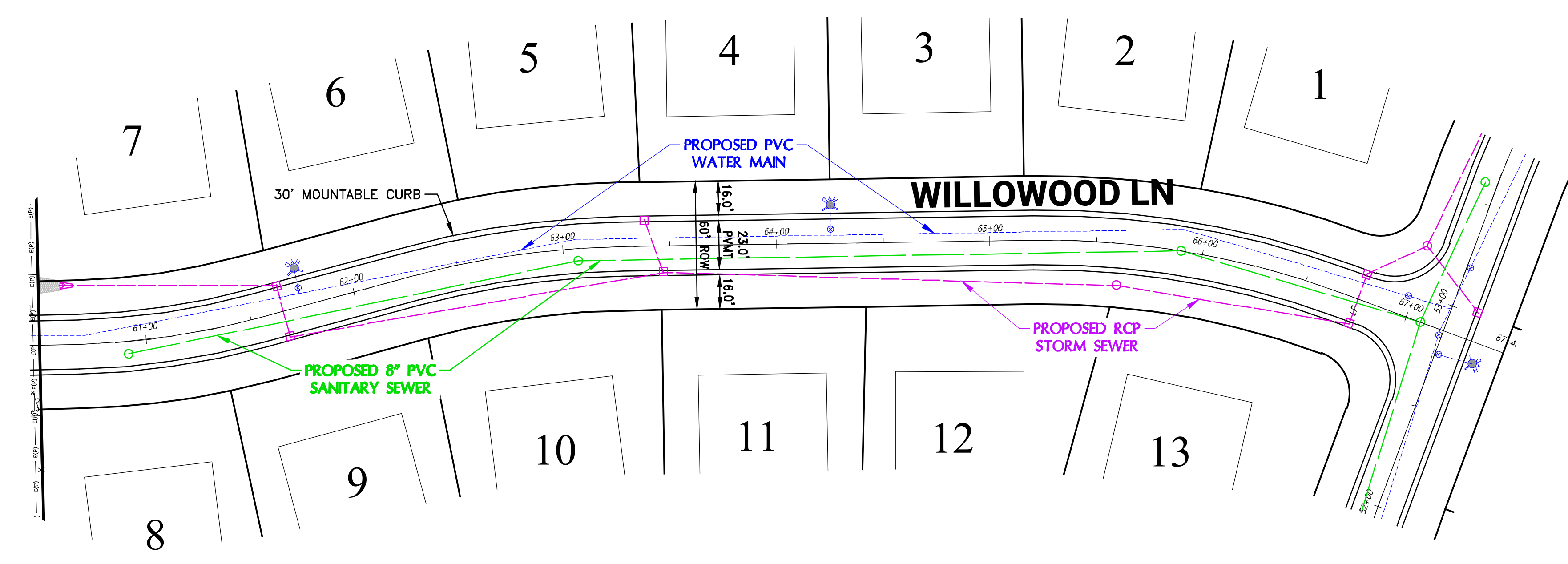
DATE:
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JOB NUMBER:
 25-01-796

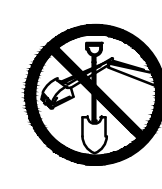
DESCRIPTION:
 ROADWAY AND
 SANITARY SEWER
 PLAN & PROFILE

SHEET

C2.6

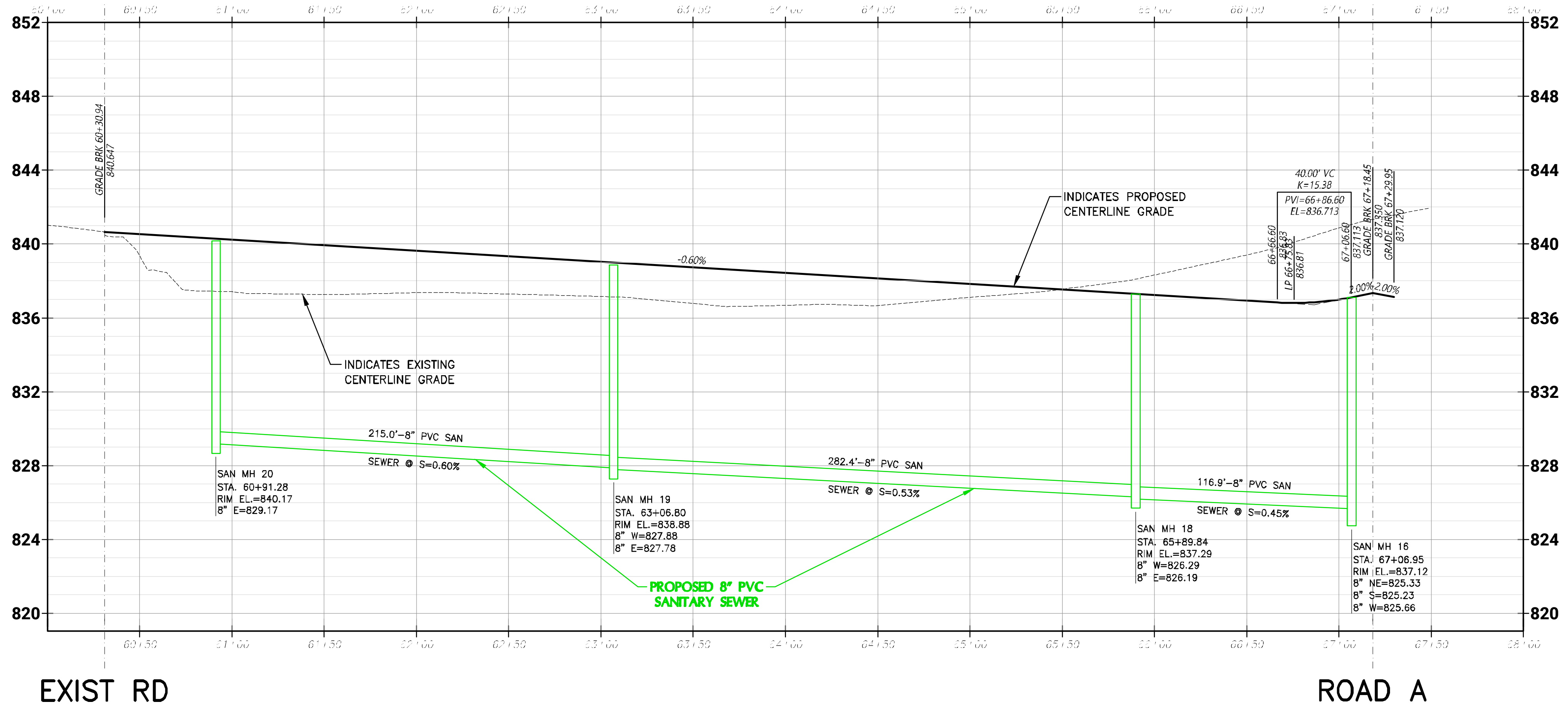


0 20 40 80
 SCALE: 1" = 40' (22"x34")
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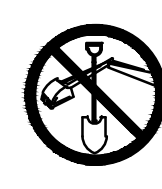
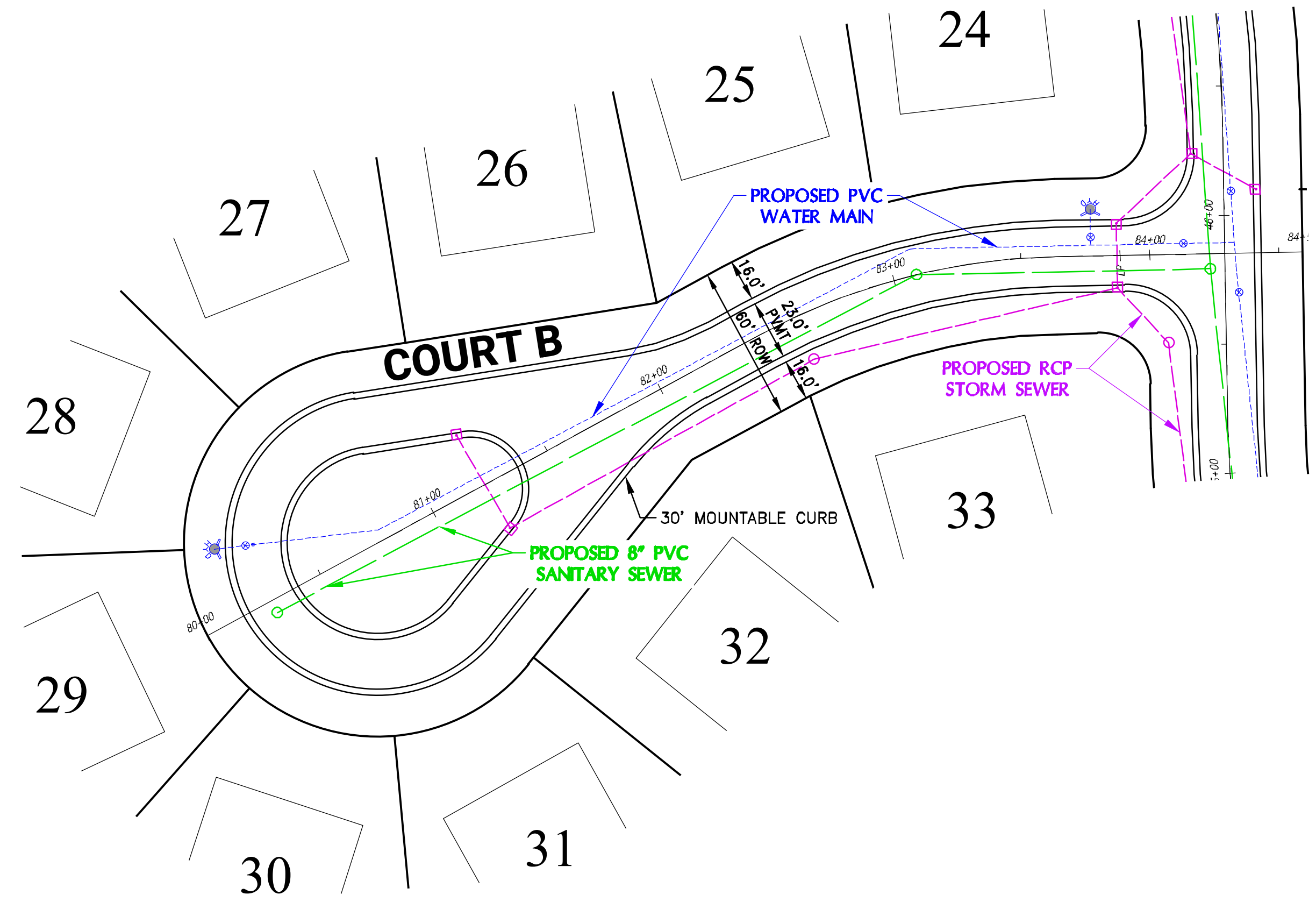
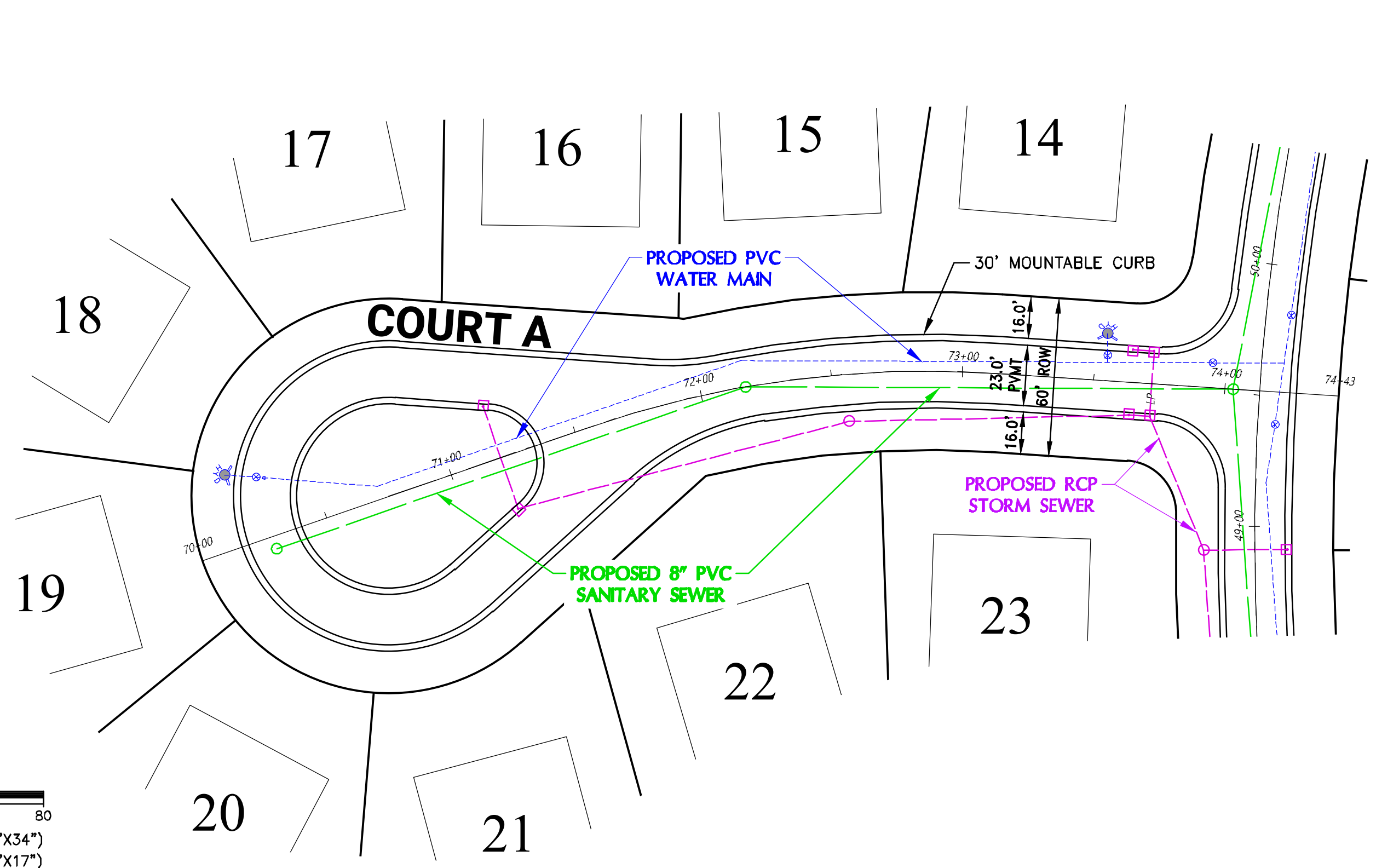
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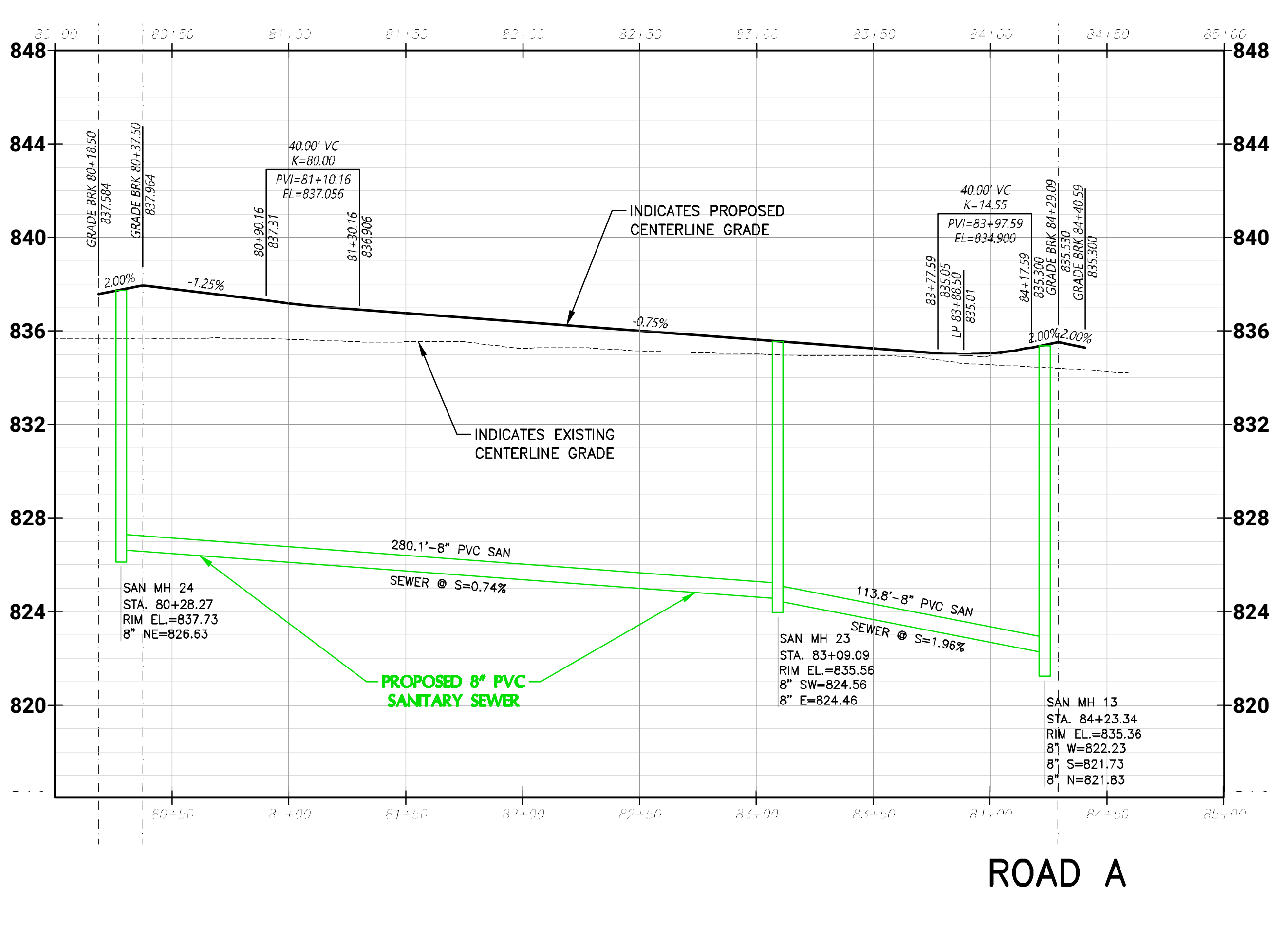
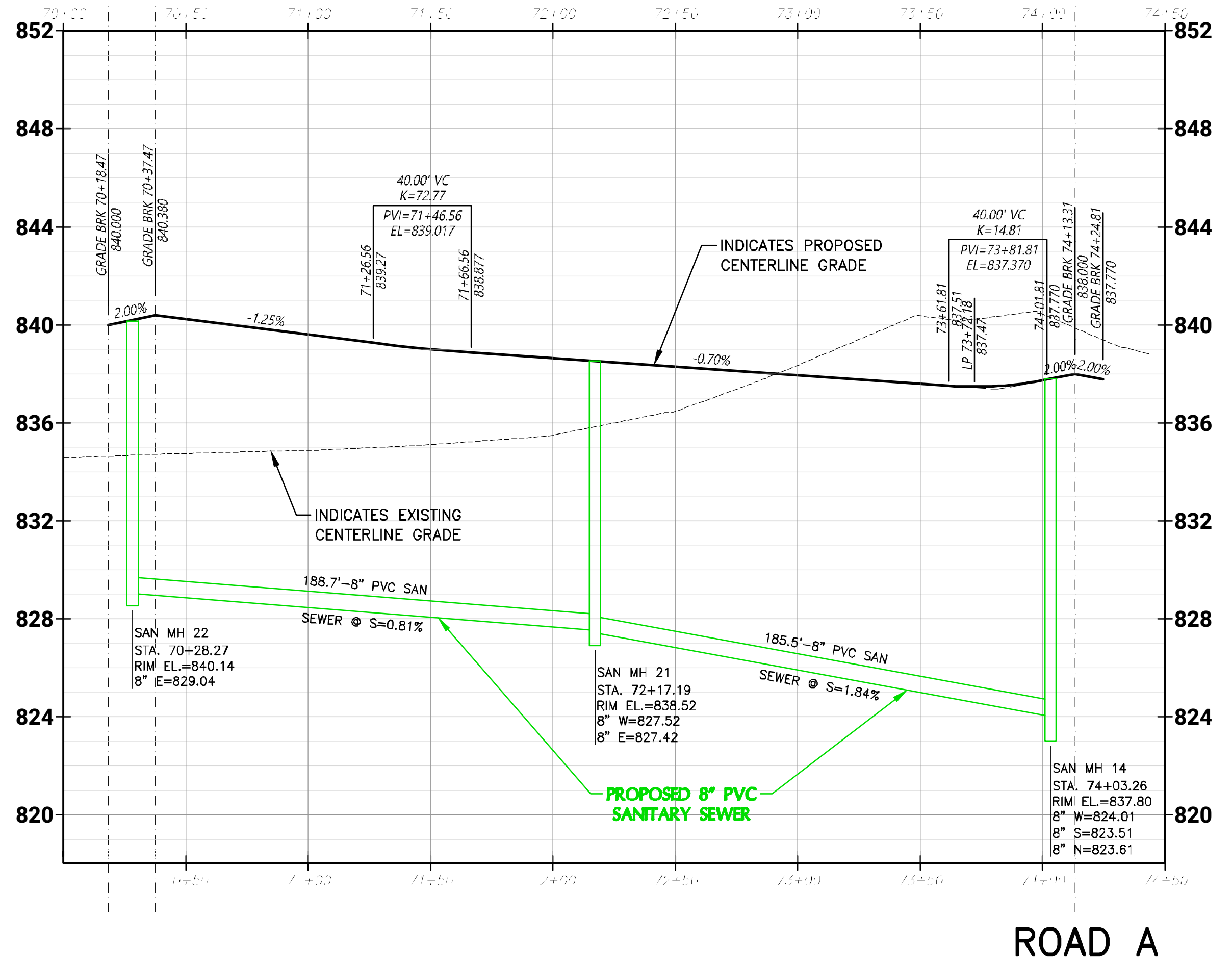
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SCALE: 1" = 40' (22"x34")
SCALE: 1" = 80' (11"x17")

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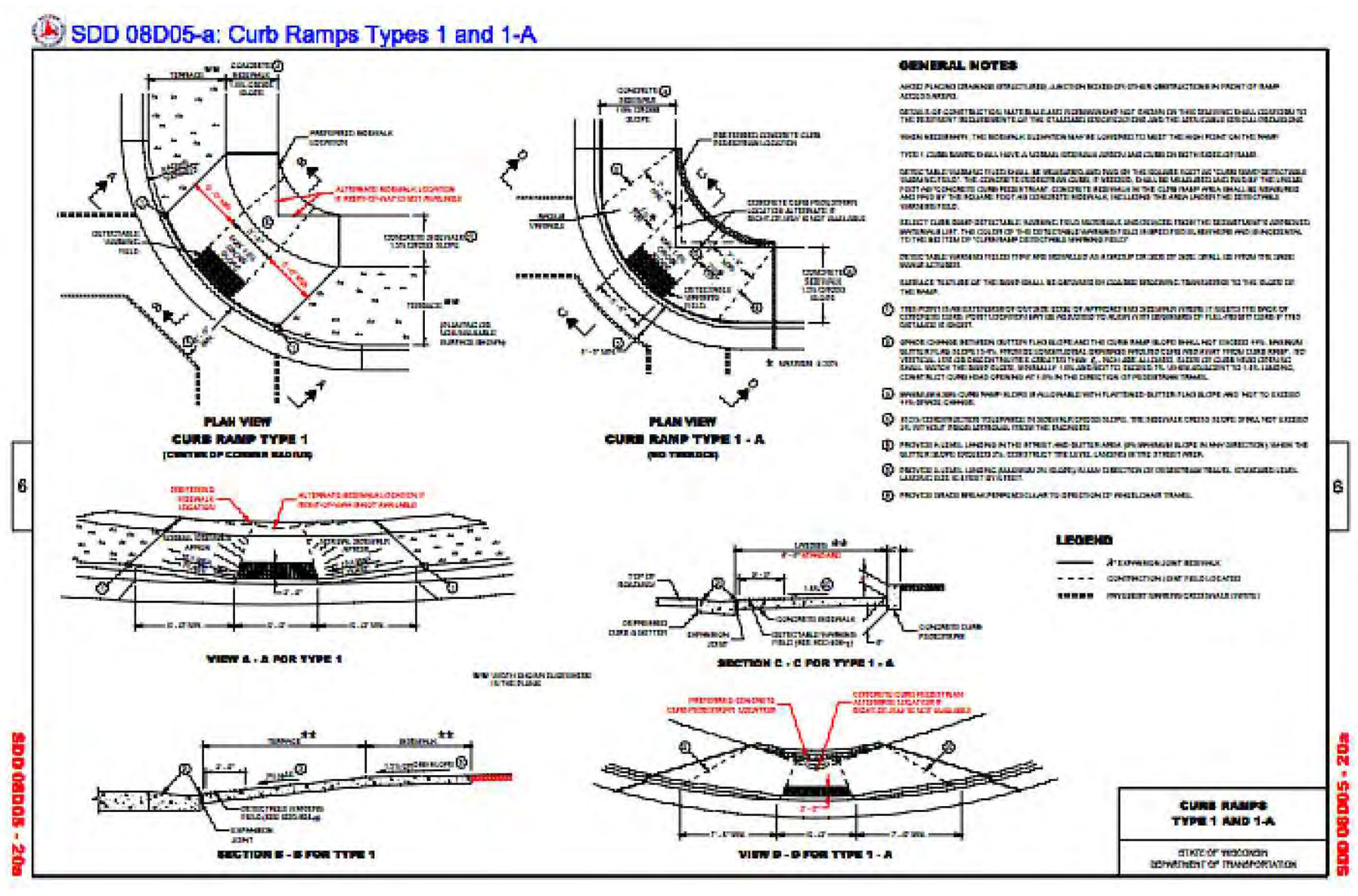
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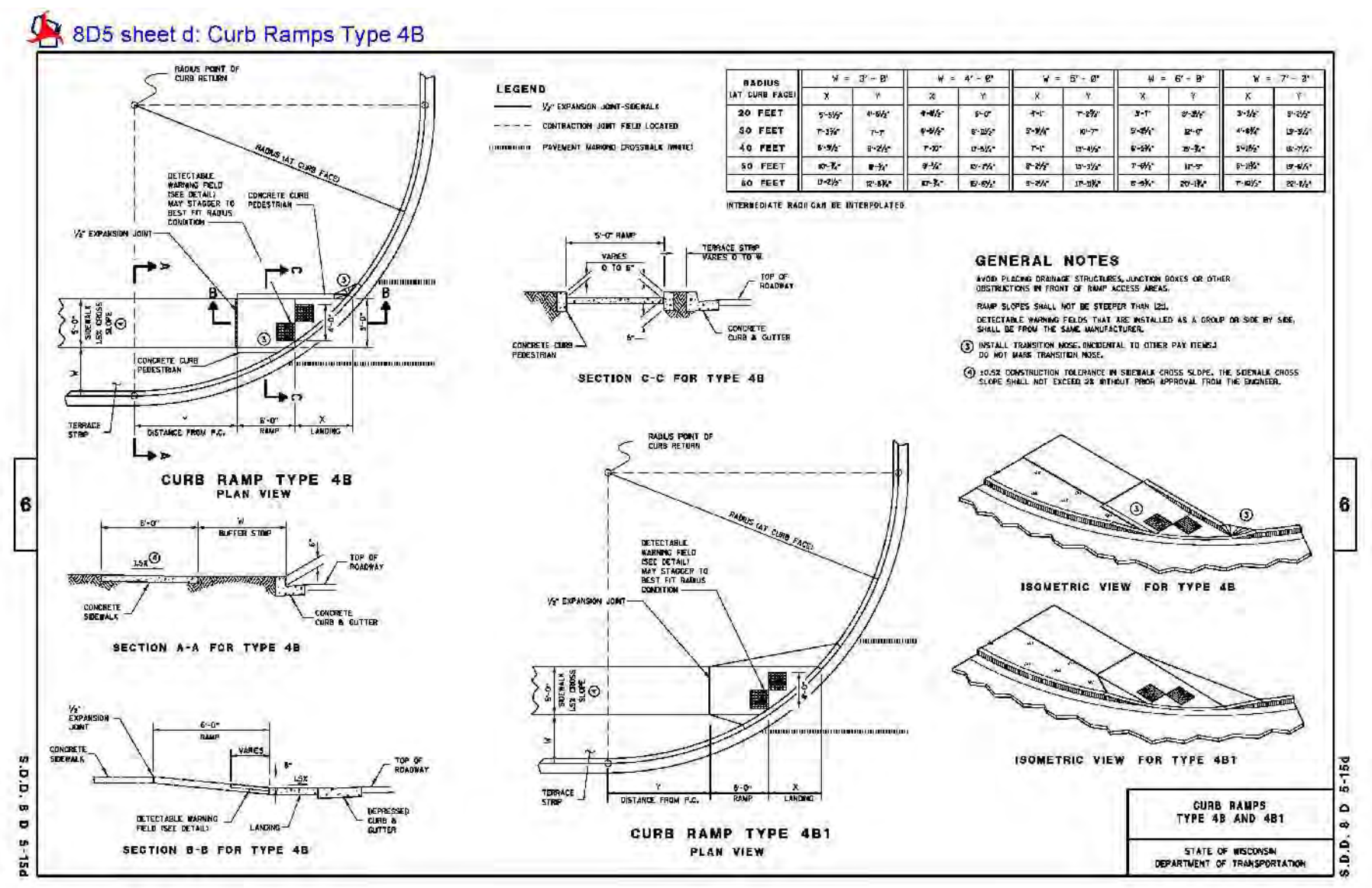
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CONSTRUCTION NOTES & DETAILS

SHEET

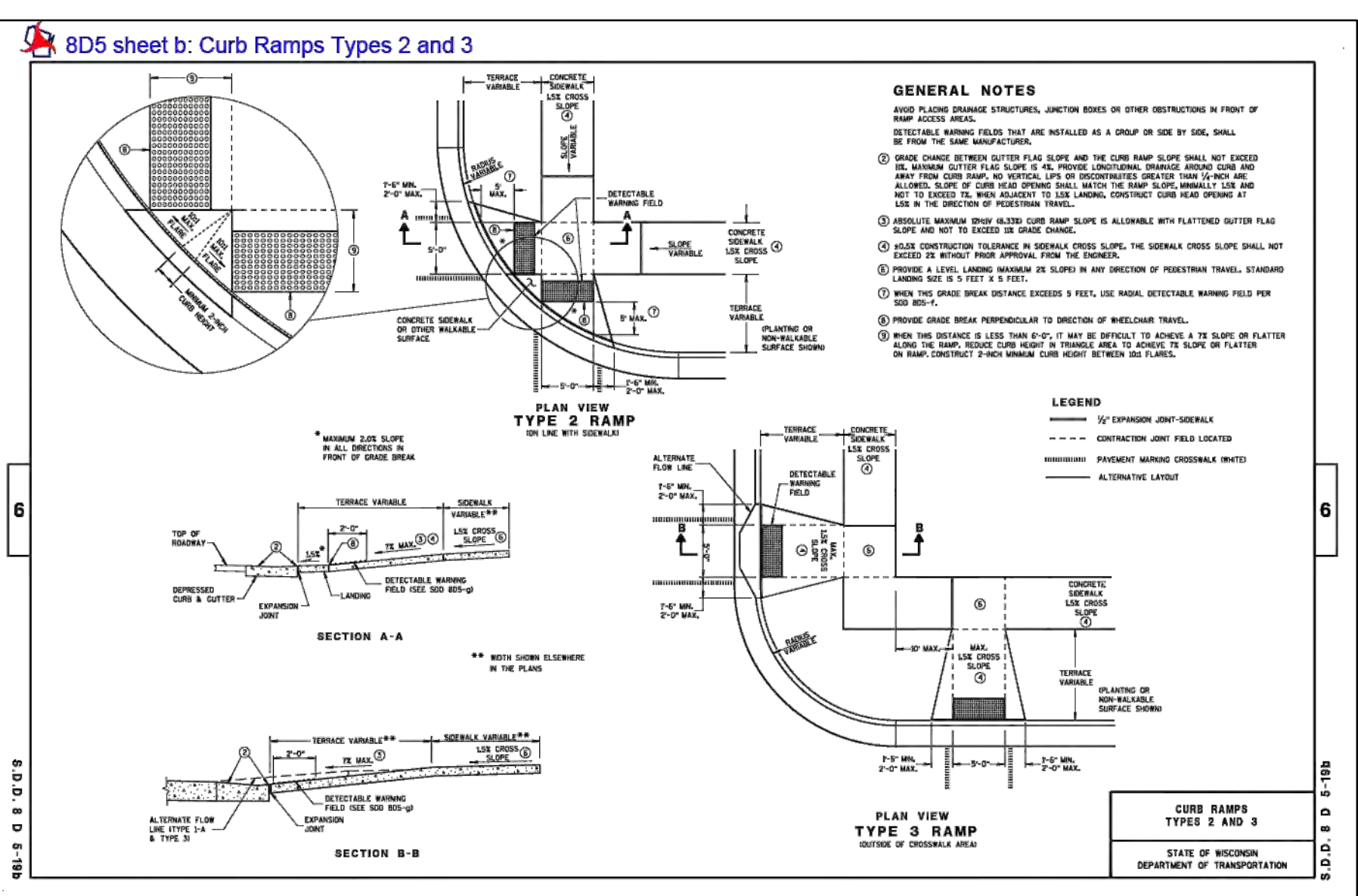
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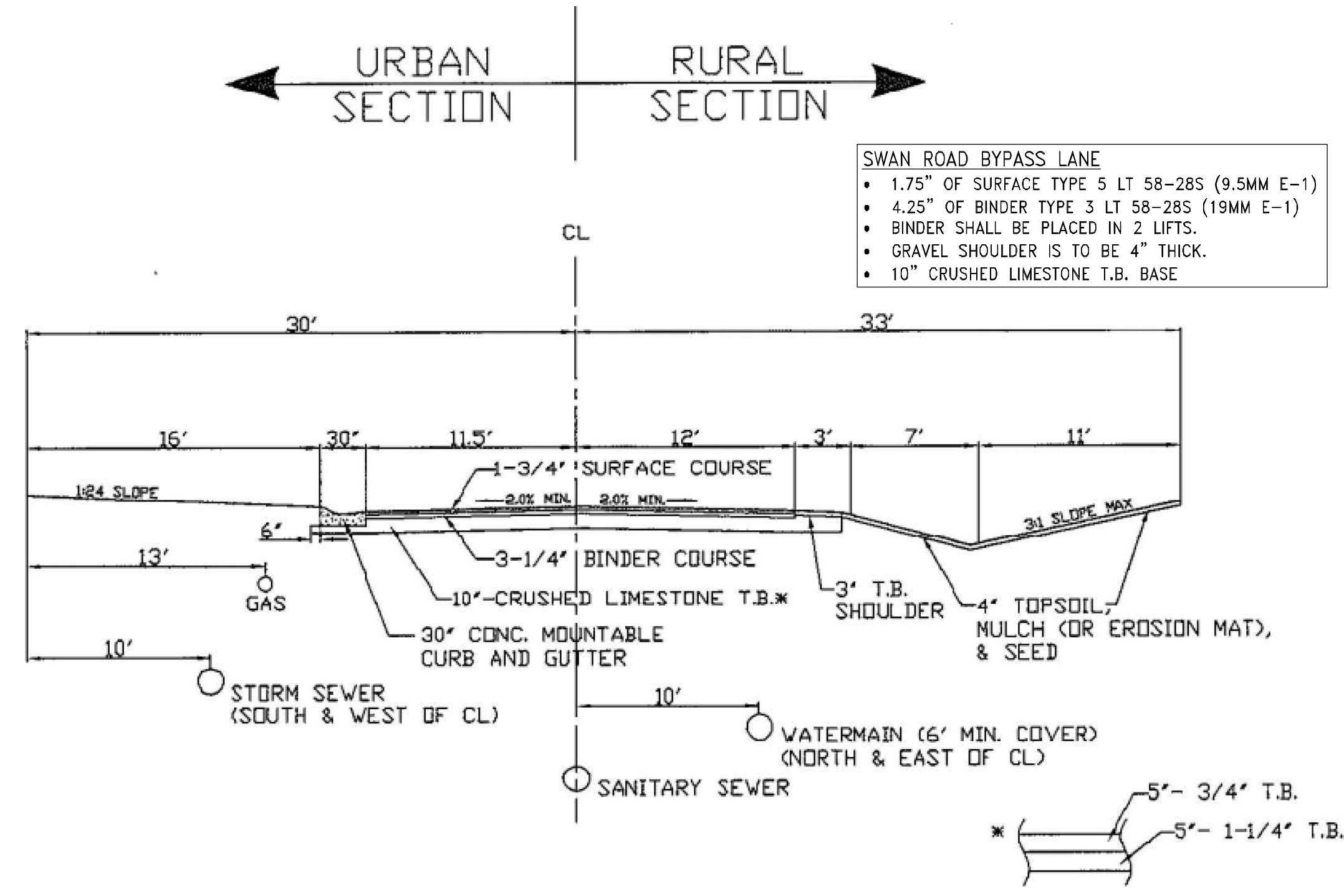
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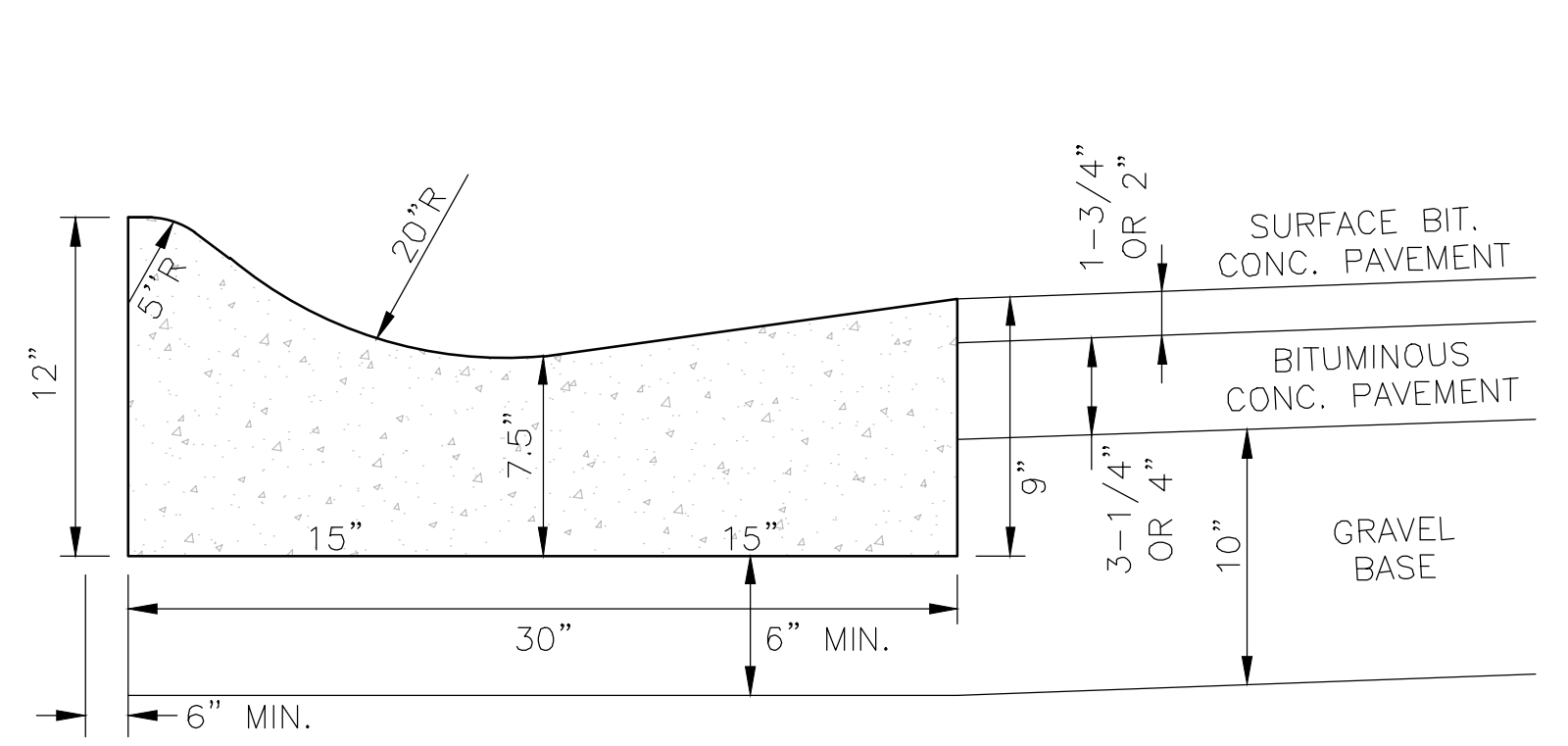
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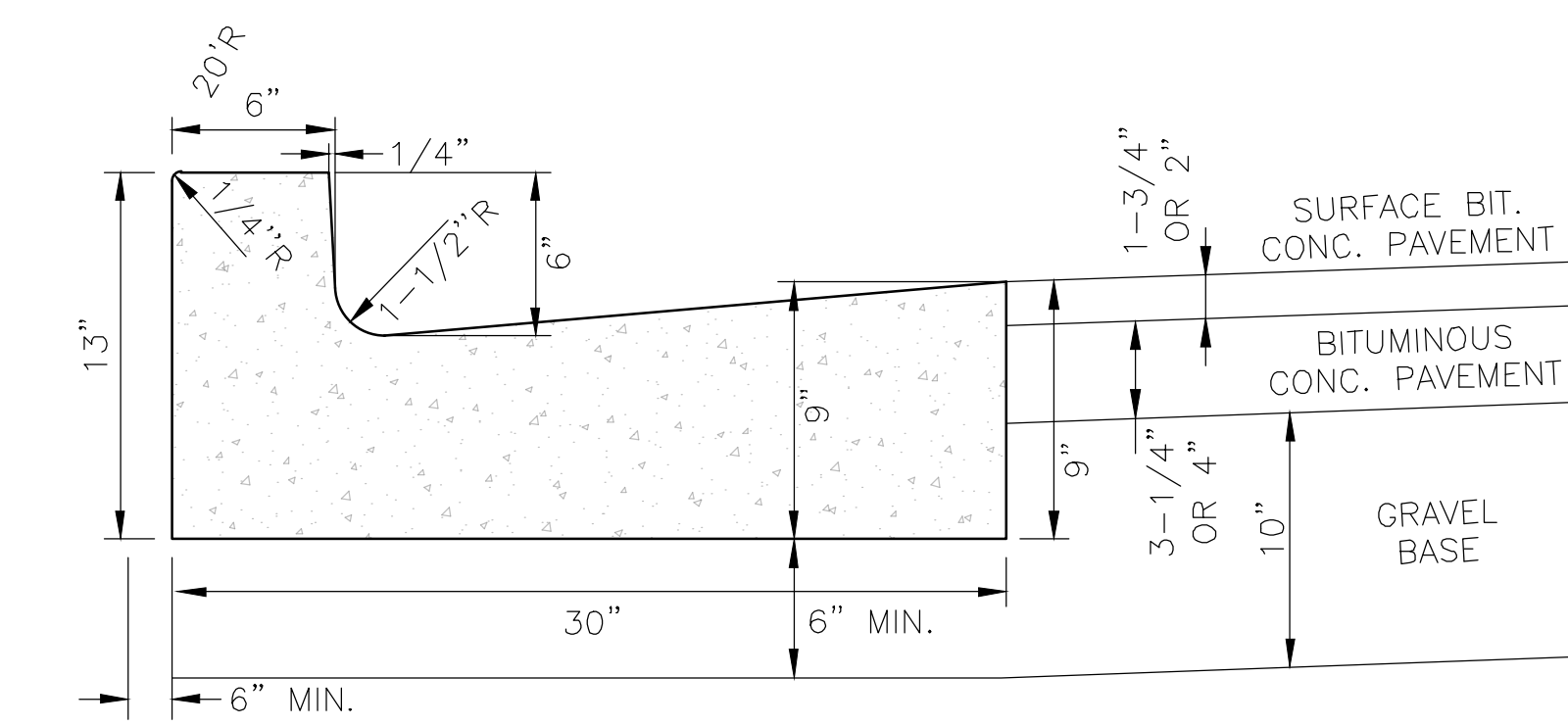
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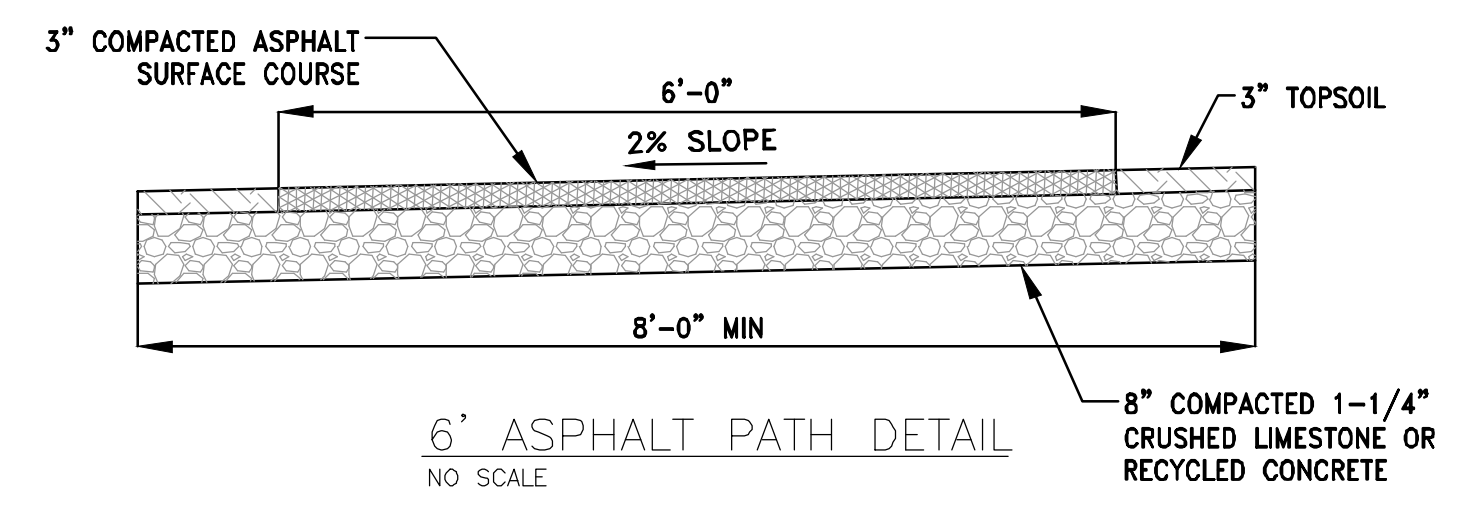
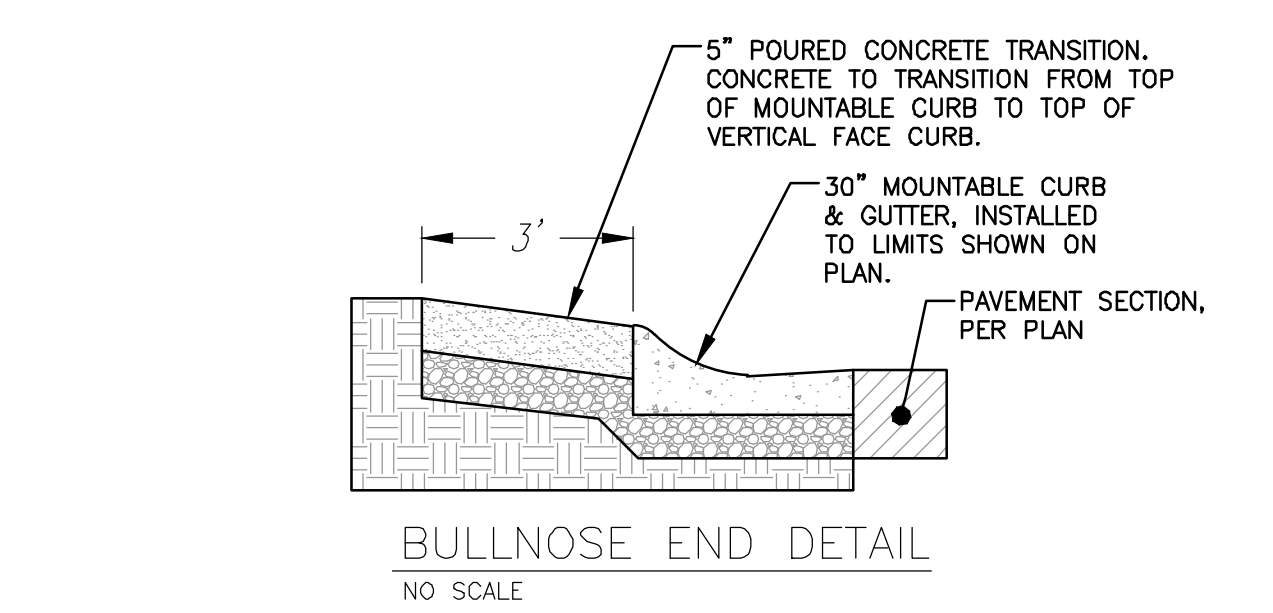
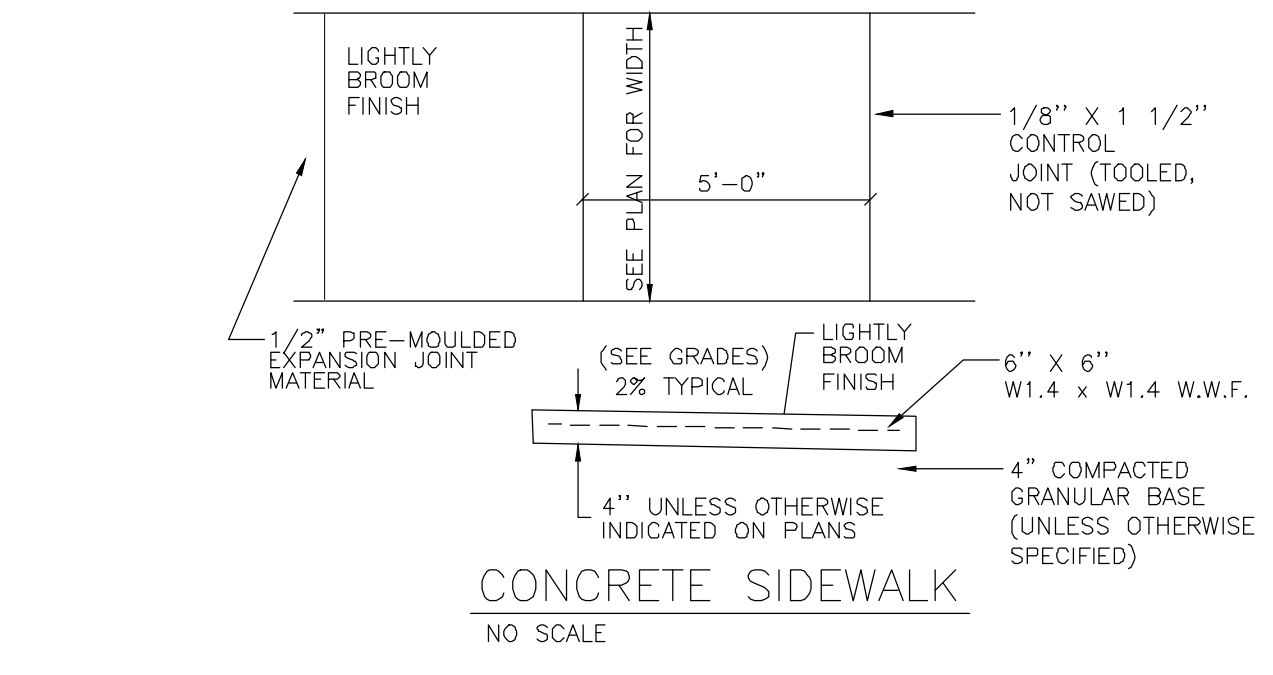
CITY OF PEWAUKEE PUBLIC ROAD DETAIL
NO SCALE



30" MOUNTABLE FACE CURB DETAIL
NO SCALE

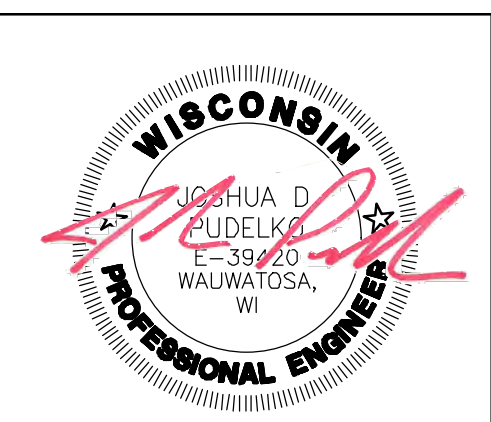
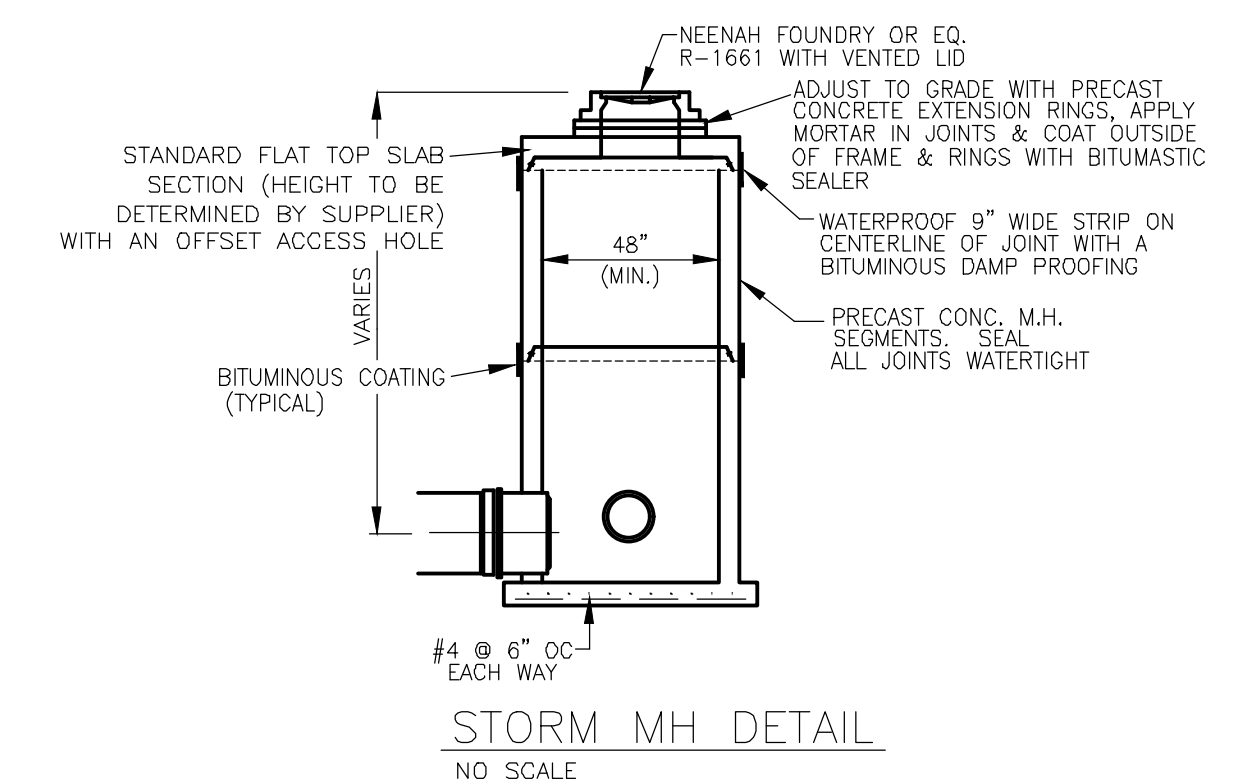
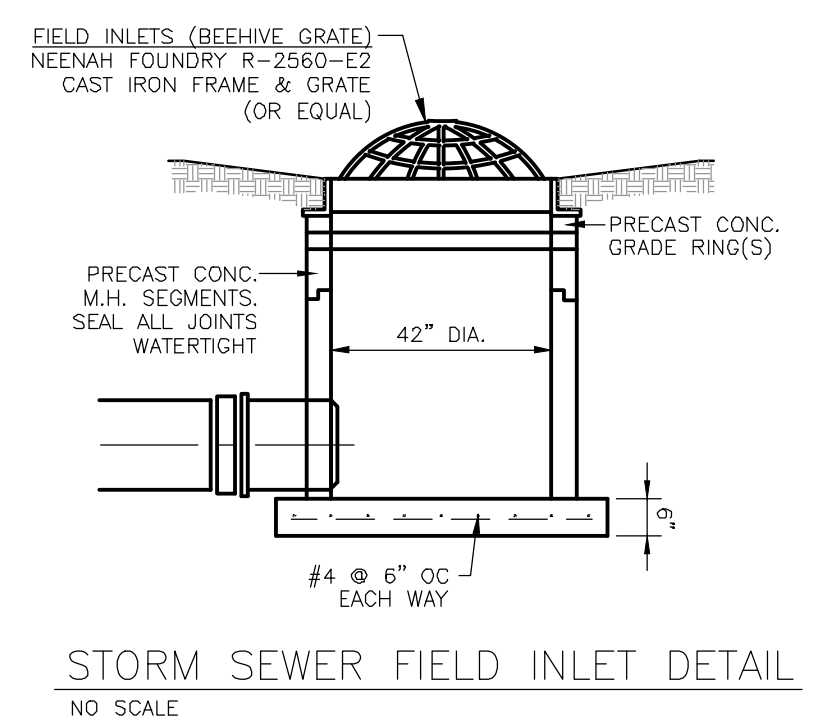
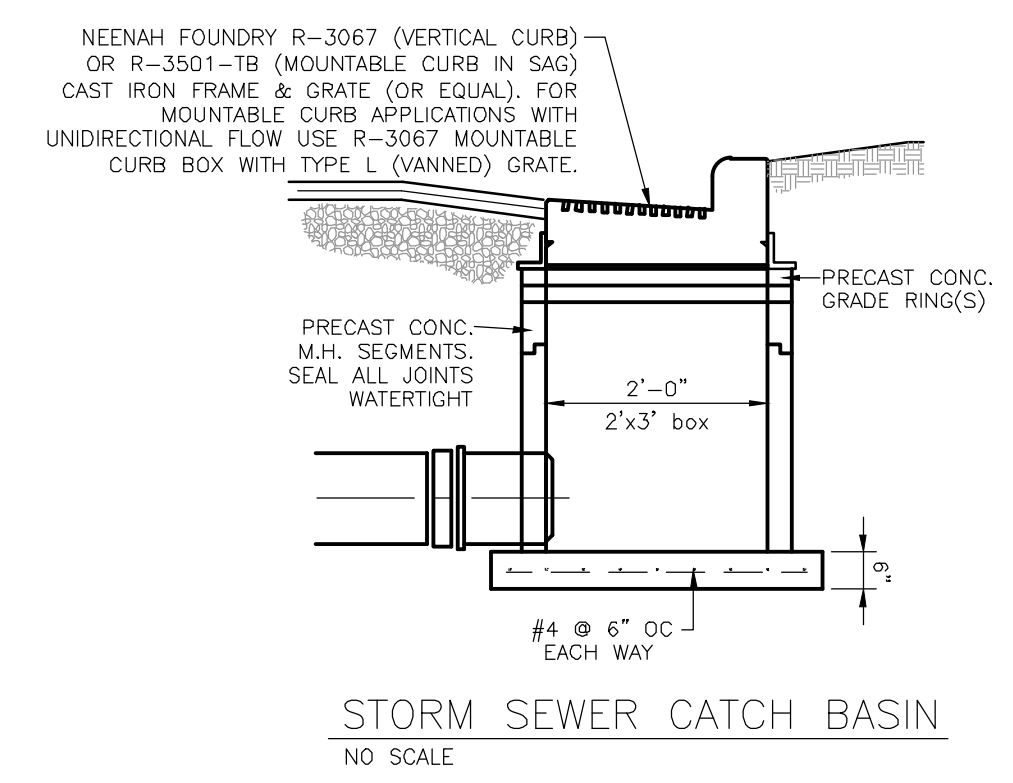
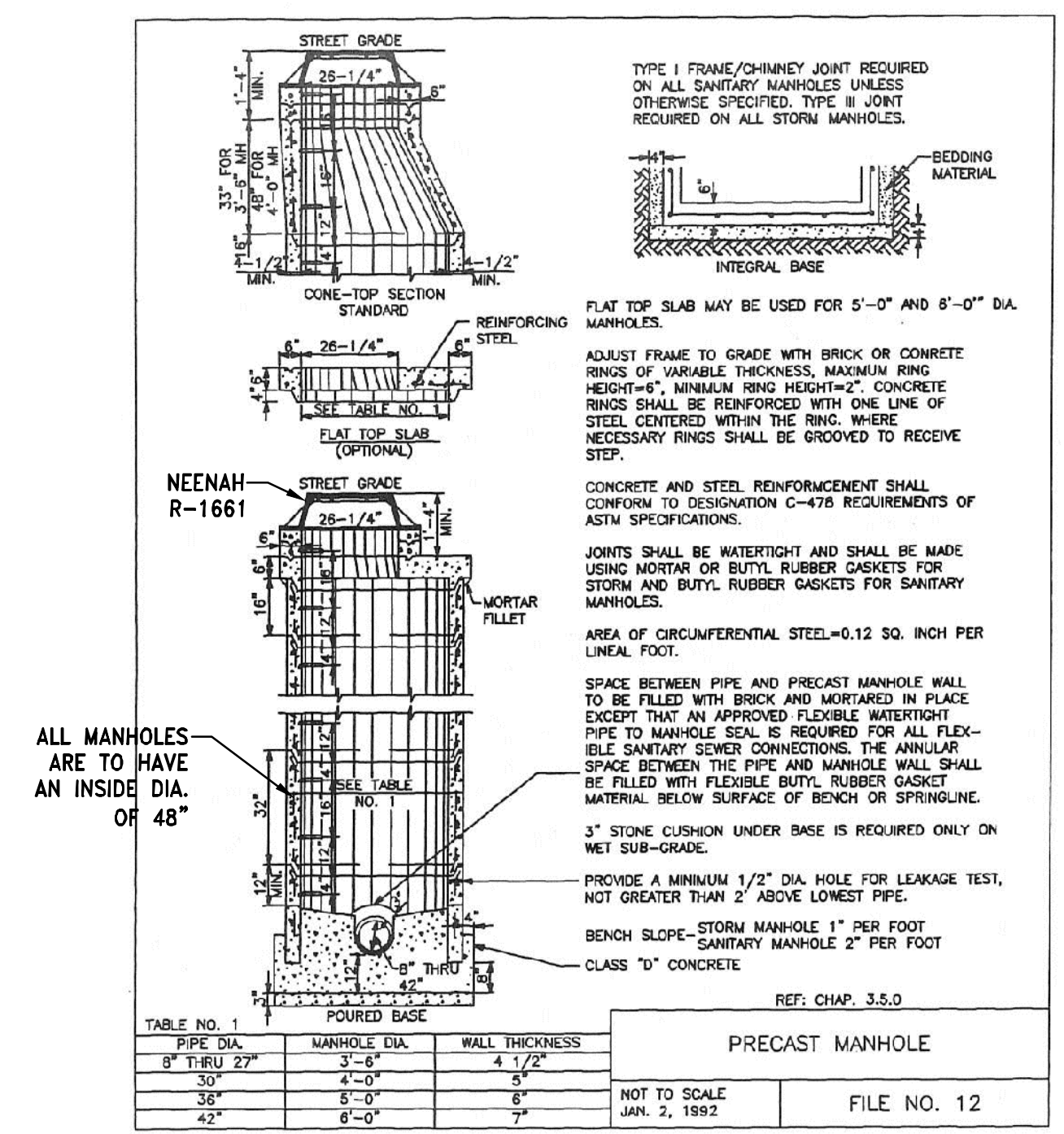
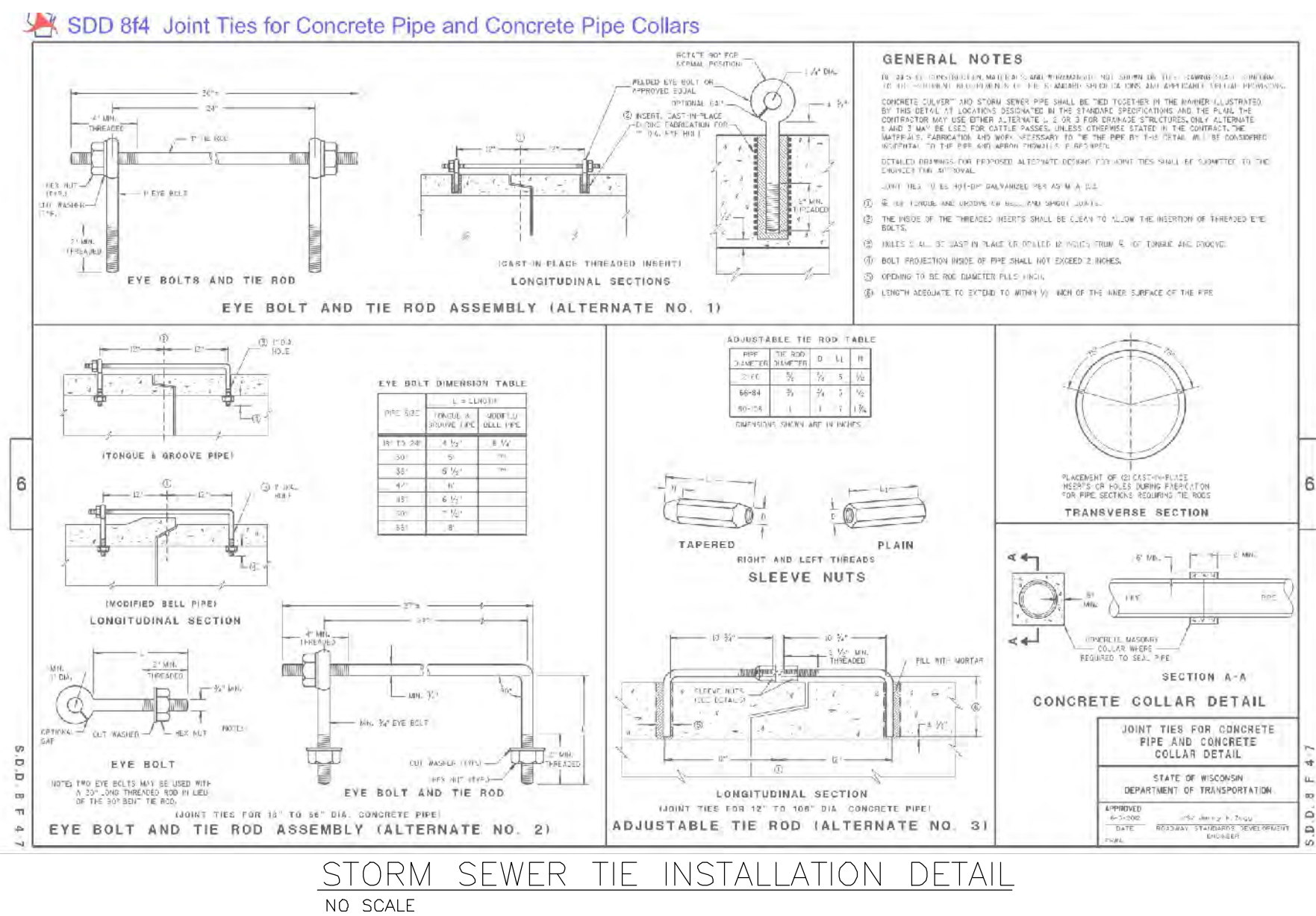


30" VERTICAL FACE CURB DETAIL
NO SCALE



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X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_C3-DET_22X34.DWG



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jfudels@trioeng.com

PROJECT:
ESSER PROPERTY
CITY OF PEWAUKEE, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY

DATE	DESCRIPTION
8/29/25	PRELIMINARY PLAN

DATE:
AUGUST 29, 2025

JOB NUMBER:
25-01-796

DESCRIPTION:
CONSTRUCTION
NOTES & DETAILS

SHEET

C3.1



Esser Development

City of Pewaukee
Waukesha County, Wisconsin

Preliminary

Storm Water Management Plan

Prepared by:



Trio Engineering LLC

4100 N. Calhoun Road
Brookfield, Wisconsin 53005
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Sound Stormwater Design LLC

Contact: Jayme Sisel, P.E.
Telephone: (414) 286-4739
Email: jayme.sisel@soundstormwater.com

September 2, 2025

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APPENDIX B	Post-Development Hydrologic Analysis
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Introduction

The “Esser Development” is a proposed multi-family and single-family residential development on a 58-acre parcel located at the address W220 N2475 Springdale Road, in the City of Pewaukee, Waukesha County, Wisconsin.

This report documents the design computations for existing and proposed conditions and presents a plan for stormwater management that meets the requirements of the City of Pewaukee and the Wisconsin Department of Natural Resources (WDNR).

Owner/ Developer

The owner, developer, and responsible entity for installation and maintenance of the stormwater management practices:

Cornerstone Development

N63 W23849 Main Street

Sussex, Wisconsin 53089

Contact: John Wahlen

Email: jw@cornerstonedevelopment.com

Phone: (262) 932-4188

Design Requirements

The following design standards have been used to develop the stormwater management plan for the “Esser Development” project:

- City of Pewaukee Stormwater Management Ordinance: Chapter 180, Erosion Control and Stormwater Management
- Wisconsin Department of Natural Resources (WDNR) Technical Standards, NR151, and NR216
- Summary of design requirements:
 - Peak Discharge:
 - The peak flow discharge rates of stormwater runoff from the site under the post-development site conditions shall not exceed the rates under the pre-development conditions for the 1, 2, 10, and 100-yr, 24-hr design storms.
 - Water Quality (Total Suspended Solids): Reduce to the maximum extent practicable the total suspended solids load by 80% for new development sites, based on an average annual rainfall, as compared to no runoff management controls.
 - Infiltration: For low impervious developments one of the following shall be met:
 - Infiltrate sufficient runoff volume so that the post-development infiltration volume shall be at least 90% of the pre-development infiltration volume, based on an average annual rainfall.
 - No more than 1% of the project site is required as an effective infiltration area.

Analysis Overview

The Stormwater Management Plan for the “Esser Development” has been designed in accordance with the City of Pewaukee’s requirements and all applicable state requirements. Existing and proposed stormwater runoff conditions for the site were analyzed for: runoff volume, peak volume, discharge, detention basin storage capacity required, outlet structure and storm sewer system requirements. The software package used for modeling and analysis was HydroCAD Version 10.10 software by HydroCAD Software Solutions. HydroCAD uses NRCS methods to generate runoff and pond routing hydrographs. The model’s capabilities include modeling simple drainage basins, combining hydrographs to determine runoff and storage requirements, and detention basin and outlet structure sizing.

MSE3 rainfall distributions were used for modeling the 1, 2, 10 and 100-year, 24-hour storm events. The corresponding rainfall data used for modeling was taken from the National Oceanic and Atmospheric Administration (NOAA) Atlas 14 Precipitation Frequency Tables for Wisconsin Counties and is shown in the following table.

TABLE 1
Design Rainfall Values

Storm Recurrence Interval	24-hour Rainfall Depths
1-year	2.38 inches
2-year	2.69 inches
10-year	3.80 inches
100-year	6.17 inches

Soil types for the site were determined from the NRCS Soil Survey Maps for Waukesha County. The Soil Survey identifies the soils at the site as mostly Type C soils (Theresa silt loam and Mayville silt loam), Type C/D soils (Brookston silt loam, Colwood silt loam, and Edwards muck), and Type B/D soils (Lamartine silt loam) with limited areas of Type D soils (Hochheim loam) and Type B soils (Fox silt loam). Based on this, a hydrologic soil group Type C was used to determine the runoff curve numbers for the site.

Pre-Development Watershed Description

The existing site consists of a 58-acre parcel located at W220 N2475 Springdale Road, in the City of Pewaukee, Wisconsin. The property is primarily vacant agricultural land with some areas of trees and an existing wetland area. A former farmstead and residential homes remain along the eastern boundary fronting Springdale Road. Surface drainage generally flows south to southeast, ultimately discharging into the existing wetland at the southeast corner of the site. The entire property drains to an unnamed tributary to the Fox River.

Figure 1, Pre-Development Conditions Plan, shows the location of the project site, land cover types, drainage subareas and flow paths. The following table summarizes the results of the stormwater model for pre-development conditions. Detailed hydrological computations are included in Appendix A.

TABLE 2
Pre-Development Site Conditions

Subarea or Junction	Description	Total Area (acres)	Impervious Area (acres)	Time of Conc. (min.)	Peak Flow Rate (cfs)			
					1-year	2-year	10-year	100-year
1	Subarea	18.89	0.09	16	10.38	14.63	32.39	77.25
1D	Existing Depression	-	-	-	0.00	0.00	0.00	12.45
2	Subarea	11.35	0.00	12	5.66	8.40	19.77	49.14
2D	Existing Depression	-	-	-	0.00	0.00	0.00	0.00
3	Subarea	36.42	0.52	38	9.82	14.28	33.86	85.65
1L	Pre-Development Outflow	66.66	0.61	-	9.82	14.28	33.86	85.65

Post-Development Site Drainage Description

The proposed development plan includes the construction of twenty-seven multi-family condominium units, a clubhouse with a parking lot and an outdoor sport court and pool, and forty-eight single-family residential homes. Calculations for the single-family lots are based on a 5,200 square-foot impervious footprint per lot. General assumptions were made for the types of impervious development per lot and are as follows: 20% drive, 18% sidewalk/patio, and 62% roof.

Stormwater management for the development will be provided by two (2) wet detention ponds, two (2) bioretention basins, and three (3) infiltration basins. The proposed development plan will disturb approximately 54 acres of area and will result in a net increase in impervious area of approximately 18.88 acres.

Figure 2, Post-Development Conditions Plan, shows the proposed land cover, grading, drainage boundaries, flow paths, and proposed site and stormwater management improvements. The following table summarizes the results of the hydrologic analysis for post-development conditions. Detailed hydrological computations are included in Appendix B.

TABLE 3
Post-Development Site Conditions

Subarea, Junction or Pond	Description	Total Area (acres)	Impervious Area (acres)	Time of Conc. (min.)	Peak Flow Rate (cfs)			
					1-year	2-year	10-year	100-year
1	Subarea	17.17	4.50	19	17.47	22.11	39.92	80.52
2	Subarea	2.38	0.52	7	3.20	4.13	7.75	16.19
1P/2B	Pond 1P & Infiltration Basin 2B	-	-	-	4.27	5.23	7.13	24.63
3	Subarea	16.38	7.78	23	19.56	23.97	40.38	76.37
3P	Pond 3P	-	-	-	0.72	1.36	8.57	51.86
4	Subarea	7.02	1.11	17	6.60	8.49	15.88	33.14
4B	Infiltration Basin 4B	-	-	-	3.72	4.96	7.93	8.80
5	Subarea	5.86	0.45	10	5.82	7.71	15.24	33.23
5D	Existing Depression 5D	-	-	-	0.33	0.34	0.43	0.73
6	Subarea	4.64	1.98	10	7.45	9.24	15.95	30.85
6B	Biofiltration Basin 6B	-	-	-	0.54	0.58	0.88	1.26
7	Subarea	0.82	0.28	6	1.39	1.74	3.09	6.13
7B	Infiltration Basin 7B	-	-	-	0.44	0.47	0.55	1.35
8	Subarea	2.71	1.53	10	5.49	6.62	10.71	19.53
8B	Biofiltration Basin 8B	-	-	-	1.43	1.70	2.59	3.62
9	Subarea	9.68	1.11	28	4.65	6.35	13.44	30.97
1L	Post-Development Outflow	66.66	19.26	-	6.57	8.53	17.74	84.15

Stormwater Detention Basin Design & Summary

The Stormwater Management Plan proposes two (2) wet detention ponds, two (2) bioretention basins, and three (3) infiltration basins as the primary means of stormwater management for the site. The ponds and basins have been designed with 4:1 side slopes, 10-foot top of berm widths, and overflow spillways set above the 100-year high water level.

Figure 2, Post-Development Conditions Plan, shows the location of the project site, land cover types, drainage subareas, flow paths, and proposed stormwater management improvements. The following table summarizes the results of the stormwater model for post-development conditions. Detailed hydrological computations are included in Appendix B.

TABLE 4
Routing Analysis Summary

<i>Pond 1P & Infiltration Basin 2B</i>				
Pond Details:		Pond Outlet Control:		
Bottom elevation = 824.1		6-inch diameter culvert pipe at I.E. 829.1		
Normal water elevation = 829.1		100-foot spillway at elevation = 830.8		
Top of berm elevation = 834.5				
Basin Details:		Basin Outlet Control:		
Bottom elevation = 829.0		0.13 inch/hour native infiltration rate (Table 2)		
Top of berm elevation = 834.5		36-inch diameter outlet pipe at I.E. 829.0		
		10-foot spillway at elevation = 833.5		
	1-year Storm	2-year Storm	10-year Storm	100-year Storm
Peak Inflow (cfs)	18.77	23.76	42.90	86.71
Peak Outflow (cfs)	4.27	5.23	7.13	24.63
Max Water Surface Elev.	830.82	831.13	832.12	833.46
Max Storage Volume (ac-ft)	1.13	1.36	2.21	3.73
<i>Pond 3P</i>				
System Details:		Outlet Control:		
Bottom elevation = 822.8		4-inch diameter orifice at I.E. 827.8		
Normal water elevation = 827.8		12-inch sharp-crested weir at I.E. 830.8		
Top of berm elevation = 834.2		60-inch horizontal grate at elevation 832.0		
		36-inch diameter outlet pipe at I.E. 827.8		
		15-foot spillway at elevation = 833.2		
	1-year Storm	2-year Storm	10-year Storm	100-year Storm
Peak Inflow (cfs)	23.41	29.06	46.50	76.37
Peak Outflow (cfs)	0.72	1.36	8.57	51.86
Max Water Surface Elev.	830.82	831.14	832.18	833.19
Max Storage Volume (ac-ft)	1.29	1.46	2.05	2.74
<i>Infiltration Basin 4B</i>				
System Details:		Outlet Control:		
Bottom elevation = 831.3		0.13 inch/hour native infiltration rate (Table 2)		
Top of berm elevation = 836.0		18-inch diameter outlet pipe at I.E. 831.3		
		10-foot spillway at elevation = 835.0		
	1-year Storm	2-year Storm	10-year Storm	100-year Storm
Peak Inflow (cfs)	6.60	8.49	15.88	33.14
Peak Outflow (cfs)	3.72	4.96	7.93	8.80
Max Water Surface Elev.	832.32	832.52	833.35	834.95
Max Storage Volume (ac-ft)	0.12	0.15	0.29	0.83

TABLE 4
Routing Analysis Summary

Existing Depression 5D				
System Details:		Outlet Control:		
Bottom elevation = 829.0		0.13 inch/hour native infiltration rate (Table 2)		
Top of berm elevation = 834.5		4-inch diameter orifice at I.E. 829.0		
		36-inch horizontal grate at elevation 832.5		
		12-inch diameter outlet pipe at I.E. 829.0		
		100-foot spillway at elevation = 833.5		
	1-year Storm	2-year Storm	10-year Storm	100-year Storm
Peak Inflow (cfs)	6.79	9.35	19.72	40.83
Peak Outflow (cfs)	0.33	0.34	0.43	0.73
Max Water Surface Elev.	830.09	830.32	831.10	832.55
Max Storage Volume (ac-ft)	0.56	0.76	1.57	3.52
Bioretention Basin 6B				
System Details:		Outlet Control:		
Bottom of engineered soil elevation = 827.8		0.13 inch/hour native infiltration rate (Table 2)		
Top of engineered soil elevation = 829.3		4-inch diameter underdrain at I.E. 827.8		
Top of berm elevation = 834.6		4-inch diameter orifice at I.E. 829.8		
		36-inch horizontal grate at elevation 832.0		
		12-inch diameter outlet pipe at I.E. 827.8		
		10-foot spillway at elevation = 833.6		
	1-year Storm	2-year Storm	10-year Storm	100-year Storm
Peak Inflow (cfs)	7.57	9.41	16.08	30.85
Peak Outflow (cfs)	0.54	0.58	0.88	1.26
Max Water Surface Elev.	829.63	829.84	830.46	831.89
Max Storage Volume (ac-ft)	0.26	0.34	0.58	1.25
Infiltration Basin 7B				
System Details:		Outlet Control:		
Bottom elevation = 831.0		0.13 inch/hour native infiltration rate (Table 2)		
Top of berm elevation = 834.5		4-inch diameter orifice at I.E. 831.0		
		36-inch horizontal grate at elevation 833.25		
		10-foot spillway at elevation = 833.5		
	1-year Storm	2-year Storm	10-year Storm	100-year Storm
Peak Inflow (cfs)	1.39	1.74	3.09	6.13
Peak Outflow (cfs)	0.44	0.47	0.55	1.35
Max Water Surface Elev.	832.09	832.25	832.71	833.33
Max Storage Volume (ac-ft)	0.01	0.02	0.05	0.11
Bioretention Basin 8B				
System Details:		Outlet Control:		
Bottom of engineered soil elevation = 826.0		0.13 inch/hour native infiltration rate (Table 2)		
Top of engineered soil elevation = 827.5		6-inch diameter underdrain at I.E. 826.0		
Top of berm elevation = 832.5		6-inch diameter orifice at I.E. 828.5		
		36-inch horizontal grate at elevation 831.25		
		12-inch diameter outlet pipe at I.E. 826.0		
		10-foot spillway at elevation = 831.5		
	1-year Storm	2-year Storm	10-year Storm	100-year Storm
Peak Inflow (cfs)	6.31	7.51	11.64	20.75
Peak Outflow (cfs)	1.43	1.70	2.59	3.62
Max Water Surface Elev.	828.53	828.78	829.59	831.27
Max Storage Volume (ac-ft)	0.14	0.17	0.28	0.57

Peak Discharge Summaries

The stormwater management system will maintain post-development peak discharge rates to be no greater than pre-development discharge rates for the 1, 2, 10, and 100-year, 24-hour design storms. This is in accordance with the City of Pewaukee's stormwater discharge criteria. The following table compares the results of the analysis from a peak discharge standpoint.

TABLE 5
Comparison of Peak Discharge

	Pre-Development		Post-Development
1-year	9.82 cfs	>	6.57 cfs
2-year	14.28 cfs	>	8.53 cfs
10-year	33.86 cfs	>	17.74 cfs
100-year	85.65 cfs	>	84.15 cfs

Water Quality

The City of Pewaukee requires new development sites to be designed to remove 80 percent of TSS, based on an average annual rainfall as compared to no runoff management controls. Stormwater quality was analyzed using winSLAMM Version 10.5.0 software, developed by Robert Pitt and John Voorhees. The results of the winSLAMM analysis indicate that approximately 80.0 percent of TSS will be removed from stormwater as a result of the proposed bioretention and infiltration basins. In addition, approximately 62.6 percent of total phosphorus will be removed. Detailed computations are included in Appendix C.

Infiltration

The City of Pewaukee requires low imperviousness developments to infiltrate sufficient runoff volume so that the post-development infiltration volume is at least 90% of the pre-development infiltration volume, based on an average annual rainfall. However, no more than 1% of the project site is required as an effective infiltration area.

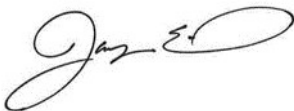
The development plan will disturb approximately 54 acres of area. In accordance with the City's ordinance, the maximum effective infiltration area required is approximately 0.54 acres (1% of the project site). The two proposed bioretention basins and three infiltration basins will provide a total effective infiltration area of approximately 0.86 acres which exceeds the 1% requirement. Based on this, the site meets the requirements for infiltration.

Conclusion

The proposed development will maintain compliance with the City of Pewaukee and the WDNR's requirements for control of stormwater quantity, quality, and infiltration. We request, on behalf of Cornerstone Development, approval of this Stormwater Management Plan to allow for construction of the Esser Development.

Prepared by:

SOUND STORMWATER DESIGN LLC



Jayme Sisel, P.E.

FIGURES

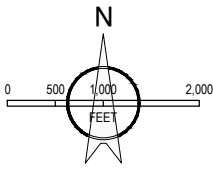
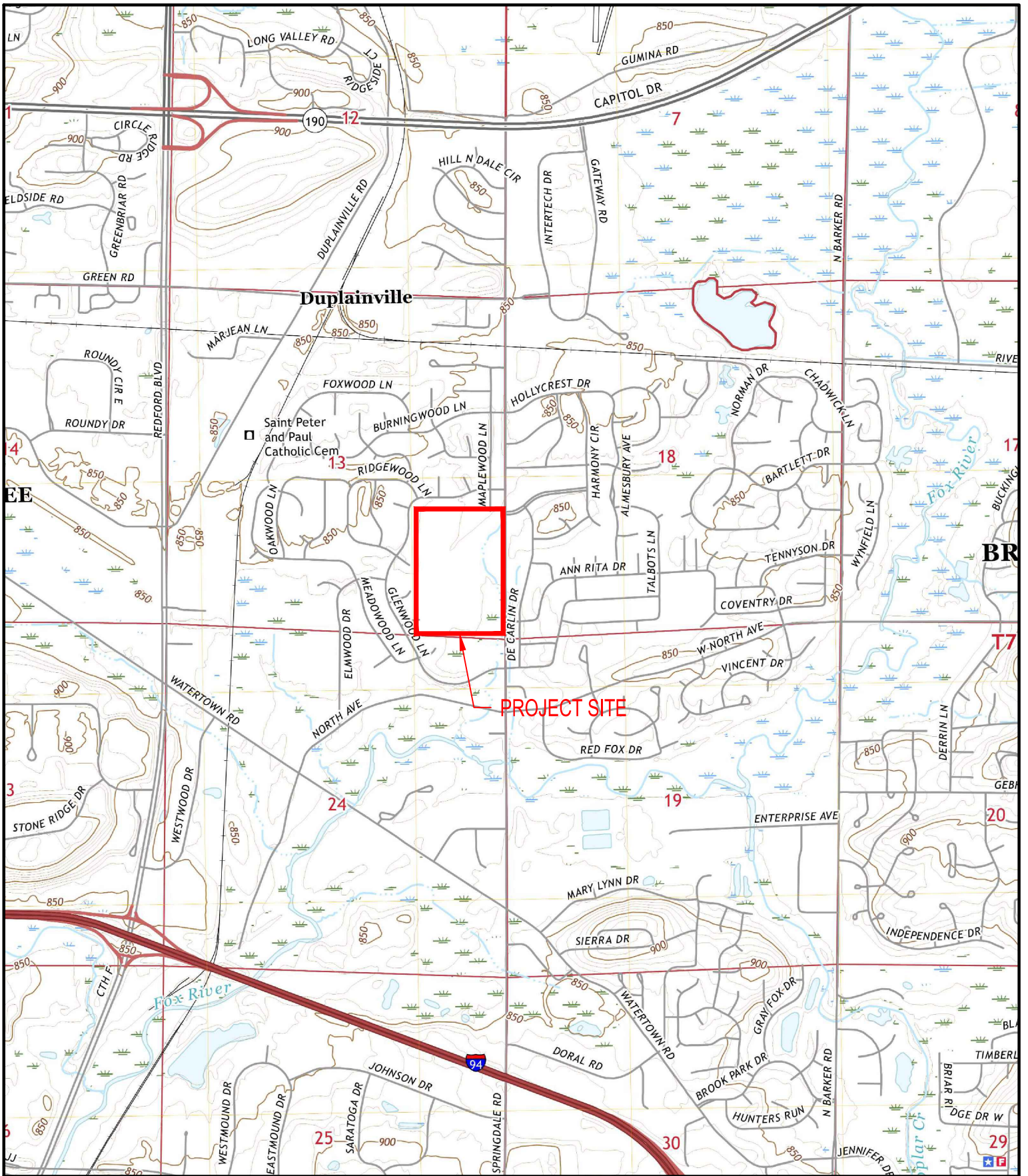


FIGURE 1

SITE LOCATION MAP
ESSER DEVELOPMENT
SPRINGDALE DRIVE
PEWAUKEE, WISCONSIN

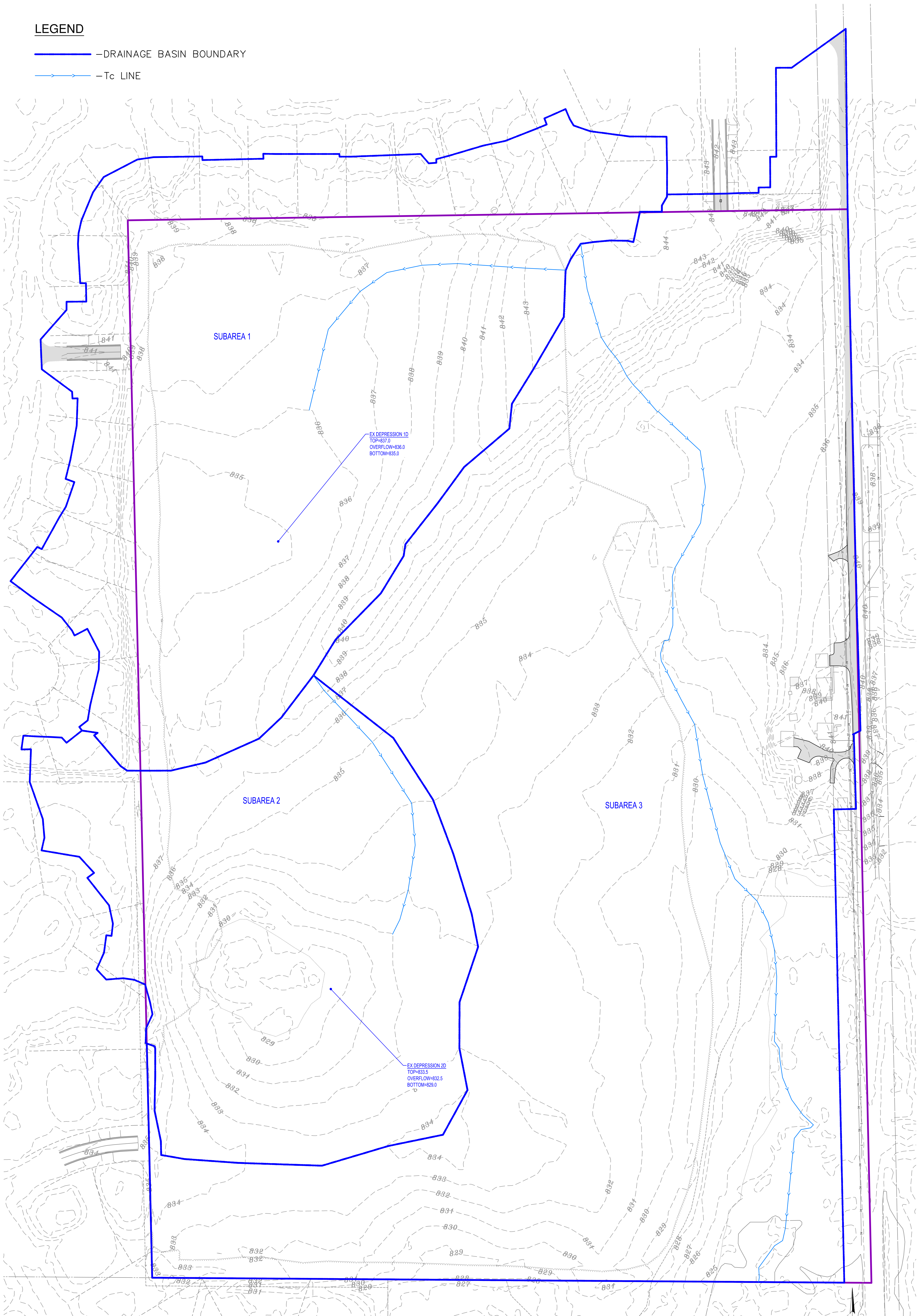


SOUND STORMWATER
 DESIGN

LEGEND

—DRAINAGE BASIN BOUNDARY

—Tc LINE



PRE-DEVELOPMENT CONDITIONS

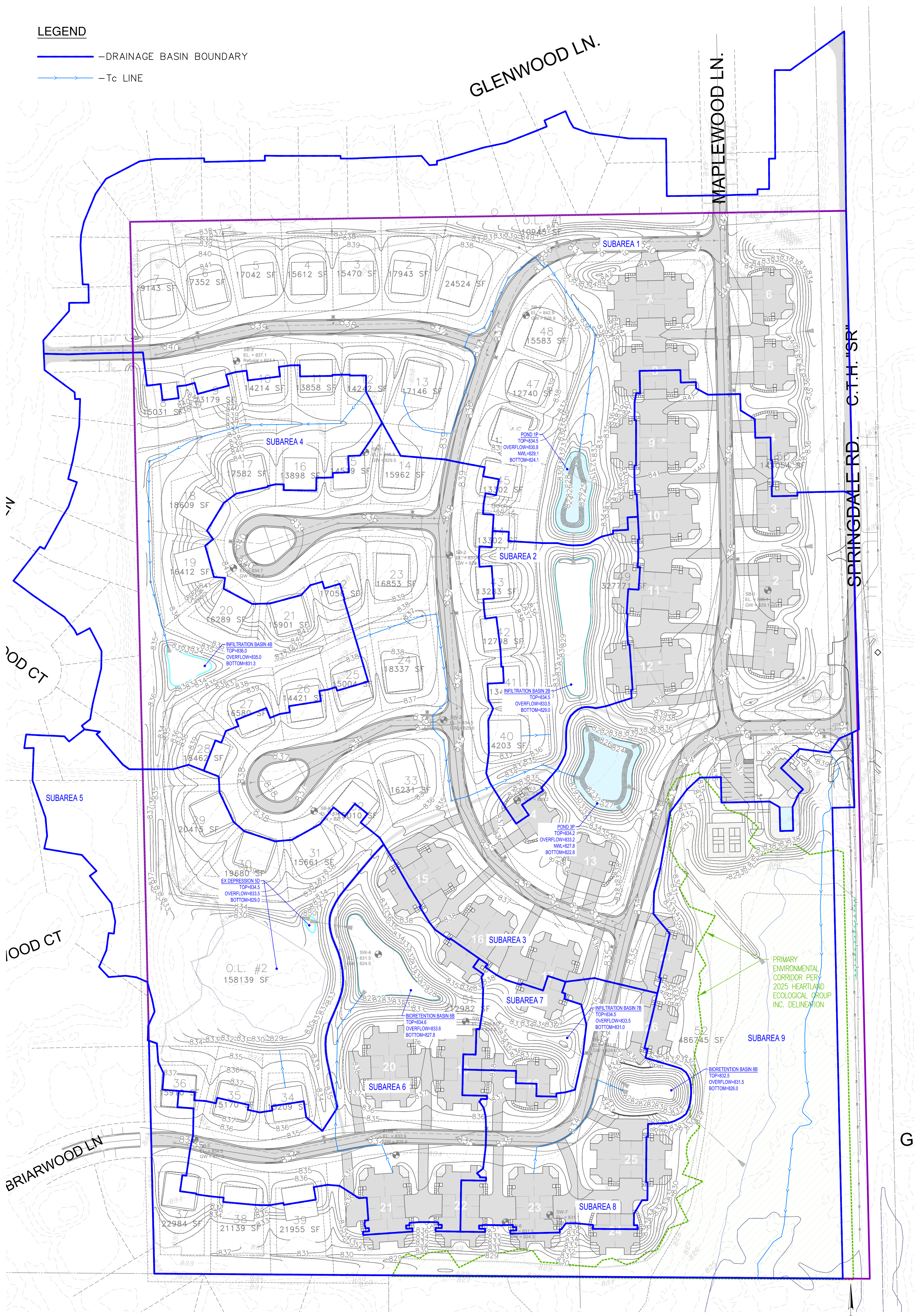
ESSER DEVELOPMENT
CITY OF PEWAUKEE, WISCONSIN

0 40' 80' 160'
SCALE: 1" = 80'

FIGURE 2

LEGEND

- DRAINAGE BASIN BOUNDARY
- Tc LINE



POST-DEVELOPMENT CONDITIONS

ESSER DEVELOPMENT
CITY OF PEWAUKEE, WISCONSIN

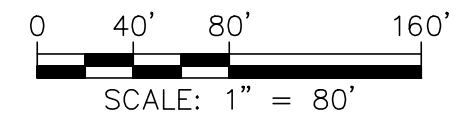
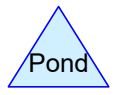
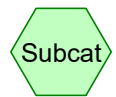
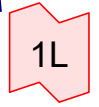
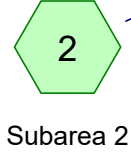
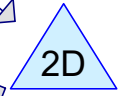
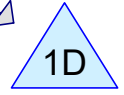
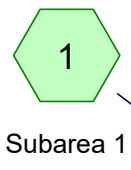


FIGURE 3

APPENDIX A

Pre-Development Hydrologic Analysis



Routing Diagram for Existing
Prepared by Sound Stormwater Design, Printed 8/28/2025
HydroCAD® 10.20-4c s/n 11025 © 2024 HydroCAD Software Solutions LLC

Existing

Prepared by Sound Stormwater Design

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Printed 8/28/2025

Page 2

Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	1 yr	MSE 24-hr	3	Default	24.00	1	2.38	2
2	2 yr	MSE 24-hr	3	Default	24.00	1	2.69	2
3	10 yr	MSE 24-hr	3	Default	24.00	1	3.80	2
4	100 yr	MSE 24-hr	3	Default	24.00	1	6.17	2

Existing

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
7.600	81	offsite 1/3 acre lots, 30% imp, HSG C (1, 2, 3)
1.130	74	offsite grass, C soils (1, 3)
0.610	98	offsite impervious (1, 3)
57.320	70	pre-development, C soils (1, 2, 3)
66.660	72	TOTAL AREA

Existing

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MSE 24-hr 3 1 yr Rainfall=2.38"

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Page 4

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1

Runoff Area=18.890 ac 9.43% Impervious Runoff Depth>0.50"
Flow Length=635' Tc=15.6 min CN=73 Runoff=10.38 cfs 0.792 af

Subcatchment2: Subarea 2

Runoff Area=11.350 ac 3.46% Impervious Runoff Depth>0.43"
Flow Length=545' Tc=12.1 min CN=71 Runoff=5.66 cfs 0.409 af

Subcatchment3: Subarea 3

Runoff Area=36.420 ac 1.96% Impervious Runoff Depth>0.43"
Flow Length=2,120' Tc=37.9 min CN=71 Runoff=9.82 cfs 1.307 af

Pond 1D: Existing Depression 1

Peak Elev=835.45' Storage=0.792 af Inflow=10.38 cfs 0.792 af
Outflow=0.00 cfs 0.000 af

Pond 2D: Existing Depression 2

Peak Elev=829.84' Storage=0.409 af Inflow=5.66 cfs 0.409 af
Outflow=0.00 cfs 0.000 af

Link 1L: Pre-DevelopmentConditions

Inflow=9.82 cfs 1.307 af
Primary=9.82 cfs 1.307 af

Total Runoff Area = 66.660 ac Runoff Volume = 2.507 af Average Runoff Depth = 0.45"
95.66% Pervious = 63.770 ac 4.34% Impervious = 2.890 ac

Existing

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MSE 24-hr 3 2 yr Rainfall=2.69"

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Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1

Runoff Area=18.890 ac 9.43% Impervious Runoff Depth>0.67"
Flow Length=635' Tc=15.6 min CN=73 Runoff=14.63 cfs 1.058 af

Subcatchment2: Subarea 2

Runoff Area=11.350 ac 3.46% Impervious Runoff Depth>0.59"
Flow Length=545' Tc=12.1 min CN=71 Runoff=8.40 cfs 0.556 af

Subcatchment3: Subarea 3

Runoff Area=36.420 ac 1.96% Impervious Runoff Depth>0.59"
Flow Length=2,120' Tc=37.9 min CN=71 Runoff=14.28 cfs 1.779 af

Pond 1D: Existing Depression 1

Peak Elev=835.56' Storage=1.058 af Inflow=14.63 cfs 1.058 af
Outflow=0.00 cfs 0.000 af

Pond 2D: Existing Depression 2

Peak Elev=830.00' Storage=0.556 af Inflow=8.40 cfs 0.556 af
Outflow=0.00 cfs 0.000 af

Link 1L: Pre-DevelopmentConditions

Inflow=14.28 cfs 1.779 af
Primary=14.28 cfs 1.779 af

Total Runoff Area = 66.660 ac Runoff Volume = 3.394 af Average Runoff Depth = 0.61"
95.66% Pervious = 63.770 ac 4.34% Impervious = 2.890 ac

Existing

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MSE 24-hr 3 10 yr Rainfall=3.80"

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Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1

Runoff Area=18.890 ac 9.43% Impervious Runoff Depth>1.38"
Flow Length=635' Tc=15.6 min CN=73 Runoff=32.39 cfs 2.179 af

Subcatchment2: Subarea 2

Runoff Area=11.350 ac 3.46% Impervious Runoff Depth>1.26"
Flow Length=545' Tc=12.1 min CN=71 Runoff=19.77 cfs 1.190 af

Subcatchment3: Subarea 3

Runoff Area=36.420 ac 1.96% Impervious Runoff Depth>1.25"
Flow Length=2,120' Tc=37.9 min CN=71 Runoff=33.86 cfs 3.807 af

Pond 1D: Existing Depression 1

Peak Elev=835.93' Storage=2.178 af Inflow=32.39 cfs 2.179 af
Outflow=0.00 cfs 0.000 af

Pond 2D: Existing Depression 2

Peak Elev=830.52' Storage=1.190 af Inflow=19.77 cfs 1.190 af
Outflow=0.00 cfs 0.000 af

Link 1L: Pre-DevelopmentConditions

Inflow=33.86 cfs 3.807 af
Primary=33.86 cfs 3.807 af

Total Runoff Area = 66.660 ac Runoff Volume = 7.176 af Average Runoff Depth = 1.29"
95.66% Pervious = 63.770 ac 4.34% Impervious = 2.890 ac

Existing

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1

Runoff Area=18.890 ac 9.43% Impervious Runoff Depth>3.23"
Flow Length=635' Tc=15.6 min CN=73 Runoff=77.25 cfs 5.080 af

Subcatchment2: Subarea 2

Runoff Area=11.350 ac 3.46% Impervious Runoff Depth>3.03"
Flow Length=545' Tc=12.1 min CN=71 Runoff=49.14 cfs 2.870 af

Subcatchment3: Subarea 3

Runoff Area=36.420 ac 1.96% Impervious Runoff Depth>3.03"
Flow Length=2,120' Tc=37.9 min CN=71 Runoff=85.65 cfs 9.187 af

Pond 1D: Existing Depression 1

Peak Elev=836.14' Storage=2.940 af Inflow=77.25 cfs 5.080 af
Outflow=12.45 cfs 2.609 af

Pond 2D: Existing Depression 2

Peak Elev=832.33' Storage=5.477 af Inflow=49.14 cfs 5.478 af
Outflow=0.00 cfs 0.000 af

Link 1L: Pre-DevelopmentConditions

Inflow=85.65 cfs 9.187 af
Primary=85.65 cfs 9.187 af

Total Runoff Area = 66.660 ac Runoff Volume = 17.137 af Average Runoff Depth = 3.08"
95.66% Pervious = 63.770 ac 4.34% Impervious = 2.890 ac

Existing

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 1: Subarea 1

Runoff = 77.25 cfs @ 12.25 hrs, Volume= 5.080 af, Depth> 3.23"
 Routed to Pond 1D : Existing Depression 1

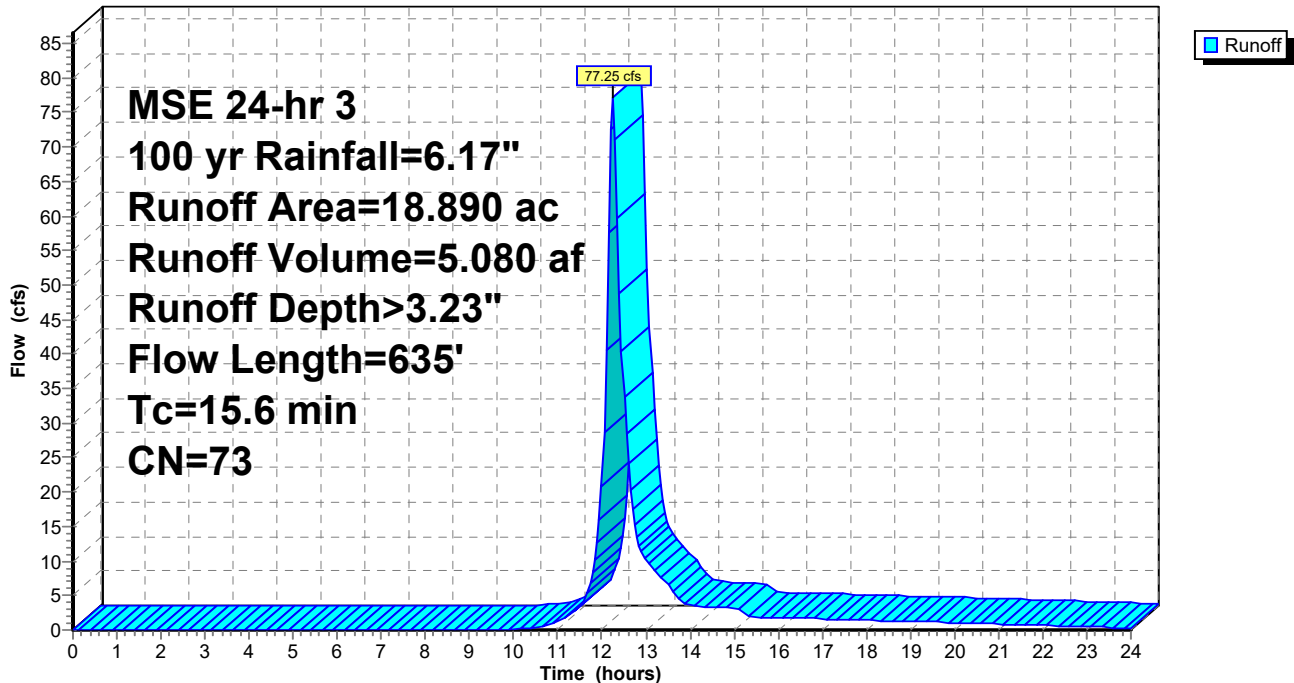
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 13.150	70	pre-development, C soils
* 0.010	74	offsite grass, C soils
* 0.090	98	offsite impervious
* 5.640	81	offsite 1/3 acre lots, 30% imp, HSG C
18.890	73	Weighted Average
17.108		90.57% Pervious Area
1.782		9.43% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.5	100	0.0200	0.18		Sheet Flow, Range n= 0.130 P2= 2.70"
2.1	290	0.0200	2.28		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
4.0	245	0.0040	1.02		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
15.6	635	Total			

Subcatchment 1: Subarea 1

Hydrograph



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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 2: Subarea 2

Runoff = 49.14 cfs @ 12.20 hrs, Volume= 2.870 af, Depth> 3.03"
 Routed to Pond 2D : Existing Depression 2

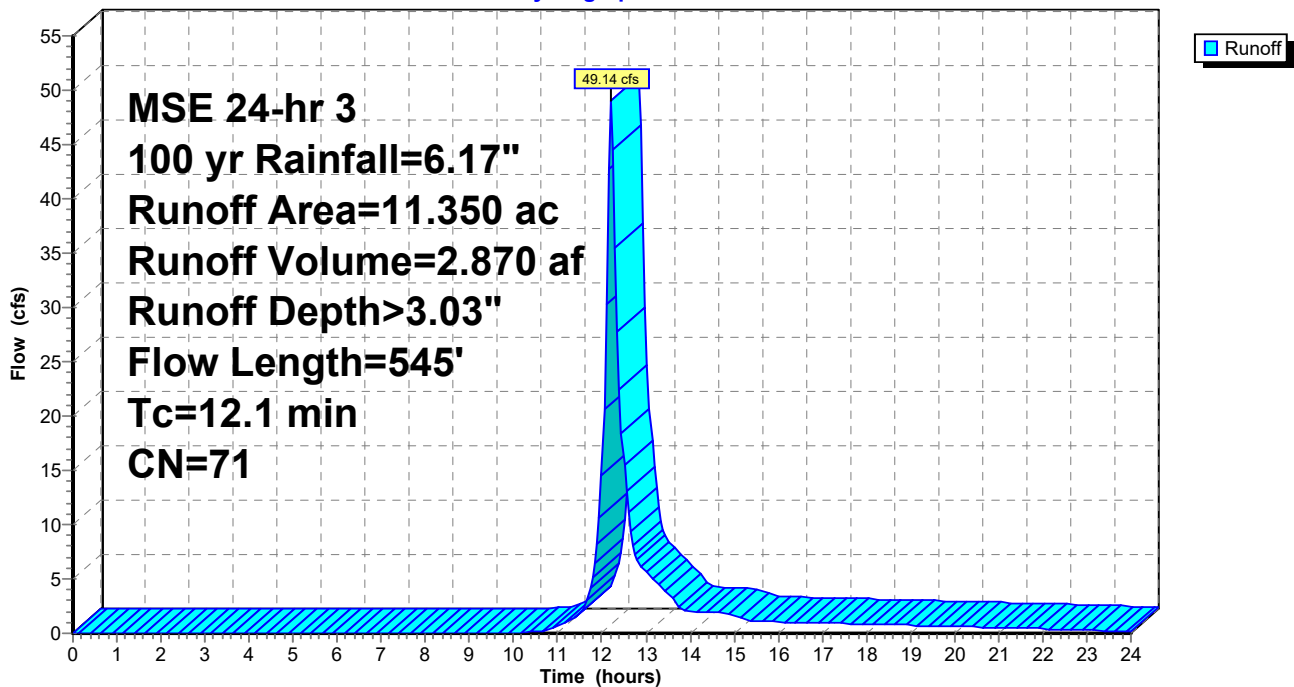
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 10.040	70	pre-development, C soils
* 1.310	81	offsite 1/3 acre lots, 30% imp, HSG C
11.350	71	Weighted Average
10.957		96.54% Pervious Area
0.393		3.46% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.4	90	0.0300	0.20		Sheet Flow, Range n= 0.130 P2= 2.70"
4.7	455	0.0100	1.61		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
12.1	545	Total			

Subcatchment 2: Subarea 2

Hydrograph



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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 3: Subarea 3

Runoff = 85.65 cfs @ 12.54 hrs, Volume= 9.187 af, Depth> 3.03"
Routed to Link 1L : Pre-Development Conditions

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 34.130	70	pre-development, C soils
* 0.650	81	offsite 1/3 acre lots, 30% imp, HSG C
* 0.520	98	offsite impervious
* 1.120	74	offsite grass, C soils
36.420	71	Weighted Average
35.705		98.04% Pervious Area
0.715		1.96% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12.6	100	0.0100	0.13		Sheet Flow, Range n= 0.130 P2= 2.70"
0.8	75	0.0100	1.61		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
0.8	175	0.0500	3.60		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
23.7	1,770	0.0060	1.25		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
37.9	2,120	Total			

Existing

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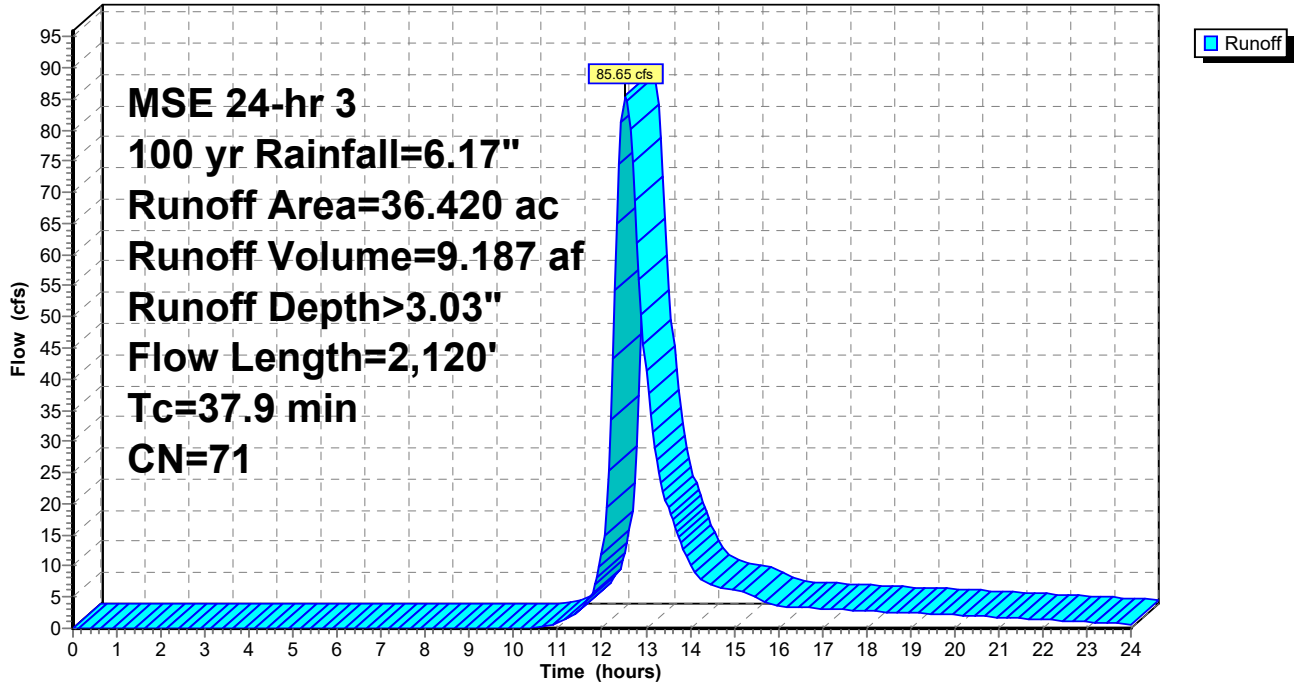
MSE 24-hr 3 100 yr Rainfall=6.17"

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Subcatchment 3: Subarea 3

Hydrograph



Existing

Summary for Pond 1D: Existing Depression 1

Inflow Area = 18.890 ac, 9.43% Impervious, Inflow Depth > 3.23" for 100 yr event
Inflow = 77.25 cfs @ 12.25 hrs, Volume= 5.080 af
Outflow = 12.45 cfs @ 12.85 hrs, Volume= 2.609 af, Atten= 84%, Lag= 36.1 min
Primary = 12.45 cfs @ 12.85 hrs, Volume= 2.609 af
Routed to Pond 2D : Existing Depression 2

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Peak Elev= 836.14' @ 12.85 hrs Surf.Area= 4.034 ac Storage= 2.940 af

Plug-Flow detention time= 196.1 min calculated for 2.603 af (51% of inflow)
Center-of-Mass det. time= 111.9 min (925.4 - 813.5)

Volume	Invert	Avail.Storage	Storage Description
#1	835.00'	7.418 af	Custom Stage Data (Conic) Listed below (Recalc)

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
835.00	1.320	0.000	0.000	1.320
836.00	3.710	2.414	2.414	3.710
837.00	6.420	5.003	7.418	6.420

Device	Routing	Invert	Outlet Devices
#1	Primary	836.00'	100.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

Primary OutFlow Max=12.44 cfs @ 12.85 hrs HW=836.14' TW=831.07' (Dynamic Tailwater)
↑1=**Broad-Crested Rectangular Weir**(Weir Controls 12.44 cfs @ 0.92 fps)

Existing

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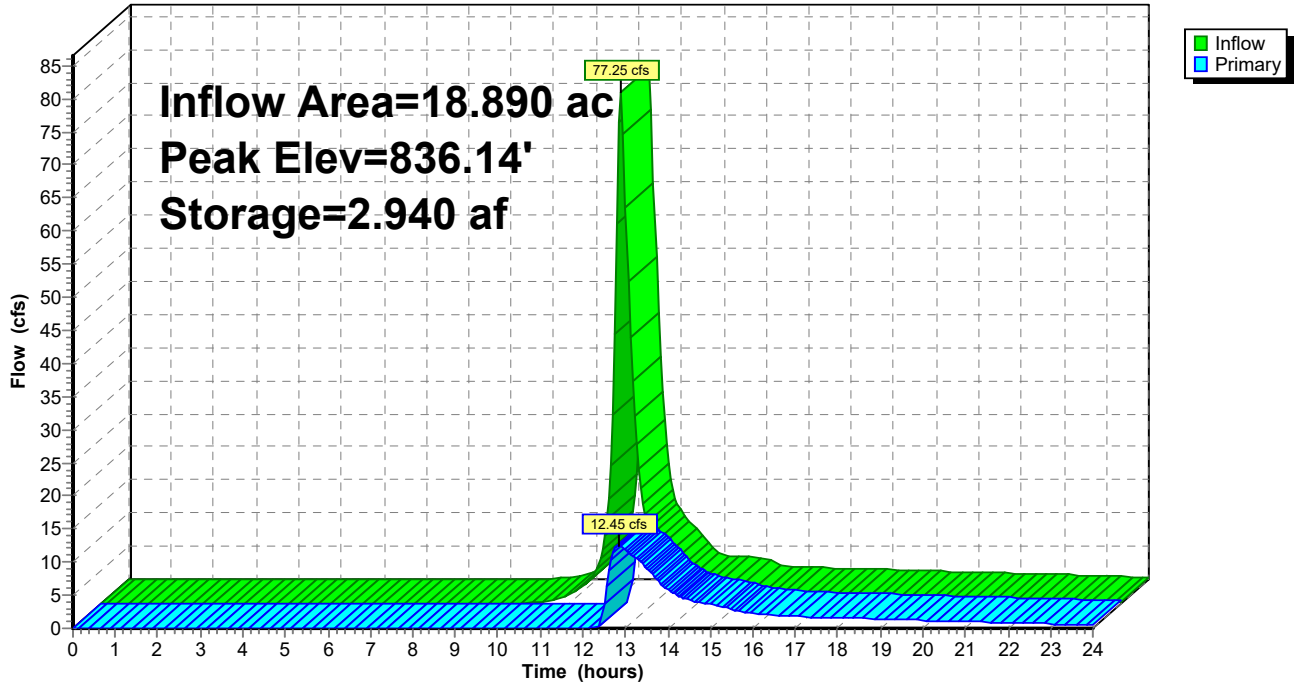
MSE 24-hr 3 100 yr Rainfall=6.17"

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Pond 1D: Existing Depression 1

Hydrograph



Existing

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Pond 2D: Existing Depression 2

Inflow Area = 30.240 ac, 7.19% Impervious, Inflow Depth > 2.17" for 100 yr event
 Inflow = 49.14 cfs @ 12.20 hrs, Volume= 5.478 af
 Outflow = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Atten= 100%, Lag= 0.0 min
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
 Routed to Link 1L : Pre-Development Conditions

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 832.33' @ 24.00 hrs Surf.Area= 3.522 ac Storage= 5.477 af

Plug-Flow detention time= (not calculated: initial storage exceeds outflow)
 Center-of-Mass det. time= (not calculated: no outflow)

Volume	Invert	Avail.Storage	Storage Description
#1	829.00'	8.273 af	Custom Stage Data (Conic) Listed below (Recalc)

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
829.00	0.200	0.000	0.000	0.200
830.00	1.020	0.557	0.557	1.020
831.00	1.910	1.442	1.999	1.910
832.00	2.970	2.421	4.420	2.971
833.00	4.810	3.853	8.273	4.811

Device	Routing	Invert	Outlet Devices
#1	Primary	832.50'	100.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64

Primary OutFlow Max=0.00 cfs @ 0.00 hrs HW=829.00' TW=0.00' (Dynamic Tailwater)

↑1=**Broad-Crested Rectangular Weir**(Controls 0.00 cfs)

Existing

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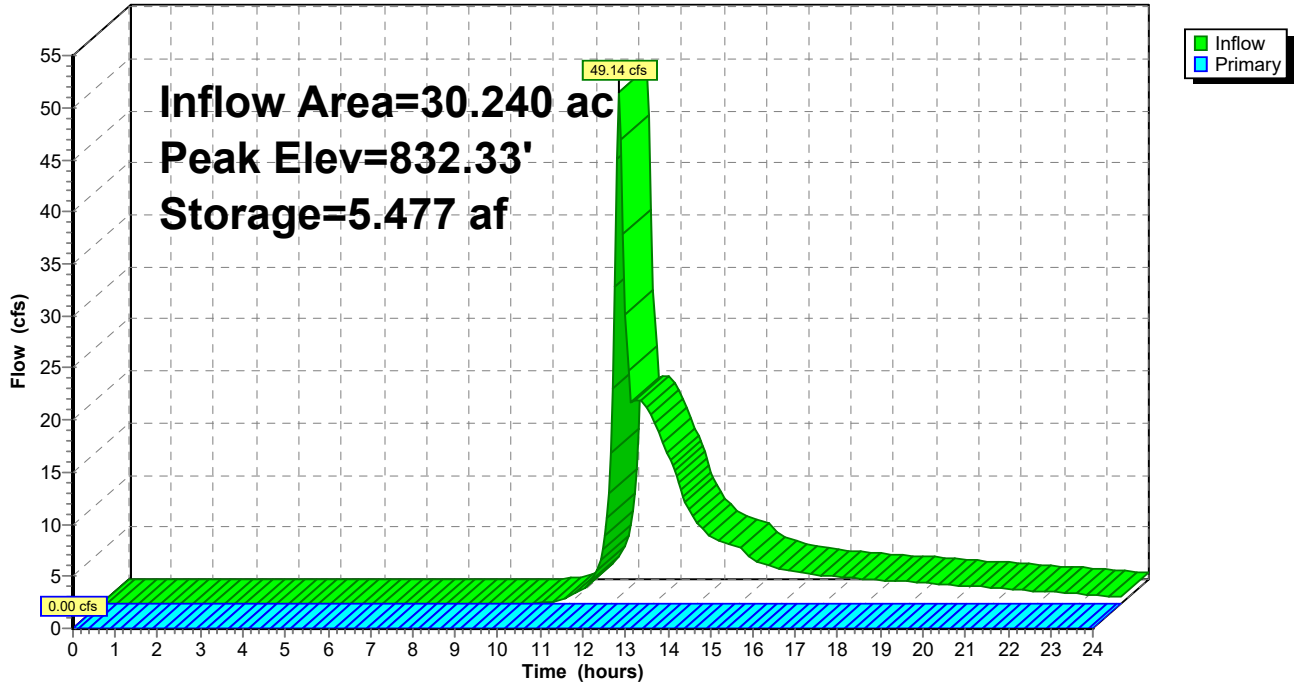
MSE 24-hr 3 100 yr Rainfall=6.17"

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Pond 2D: Existing Depression 2

Hydrograph



Existing

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MSE 24-hr 3 100 yr Rainfall=6.17"

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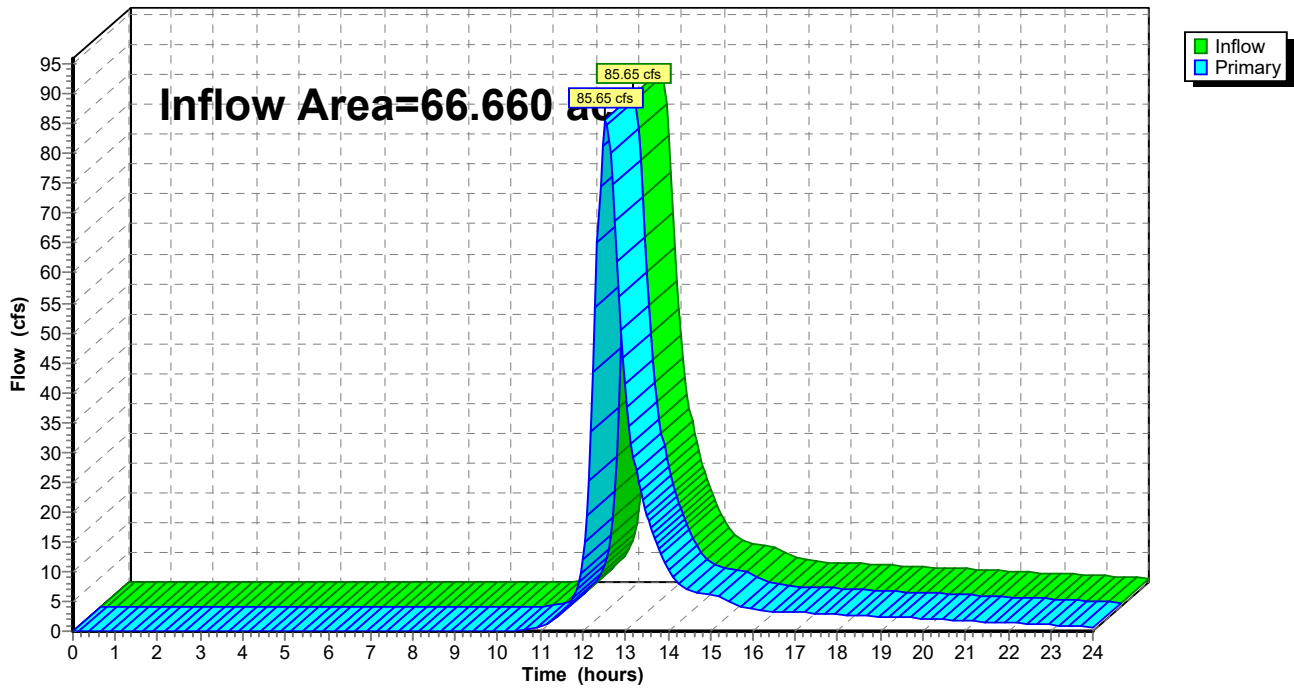
Summary for Link 1L: Pre-Development Conditions

Inflow Area = 66.660 ac, 4.34% Impervious, Inflow Depth > 1.65" for 100 yr event
Inflow = 85.65 cfs @ 12.54 hrs, Volume= 9.187 af
Primary = 85.65 cfs @ 12.54 hrs, Volume= 9.187 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 1L: Pre-Development Conditions

Hydrograph



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Multi-Event Tables

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Events for Subcatchment 1: Subarea 1

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	10.38	0.792	0.50
2 yr	2.69	14.63	1.058	0.67
10 yr	3.80	32.39	2.179	1.38
100 yr	6.17	77.25	5.080	3.23

Existing

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Multi-Event Tables

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Events for Subcatchment 2: Subarea 2

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	5.66	0.409	0.43
2 yr	2.69	8.40	0.556	0.59
10 yr	3.80	19.77	1.190	1.26
100 yr	6.17	49.14	2.870	3.03

Existing

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Multi-Event Tables

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Events for Subcatchment 3: Subarea 3

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	9.82	1.307	0.43
2 yr	2.69	14.28	1.779	0.59
10 yr	3.80	33.86	3.807	1.25
100 yr	6.17	85.65	9.187	3.03

Existing

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Multi-Event Tables

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Events for Pond 1D: Existing Depression 1

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	10.38	0.00	835.45	0.792
2 yr	14.63	0.00	835.56	1.058
10 yr	32.39	0.00	835.93	2.178
100 yr	77.25	12.45	836.14	2.940

Existing

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Multi-Event Tables

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Events for Pond 2D: Existing Depression 2

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	5.66	0.00	829.84	0.409
2 yr	8.40	0.00	830.00	0.556
10 yr	19.77	0.00	830.52	1.190
100 yr	49.14	0.00	832.33	5.477

Existing

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Multi-Event Tables

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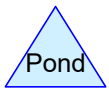
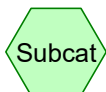
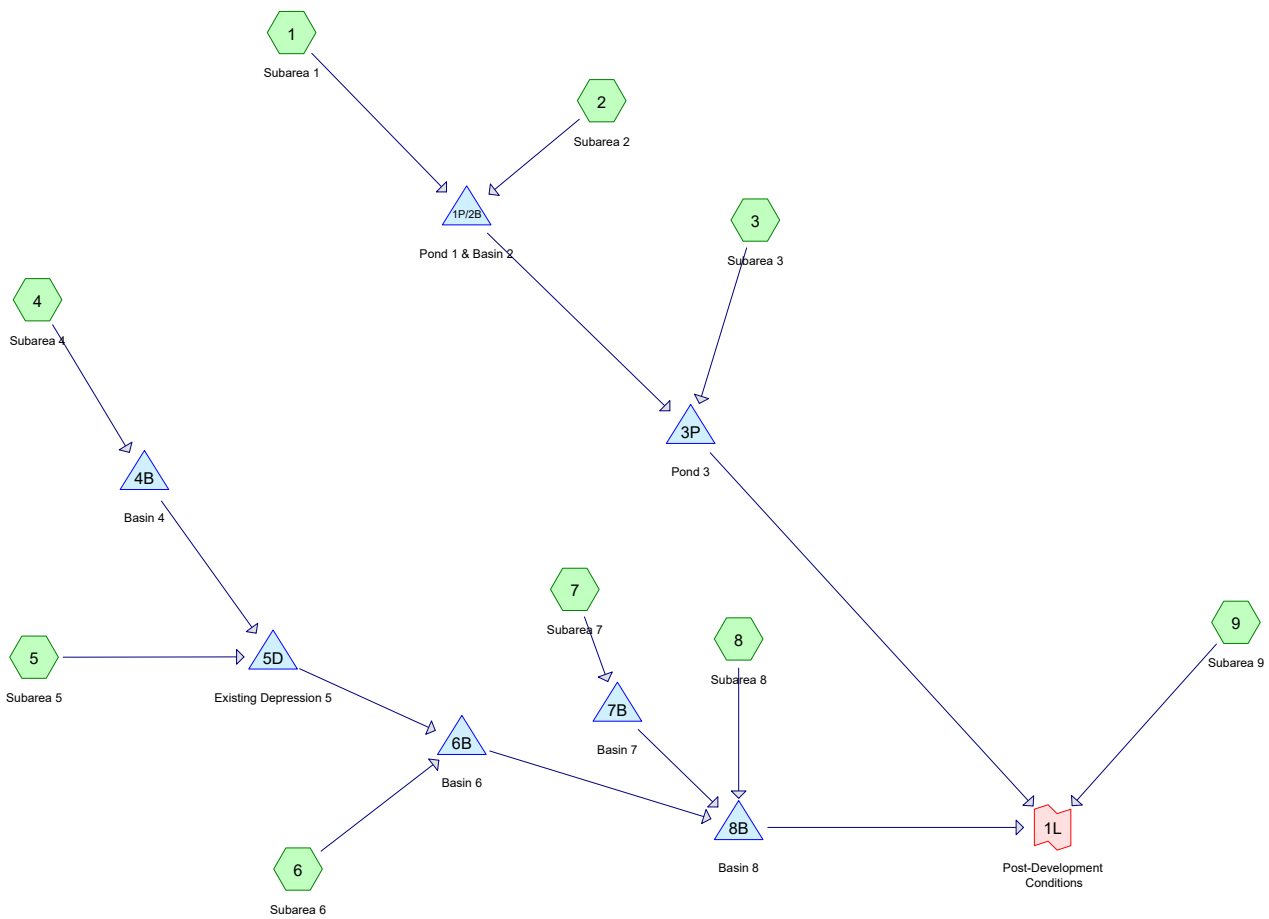
Page 49

Events for Link 1L: Pre-Development Conditions

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)
1 yr	9.82	9.82	0.00
2 yr	14.28	14.28	0.00
10 yr	33.86	33.86	0.00
100 yr	85.65	85.65	0.00

APPENDIX B

Post-Development Hydrologic Analysis



Routing Diagram for Proposed
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Proposed

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Page 2

Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	1 yr	MSE 24-hr	3	Default	24.00	1	2.38	2
2	2 yr	MSE 24-hr	3	Default	24.00	1	2.69	2
3	10 yr	MSE 24-hr	3	Default	24.00	1	3.80	2
4	100 yr	MSE 24-hr	3	Default	24.00	1	6.17	2

Proposed

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Page 3

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
34.240	74	grass, C soils (1, 2, 3, 4, 5, 6, 7, 8, 9)
18.880	98	impervious (1, 2, 3, 4, 5, 6, 7, 8, 9)
7.600	81	offsite 1/3 acre lots, 30% imp, HSG C (1, 4, 5)
0.260	74	offsite grass, C soils (1)
0.380	98	offsite impervious (1, 4)
0.490	98	water (1, 3)
4.810	70	woods, C soils (9)
66.660	82	TOTAL AREA

Proposed

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MSE 24-hr 3 1 yr Rainfall=2.38"

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1	Runoff Area=17.170 ac 34.54% Impervious Runoff Depth>0.91" Flow Length=940' Tc=19.3 min CN=82 Runoff=17.47 cfs 1.301 af
Subcatchment2: Subarea 2	Runoff Area=2.380 ac 21.85% Impervious Runoff Depth>0.76" Flow Length=55' Slope=0.0500 '/' Tc=6.7 min CN=79 Runoff=3.20 cfs 0.150 af
Subcatchment3: Subarea 3	Runoff Area=16.380 ac 49.45% Impervious Runoff Depth>1.14" Flow Length=770' Slope=0.0100 '/' Tc=22.9 min CN=86 Runoff=19.56 cfs 1.562 af
Subcatchment4: Subarea 4	Runoff Area=7.020 ac 24.74% Impervious Runoff Depth>0.81" Flow Length=795' Tc=17.3 min CN=80 Runoff=6.60 cfs 0.471 af
Subcatchment5: Subarea 5	Runoff Area=5.860 ac 14.39% Impervious Runoff Depth>0.67" Flow Length=70' Slope=0.0300 '/' Tc=9.9 min CN=77 Runoff=5.82 cfs 0.325 af
Subcatchment6: Subarea 6	Runoff Area=4.640 ac 42.67% Impervious Runoff Depth>1.02" Flow Length=440' Tc=9.9 min CN=84 Runoff=7.45 cfs 0.396 af
Subcatchment7: Subarea 7	Runoff Area=0.820 ac 34.15% Impervious Runoff Depth>0.91" Tc=6.0 min CN=82 Runoff=1.39 cfs 0.062 af
Subcatchment8: Subarea 8	Runoff Area=2.710 ac 56.46% Impervious Runoff Depth>1.28" Flow Length=285' Tc=9.6 min CN=88 Runoff=5.49 cfs 0.289 af
Subcatchment9: Subarea 9	Runoff Area=9.680 ac 11.47% Impervious Runoff Depth>0.58" Flow Length=1,840' Tc=28.0 min CN=75 Runoff=4.65 cfs 0.468 af
Pond 1P/2B: Pond 1 & Basin 2	Peak Elev=830.82' Storage=1.127 af Inflow=18.77 cfs 1.451 af 36.0" Round Culvert n=0.012 L=55.0' S=0.0218 '/' Outflow=4.27 cfs 0.373 af
Pond 3P: Pond 3	Peak Elev=830.82' Storage=1.286 af Inflow=23.41 cfs 1.935 af Outflow=0.72 cfs 0.683 af
Pond 4B: Basin 4	Peak Elev=832.32' Storage=0.120 af Inflow=6.60 cfs 0.471 af 18.0" Round Culvert n=0.011 L=645.0' S=0.0036 '/' Outflow=3.72 cfs 0.458 af
Pond 5D: Existing Depression 5	Peak Elev=830.09' Storage=0.559 af Inflow=6.79 cfs 0.783 af Outflow=0.33 cfs 0.287 af
Pond 6B: Basin 6	Peak Elev=829.63' Storage=0.259 af Inflow=7.57 cfs 0.682 af Outflow=0.54 cfs 0.509 af
Pond 7B: Basin 7	Peak Elev=832.09' Storage=0.013 af Inflow=1.39 cfs 0.062 af Outflow=0.44 cfs 0.062 af
Pond 8B: Basin 8	Peak Elev=828.53' Storage=0.138 af Inflow=6.31 cfs 0.860 af Outflow=1.43 cfs 0.849 af

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MSE 24-hr 3 1 yr Rainfall=2.38"

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Link 1L: Post-DevelopmentConditions

Inflow=6.57 cfs 2.000 af

Primary=6.57 cfs 2.000 af

Total Runoff Area = 66.660 ac Runoff Volume = 5.024 af Average Runoff Depth = 0.90"
66.95% Pervious = 44.630 ac 33.05% Impervious = 22.030 ac

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1	Runoff Area=17.170 ac 34.54% Impervious Runoff Depth>1.14" Flow Length=940' Tc=19.3 min CN=82 Runoff=22.11 cfs 1.628 af
Subcatchment2: Subarea 2	Runoff Area=2.380 ac 21.85% Impervious Runoff Depth>0.97" Flow Length=55' Slope=0.0500 '/' Tc=6.7 min CN=79 Runoff=4.13 cfs 0.192 af
Subcatchment3: Subarea 3	Runoff Area=16.380 ac 49.45% Impervious Runoff Depth>1.40" Flow Length=770' Slope=0.0100 '/' Tc=22.9 min CN=86 Runoff=23.97 cfs 1.908 af
Subcatchment4: Subarea 4	Runoff Area=7.020 ac 24.74% Impervious Runoff Depth>1.02" Flow Length=795' Tc=17.3 min CN=80 Runoff=8.49 cfs 0.597 af
Subcatchment5: Subarea 5	Runoff Area=5.860 ac 14.39% Impervious Runoff Depth>0.86" Flow Length=70' Slope=0.0300 '/' Tc=9.9 min CN=77 Runoff=7.71 cfs 0.421 af
Subcatchment6: Subarea 6	Runoff Area=4.640 ac 42.67% Impervious Runoff Depth>1.26" Flow Length=440' Tc=9.9 min CN=84 Runoff=9.24 cfs 0.489 af
Subcatchment7: Subarea 7	Runoff Area=0.820 ac 34.15% Impervious Runoff Depth>1.14" Tc=6.0 min CN=82 Runoff=1.74 cfs 0.078 af
Subcatchment8: Subarea 8	Runoff Area=2.710 ac 56.46% Impervious Runoff Depth>1.54" Flow Length=285' Tc=9.6 min CN=88 Runoff=6.62 cfs 0.349 af
Subcatchment9: Subarea 9	Runoff Area=9.680 ac 11.47% Impervious Runoff Depth>0.76" Flow Length=1,840' Tc=28.0 min CN=75 Runoff=6.35 cfs 0.615 af
Pond 1P/2B: Pond 1 & Basin 2	Peak Elev=831.13' Storage=1.363 af Inflow=23.76 cfs 1.820 af 36.0" Round Culvert n=0.012 L=55.0' S=0.0218 '/' Outflow=5.23 cfs 0.595 af
Pond 3P: Pond 3	Peak Elev=831.14' Storage=1.455 af Inflow=29.06 cfs 2.503 af Outflow=1.36 cfs 1.149 af
Pond 4B: Basin 4	Peak Elev=832.52' Storage=0.150 af Inflow=8.49 cfs 0.597 af 18.0" Round Culvert n=0.011 L=645.0' S=0.0036 '/' Outflow=4.96 cfs 0.582 af
Pond 5D: Existing Depression 5	Peak Elev=830.32' Storage=0.760 af Inflow=9.35 cfs 1.003 af Outflow=0.34 cfs 0.292 af
Pond 6B: Basin 6	Peak Elev=829.84' Storage=0.337 af Inflow=9.41 cfs 0.781 af Outflow=0.58 cfs 0.536 af
Pond 7B: Basin 7	Peak Elev=832.25' Storage=0.019 af Inflow=1.74 cfs 0.078 af Outflow=0.47 cfs 0.078 af
Pond 8B: Basin 8	Peak Elev=828.78' Storage=0.168 af Inflow=7.51 cfs 0.963 af Outflow=1.70 cfs 0.951 af

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MSE 24-hr 3 2 yr Rainfall=2.69"

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Link 1L: Post-DevelopmentConditions

Inflow=8.53 cfs 2.715 af

Primary=8.53 cfs 2.715 af

Total Runoff Area = 66.660 ac Runoff Volume = 6.276 af Average Runoff Depth = 1.13"
66.95% Pervious = 44.630 ac 33.05% Impervious = 22.030 ac

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1	Runoff Area=17.170 ac 34.54% Impervious Runoff Depth>2.03" Flow Length=940' Tc=19.3 min CN=82 Runoff=39.92 cfs 2.905 af
Subcatchment2: Subarea 2	Runoff Area=2.380 ac 21.85% Impervious Runoff Depth>1.80" Flow Length=55' Slope=0.0500 '/' Tc=6.7 min CN=79 Runoff=7.75 cfs 0.357 af
Subcatchment3: Subarea 3	Runoff Area=16.380 ac 49.45% Impervious Runoff Depth>2.36" Flow Length=770' Slope=0.0100 '/' Tc=22.9 min CN=86 Runoff=40.38 cfs 3.225 af
Subcatchment4: Subarea 4	Runoff Area=7.020 ac 24.74% Impervious Runoff Depth>1.88" Flow Length=795' Tc=17.3 min CN=80 Runoff=15.88 cfs 1.097 af
Subcatchment5: Subarea 5	Runoff Area=5.860 ac 14.39% Impervious Runoff Depth>1.66" Flow Length=70' Slope=0.0300 '/' Tc=9.9 min CN=77 Runoff=15.24 cfs 0.809 af
Subcatchment6: Subarea 6	Runoff Area=4.640 ac 42.67% Impervious Runoff Depth>2.19" Flow Length=440' Tc=9.9 min CN=84 Runoff=15.95 cfs 0.849 af
Subcatchment7: Subarea 7	Runoff Area=0.820 ac 34.15% Impervious Runoff Depth>2.03" Tc=6.0 min CN=82 Runoff=3.09 cfs 0.139 af
Subcatchment8: Subarea 8	Runoff Area=2.710 ac 56.46% Impervious Runoff Depth>2.54" Flow Length=285' Tc=9.6 min CN=88 Runoff=10.71 cfs 0.574 af
Subcatchment9: Subarea 9	Runoff Area=9.680 ac 11.47% Impervious Runoff Depth>1.51" Flow Length=1,840' Tc=28.0 min CN=75 Runoff=13.44 cfs 1.222 af
Pond 1P/2B: Pond 1 & Basin 2	Peak Elev=832.12' Storage=2.208 af Inflow=42.90 cfs 3.262 af 36.0" Round Culvert n=0.012 L=55.0' S=0.0218 '/' Outflow=7.13 cfs 1.789 af
Pond 3P: Pond 3	Peak Elev=832.18' Storage=2.048 af Inflow=46.50 cfs 5.014 af Outflow=8.57 cfs 3.492 af
Pond 4B: Basin 4	Peak Elev=833.35' Storage=0.291 af Inflow=15.88 cfs 1.097 af 18.0" Round Culvert n=0.011 L=645.0' S=0.0036 '/' Outflow=7.93 cfs 1.072 af
Pond 5D: Existing Depression 5	Peak Elev=831.10' Storage=1.574 af Inflow=19.72 cfs 1.881 af Outflow=0.43 cfs 0.346 af
Pond 6B: Basin 6	Peak Elev=830.46' Storage=0.584 af Inflow=16.08 cfs 1.194 af Outflow=0.88 cfs 0.796 af
Pond 7B: Basin 7	Peak Elev=832.71' Storage=0.046 af Inflow=3.09 cfs 0.139 af Outflow=0.55 cfs 0.139 af
Pond 8B: Basin 8	Peak Elev=829.59' Storage=0.277 af Inflow=11.64 cfs 1.509 af Outflow=2.59 cfs 1.491 af

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MSE 24-hr 3 10 yr Rainfall=3.80"

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Link 1L: Post-DevelopmentConditions

Inflow=17.74 cfs 6.205 af

Primary=17.74 cfs 6.205 af

Total Runoff Area = 66.660 ac Runoff Volume = 11.176 af Average Runoff Depth = 2.01"
66.95% Pervious = 44.630 ac 33.05% Impervious = 22.030 ac

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment1: Subarea 1	Runoff Area=17.170 ac 34.54% Impervious Runoff Depth>4.14" Flow Length=940' Tc=19.3 min CN=82 Runoff=80.52 cfs 5.922 af
Subcatchment2: Subarea 2	Runoff Area=2.380 ac 21.85% Impervious Runoff Depth>3.83" Flow Length=55' Slope=0.0500 '/' Tc=6.7 min CN=79 Runoff=16.19 cfs 0.760 af
Subcatchment3: Subarea 3	Runoff Area=16.380 ac 49.45% Impervious Runoff Depth>4.57" Flow Length=770' Slope=0.0100 '/' Tc=22.9 min CN=86 Runoff=76.37 cfs 6.231 af
Subcatchment4: Subarea 4	Runoff Area=7.020 ac 24.74% Impervious Runoff Depth>3.93" Flow Length=795' Tc=17.3 min CN=80 Runoff=33.14 cfs 2.299 af
Subcatchment5: Subarea 5	Runoff Area=5.860 ac 14.39% Impervious Runoff Depth>3.63" Flow Length=70' Slope=0.0300 '/' Tc=9.9 min CN=77 Runoff=33.23 cfs 1.771 af
Subcatchment6: Subarea 6	Runoff Area=4.640 ac 42.67% Impervious Runoff Depth>4.35" Flow Length=440' Tc=9.9 min CN=84 Runoff=30.85 cfs 1.683 af
Subcatchment7: Subarea 7	Runoff Area=0.820 ac 34.15% Impervious Runoff Depth>4.14" Tc=6.0 min CN=82 Runoff=6.13 cfs 0.283 af
Subcatchment8: Subarea 8	Runoff Area=2.710 ac 56.46% Impervious Runoff Depth>4.79" Flow Length=285' Tc=9.6 min CN=88 Runoff=19.53 cfs 1.081 af
Subcatchment9: Subarea 9	Runoff Area=9.680 ac 11.47% Impervious Runoff Depth>3.42" Flow Length=1,840' Tc=28.0 min CN=75 Runoff=30.97 cfs 2.759 af
Pond 1P/2B: Pond 1 & Basin 2	Peak Elev=833.46' Storage=3.726 af Inflow=86.71 cfs 6.682 af 36.0" Round Culvert n=0.012 L=55.0' S=0.0218 '/' Outflow=24.63 cfs 5.025 af
Pond 3P: Pond 3	Peak Elev=833.19' Storage=2.739 af Inflow=76.37 cfs 11.256 af Outflow=51.86 cfs 9.611 af
Pond 4B: Basin 4	Peak Elev=834.95' Storage=0.825 af Inflow=33.14 cfs 2.299 af 18.0" Round Culvert n=0.011 L=645.0' S=0.0036 '/' Outflow=8.80 cfs 2.150 af
Pond 5D: Existing Depression 5	Peak Elev=832.55' Storage=3.519 af Inflow=40.83 cfs 3.921 af Outflow=0.73 cfs 0.449 af
Pond 6B: Basin 6	Peak Elev=831.89' Storage=1.249 af Inflow=30.85 cfs 2.133 af Outflow=1.26 cfs 1.158 af
Pond 7B: Basin 7	Peak Elev=833.33' Storage=0.109 af Inflow=6.13 cfs 0.283 af Outflow=1.35 cfs 0.283 af
Pond 8B: Basin 8	Peak Elev=831.27' Storage=0.568 af Inflow=20.75 cfs 2.522 af Outflow=3.62 cfs 2.394 af

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Link 1L: Post-DevelopmentConditions

Inflow=84.15 cfs 14.764 af

Primary=84.15 cfs 14.764 af

Total Runoff Area = 66.660 ac Runoff Volume = 22.790 af Average Runoff Depth = 4.10"
66.95% Pervious = 44.630 ac 33.05% Impervious = 22.030 ac

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 1: Subarea 1

Runoff = 80.52 cfs @ 12.29 hrs, Volume= 5.922 af, Depth> 4.14"
Routed to Pond 1P/2B : Pond 1 & Basin 2

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 8.040	74	grass, C soils
* 0.260	74	offsite grass, C soils
* 0.170	98	water
* 4.170	98	impervious
* 0.330	98	offsite impervious
* 4.200	81	offsite 1/3 acre lots, 30% imp, HSG C
17.170	82	Weighted Average
11.240		65.46% Pervious Area
5.930		34.54% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.5	100	0.0200	0.11		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"
0.3	35	0.0200	2.28		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
1.4	175	0.0100	2.03		Shallow Concentrated Flow, Paved Kv= 20.3 fps
2.1	630		5.00		Direct Entry, Pipe
19.3	940	Total			

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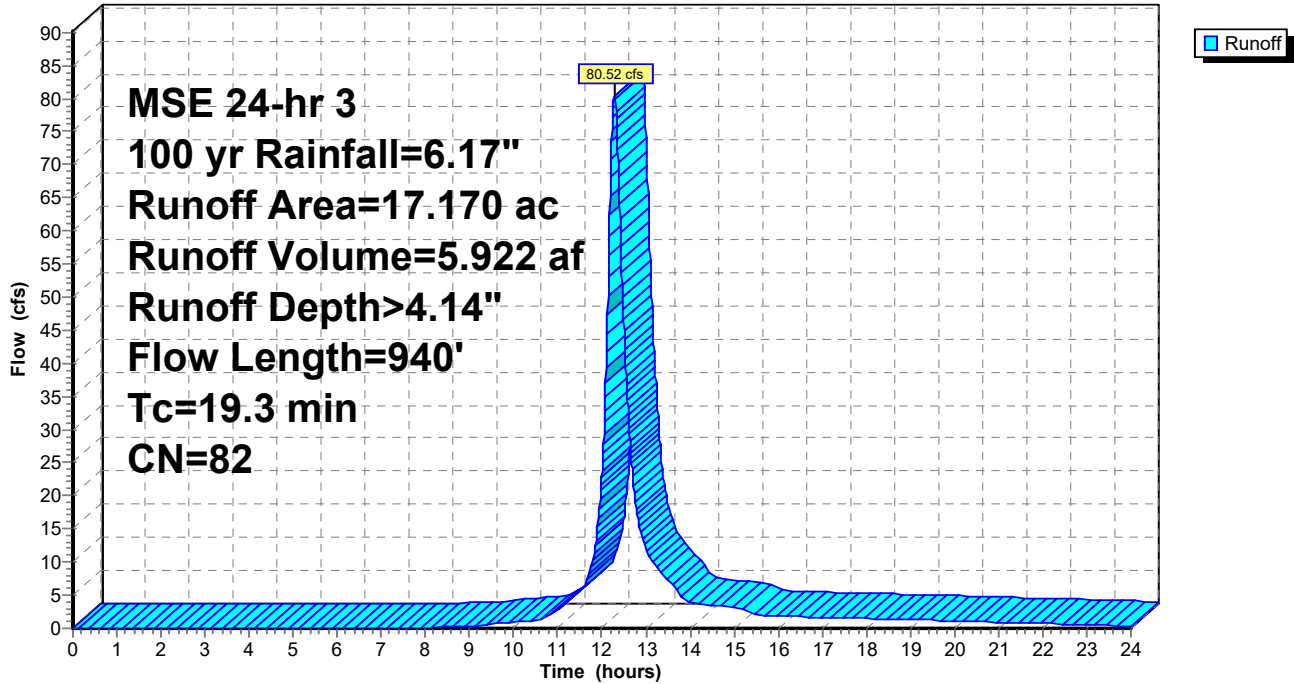
MSE 24-hr 3 100 yr Rainfall=6.17"

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Subcatchment 1: Subarea 1

Hydrograph



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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 2: Subarea 2

Runoff = 16.19 cfs @ 12.14 hrs, Volume= 0.760 af, Depth> 3.83"
Routed to Pond 1P/2B : Pond 1 & Basin 2

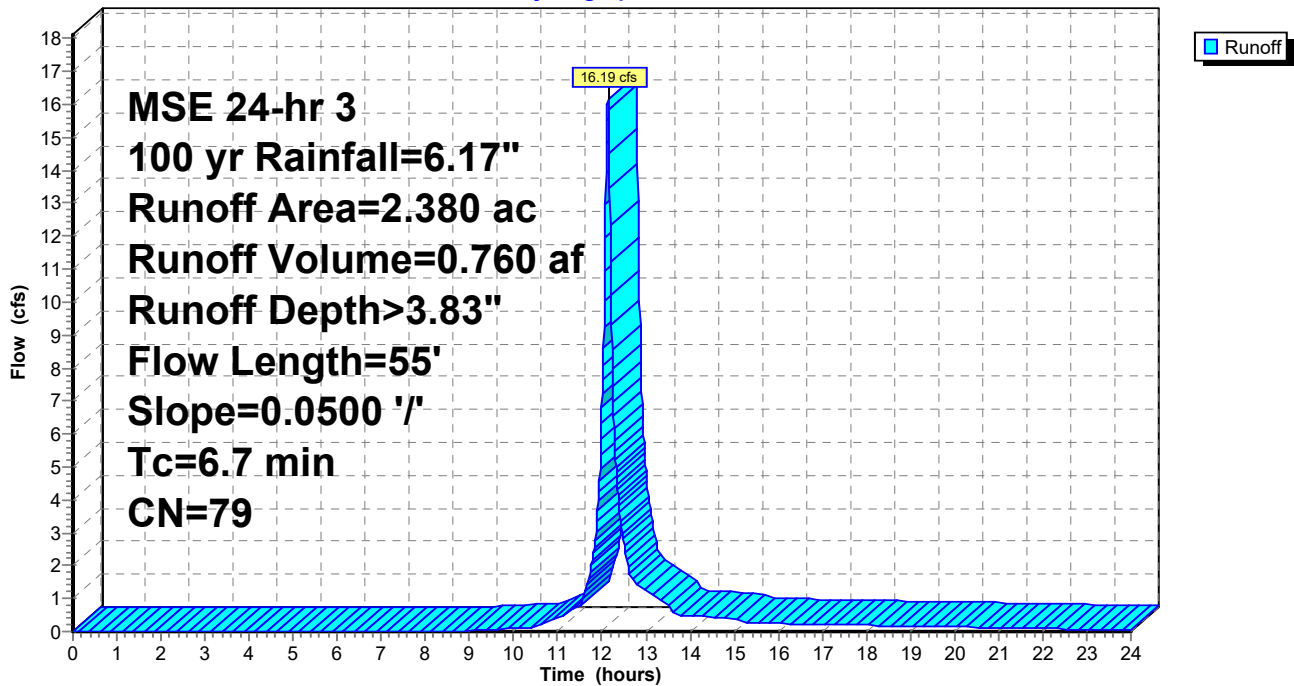
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 1.860	74	grass, C soils
* 0.520	98	impervious
2.380	79	Weighted Average
1.860		78.15% Pervious Area
0.520		21.85% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.7	55	0.0500	0.14		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"

Subcatchment 2: Subarea 2

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 3: Subarea 3

Runoff = 76.37 cfs @ 12.33 hrs, Volume= 6.231 af, Depth> 4.57"
Routed to Pond 3P : Pond 3

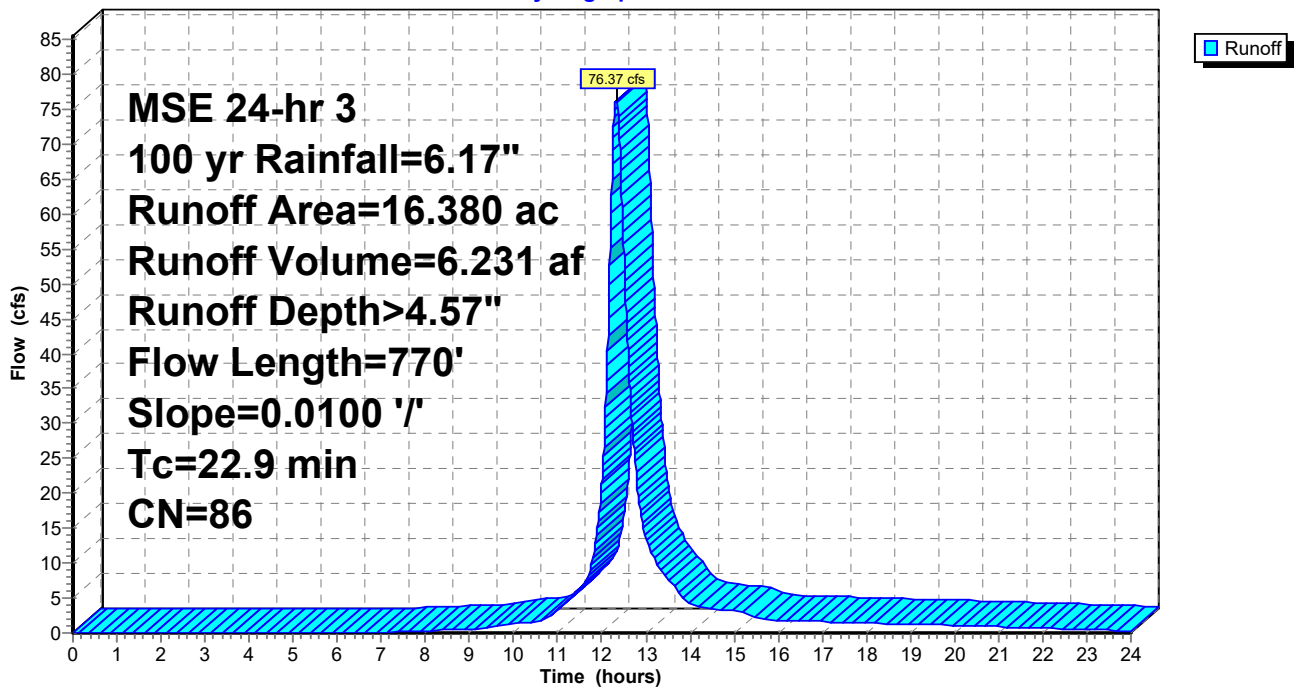
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 8.280	74	grass, C soils
* 0.320	98	water
* 7.780	98	impervious
16.380	86	Weighted Average
8.280		50.55% Pervious Area
8.100		49.45% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.5	100	0.0100	0.08		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"
0.3	30	0.0100	1.61		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
2.1	640		5.00		Direct Entry, Pipe
22.9	770	Total			

Subcatchment 3: Subarea 3

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 4: Subarea 4

Runoff = 33.14 cfs @ 12.26 hrs, Volume= 2.299 af, Depth> 3.93"
 Routed to Pond 4B : Basin 4

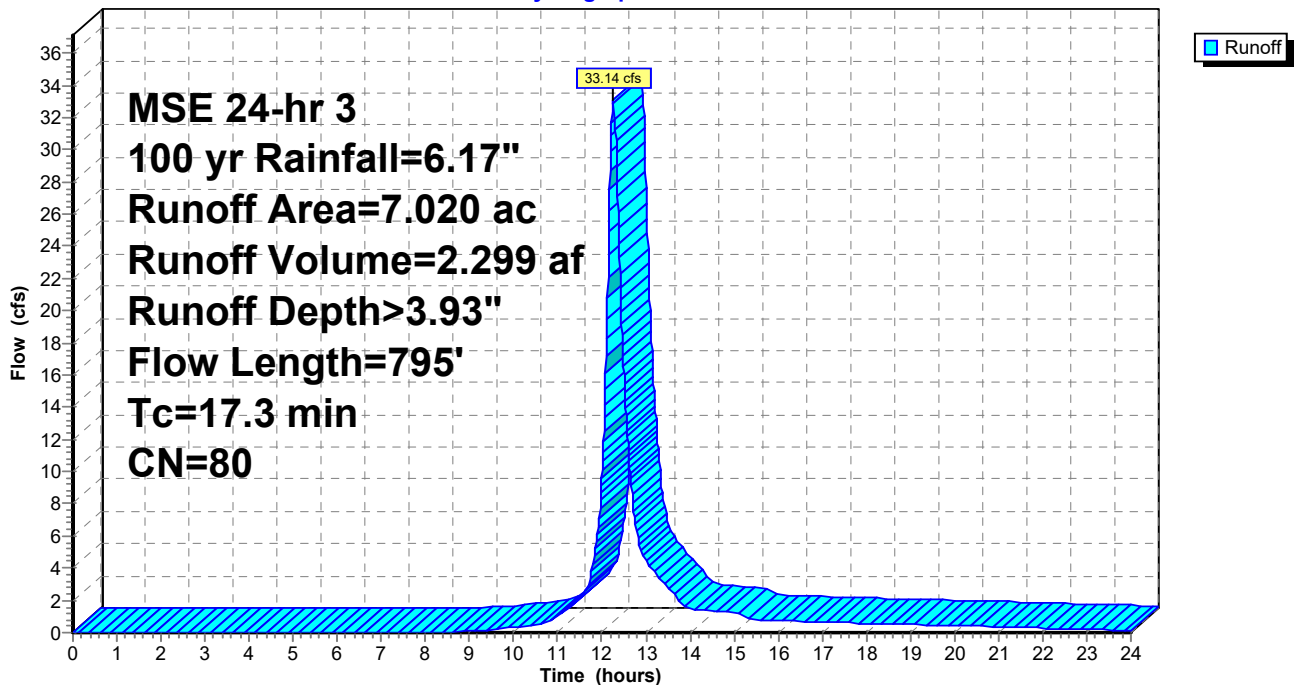
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 3.820	74	grass, C soils
* 1.060	98	impervious
* 0.050	98	offsite impervious
* 2.090	81	offsite 1/3 acre lots, 30% imp, HSG C
7.020	80	Weighted Average
5.283		75.26% Pervious Area
1.737		24.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
12.3	75	0.0200	0.10		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"
3.8	370	0.0100	1.61		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
1.2	350		5.00		Direct Entry, Pipe
17.3	795	Total			

Subcatchment 4: Subarea 4

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 5: Subarea 5

Runoff = 33.23 cfs @ 12.17 hrs, Volume= 1.771 af, Depth> 3.63"

Routed to Pond 5D : Existing Depression 5

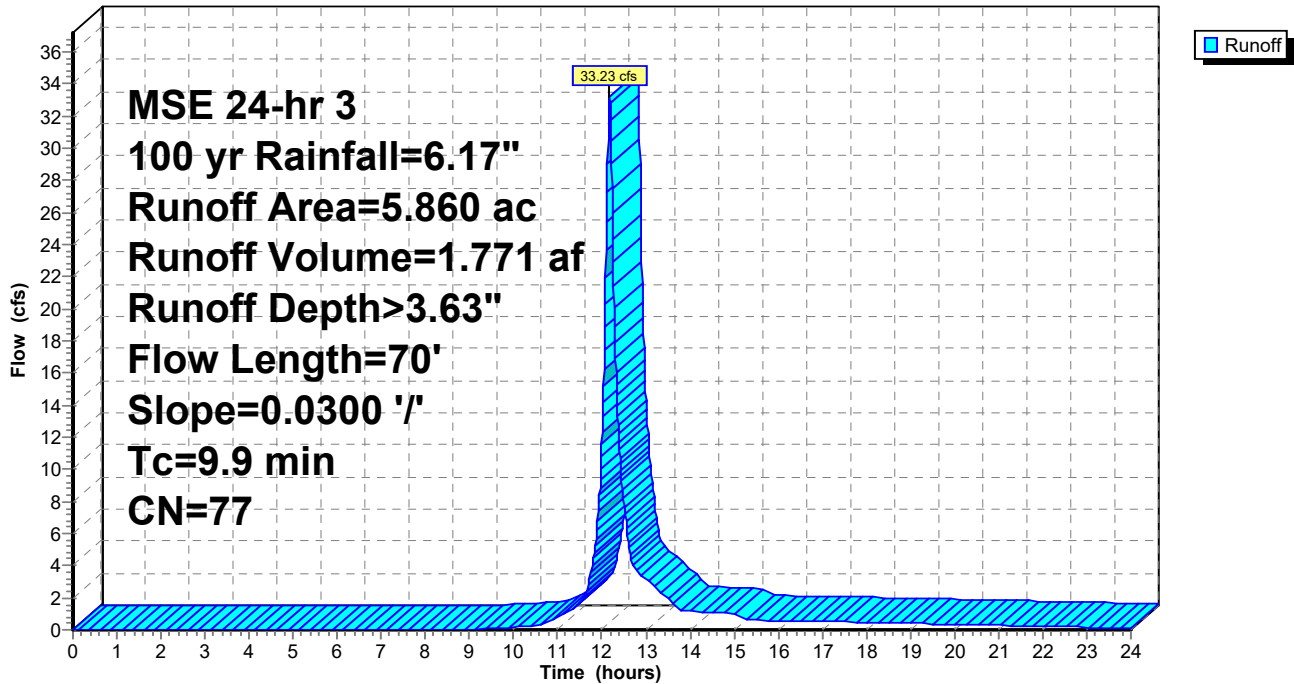
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 4.100	74	grass, C soils
* 0.450	98	impervious
* 1.310	81	offsite 1/3 acre lots, 30% imp, HSG C
5.860	77	Weighted Average
5.017		85.61% Pervious Area
0.843		14.39% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.9	70	0.0300	0.12		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"

Subcatchment 5: Subarea 5

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 6: Subarea 6

Runoff = 30.85 cfs @ 12.17 hrs, Volume= 1.683 af, Depth> 4.35"
 Routed to Pond 6B : Basin 6

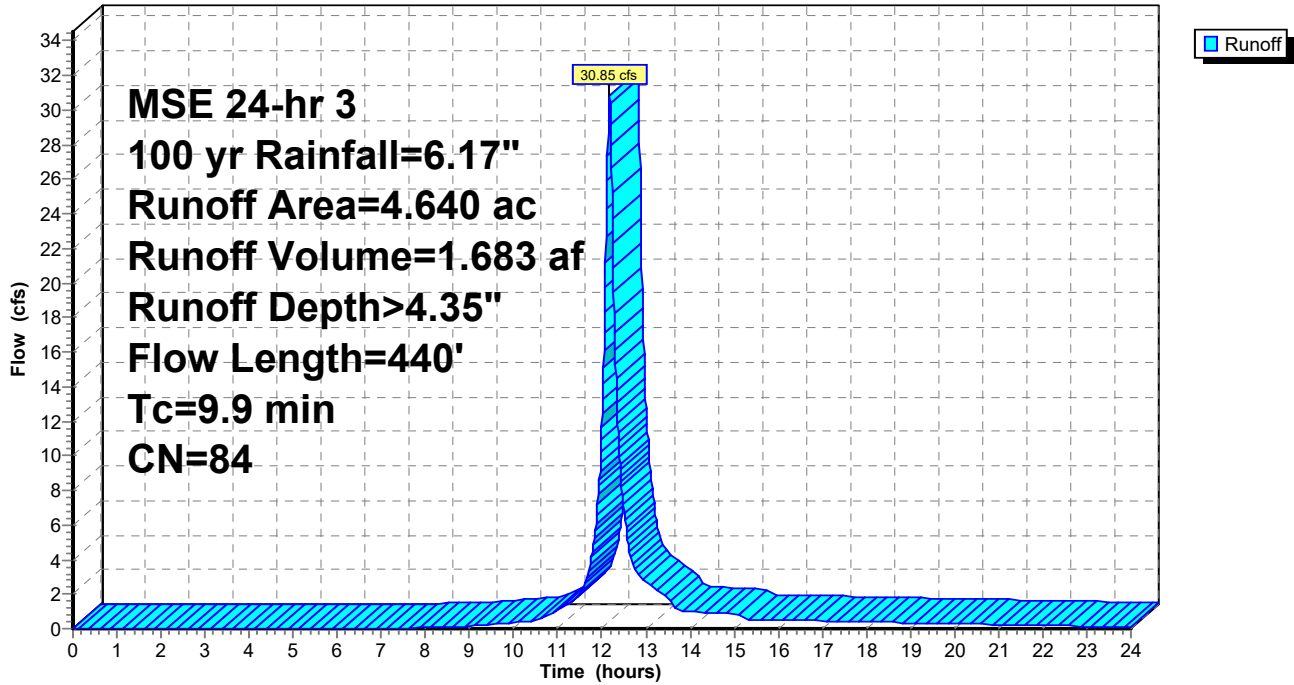
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 2.660	74	grass, C soils
* 1.980	98	impervious
4.640	84	Weighted Average
2.660		57.33% Pervious Area
1.980		42.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.2	55	0.0300	0.11		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"
0.7	80	0.0100	2.03		Shallow Concentrated Flow, Paved Kv= 20.3 fps
1.0	305		5.00		Direct Entry, Pipe
9.9	440				Total

Subcatchment 6: Subarea 6

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MSE 24-hr 3 100 yr Rainfall=6.17"

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Summary for Subcatchment 7: Subarea 7

Runoff = 6.13 cfs @ 12.13 hrs, Volume= 0.283 af, Depth> 4.14"
Routed to Pond 7B : Basin 7

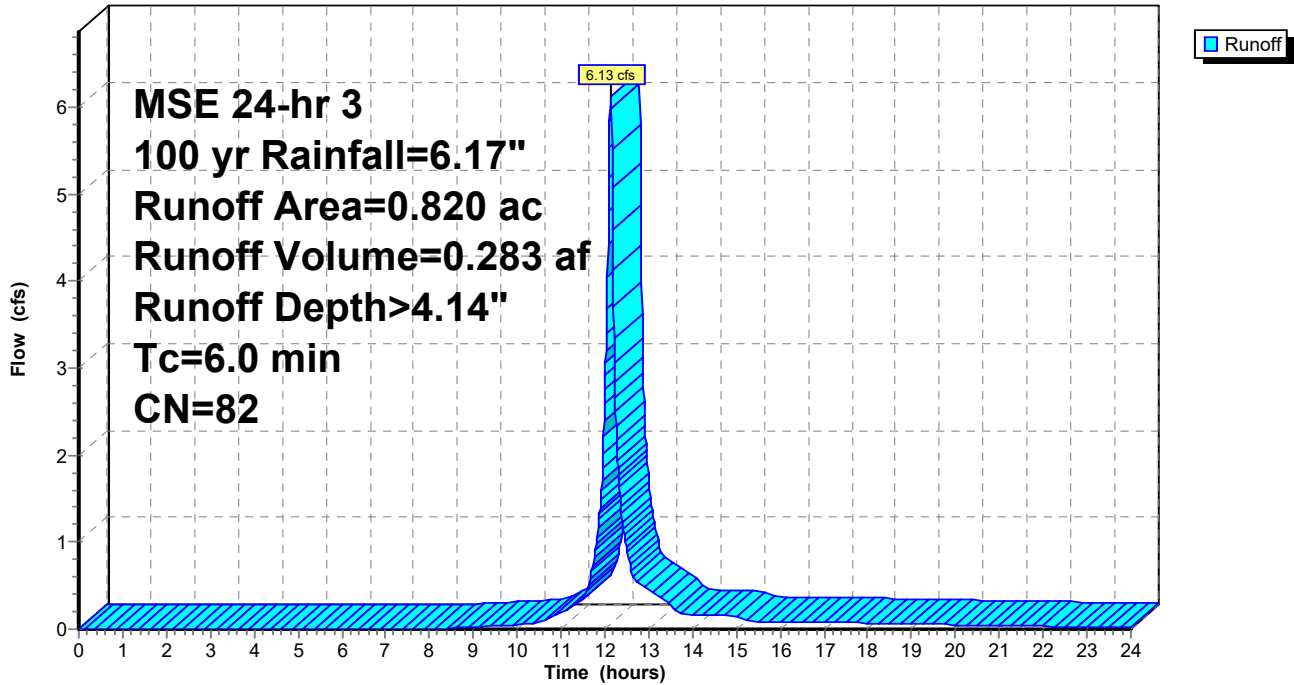
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 0.540	74	grass, C soils
* 0.280	98	impervious
0.820	82	Weighted Average
0.540		65.85% Pervious Area
0.280		34.15% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment 7: Subarea 7

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Summary for Subcatchment 8: Subarea 8

Runoff = 19.53 cfs @ 12.17 hrs, Volume= 1.081 af, Depth> 4.79"
 Routed to Pond 8B : Basin 8

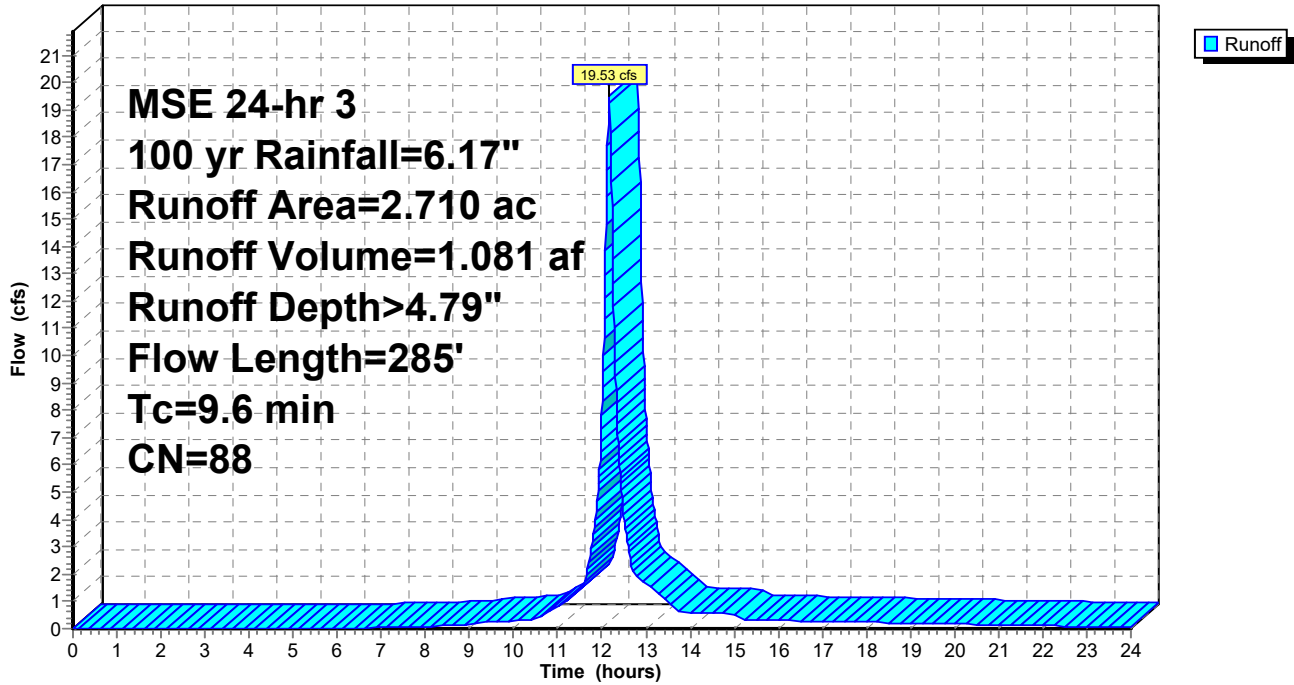
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 1.180	74	grass, C soils
* 1.530	98	impervious
2.710	88	Weighted Average
1.180		43.54% Pervious Area
1.530		56.46% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
7.6	50	0.0300	0.11		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"
1.8	175	0.0100	1.61		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
0.2	60		5.00		Direct Entry, Pipe
9.6	285	Total			

Subcatchment 8: Subarea 8

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Summary for Subcatchment 9: Subarea 9

Runoff = 30.97 cfs @ 12.41 hrs, Volume= 2.759 af, Depth> 3.42"
 Routed to Link 1L : Post-Development Conditions

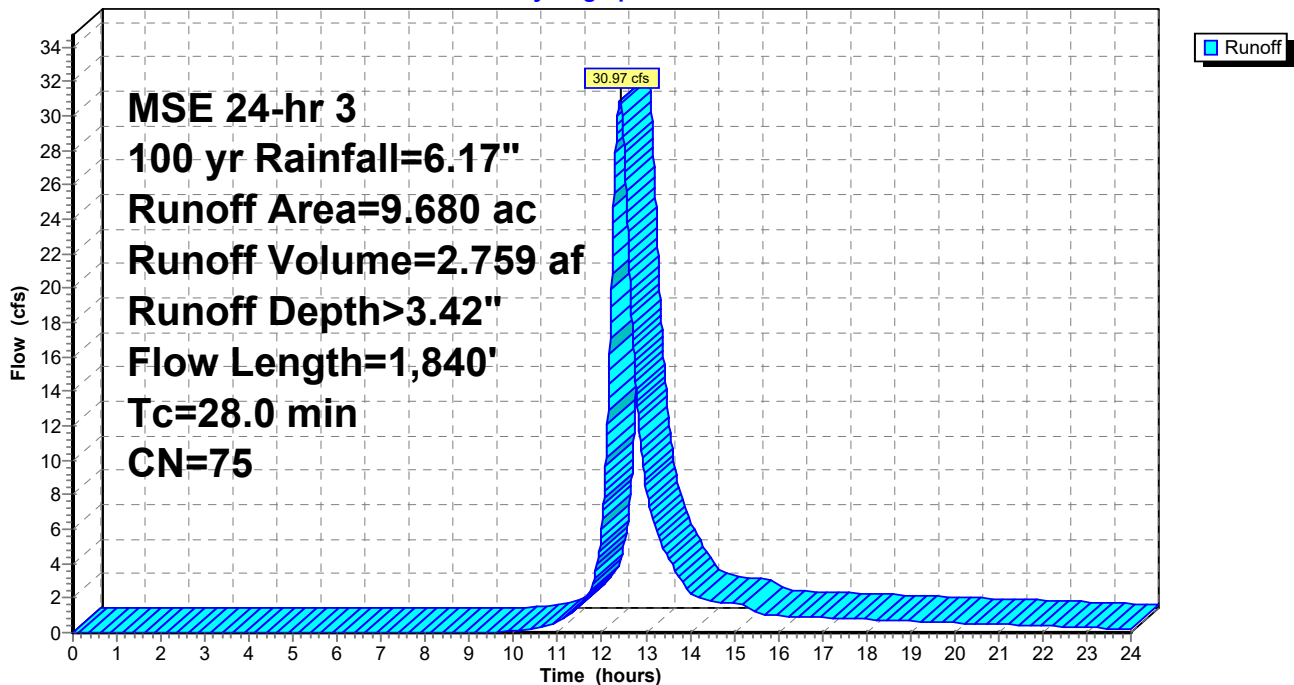
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 MSE 24-hr 3 100 yr Rainfall=6.17"

Area (ac)	CN	Description
* 3.760	74	grass, C soils
* 1.110	98	impervious
* 4.810	70	woods, C soils
9.680	75	Weighted Average
8.570		88.53% Pervious Area
1.110		11.47% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.7	20	0.0100	0.06		Sheet Flow, Grass: Dense n= 0.240 P2= 2.70"
10.5	1,015	0.0100	1.61		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
11.8	805	0.0050	1.14		Shallow Concentrated Flow, Unpaved Kv= 16.1 fps
28.0	1,840	Total			

Subcatchment 9: Subarea 9

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Summary for Pond 1P/2B: Pond 1 & Basin 2

Inflow Area = 19.550 ac, 32.99% Impervious, Inflow Depth > 4.10" for 100 yr event
 Inflow = 86.71 cfs @ 12.27 hrs, Volume= 6.682 af
 Outflow = 24.63 cfs @ 13.06 hrs, Volume= 5.025 af, Atten= 72%, Lag= 47.1 min
 Primary = 24.63 cfs @ 13.06 hrs, Volume= 5.025 af
 Routed to Pond 3P : Pond 3

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 833.46' @ 12.78 hrs Surf.Area= 1.395 ac Storage= 3.726 af

Plug-Flow detention time= 173.7 min calculated for 5.023 af (75% of inflow)
 Center-of-Mass det. time= 107.8 min (908.4 - 800.6)

Volume	Invert	Avail.Storage	Storage Description
#1	829.10'	1.751 af	Pond 1 (Conic) Listed below (Recalc)
#2	829.00'	2.798 af	Basin 2 (Conic) Listed below (Recalc)
		4.550 af	Total Available Storage

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
829.10	0.200	0.000	0.000	0.200
830.00	0.240	0.198	0.198	0.241
831.00	0.290	0.265	0.462	0.291
832.00	0.350	0.320	0.782	0.352
833.00	0.450	0.399	1.181	0.453
834.00	0.700	0.570	1.751	0.703

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
829.00	0.330	0.000	0.000	0.330
830.00	0.400	0.364	0.364	0.401
831.00	0.470	0.435	0.799	0.472
832.00	0.560	0.514	1.313	0.562
833.00	0.720	0.638	1.952	0.723
834.00	0.980	0.847	2.798	0.983

Device	Routing	Invert	Outlet Devices
#1	Primary	829.00'	36.0" Round Culvert L= 55.0' RCP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 829.00' / 827.80' S= 0.0218 '/ Cc= 0.900 n= 0.012, Flow Area= 7.07 sf

Primary OutFlow Max=24.80 cfs @ 13.06 hrs HW=833.34' TW=832.80' (Dynamic Tailwater)
 ←**1=Culvert** (Inlet Controls 24.80 cfs @ 3.51 fps)

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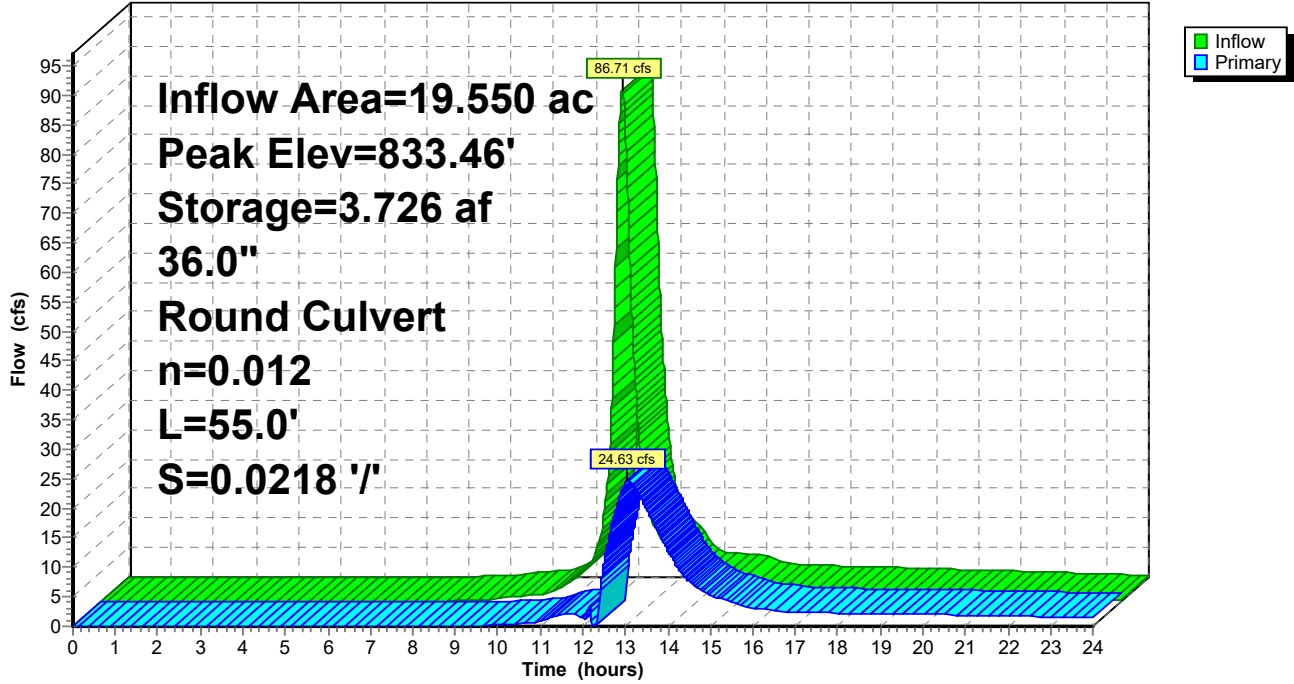
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Pond 1P/2B: Pond 1 & Basin 2

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Summary for Pond 3P: Pond 3

[80] Warning: Exceeded Pond 1P/2B by 0.15' @ 12.31 hrs (13.18 cfs 0.259 af)

Inflow Area = 35.930 ac, 40.50% Impervious, Inflow Depth > 3.76" for 100 yr event
 Inflow = 76.37 cfs @ 12.33 hrs, Volume= 11.256 af
 Outflow = 51.86 cfs @ 12.62 hrs, Volume= 9.611 af, Atten= 32%, Lag= 17.9 min
 Primary = 51.86 cfs @ 12.62 hrs, Volume= 9.611 af
 Routed to Link 1L : Post-Development Conditions

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 833.19' @ 12.62 hrs Surf.Area= 0.744 ac Storage= 2.739 af

Plug-Flow detention time= 112.1 min calculated for 9.611 af (85% of inflow)
 Center-of-Mass det. time= 50.5 min (897.0 - 846.5)

Volume	Invert	Avail.Storage	Storage Description		
#1	827.80'	3.382 af	Custom Stage Data (Conic) Listed below (Recalc)		
Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)	
827.80	0.340	0.000	0.000	0.340	
828.00	0.360	0.070	0.070	0.360	
829.00	0.410	0.385	0.455	0.411	
830.00	0.460	0.435	0.889	0.462	
831.00	0.520	0.490	1.379	0.524	
832.00	0.600	0.560	1.939	0.605	
833.00	0.720	0.659	2.598	0.725	
834.00	0.850	0.784	3.382	0.856	

Device	Routing	Invert	Outlet Devices	
#1	Primary	827.80'	36.0" Round Culvert L= 375.0' RCP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 827.80' / 827.00' S= 0.0021 '/' Cc= 0.900 n= 0.012, Flow Area= 7.07 sf	
#2	Device 1	827.80'	4.0" Vert. Orifice C= 0.600 Limited to weir flow at low heads	
#3	Device 1	830.80'	1.0' long x 1.20' rise Sharp-Crested Rectangular Weir 2 End Contraction(s)	
#4	Device 1	832.00'	60.0" Horiz. Grate C= 0.600 Limited to weir flow at low heads	

Primary OutFlow Max=51.86 cfs @ 12.62 hrs HW=833.19' TW=0.00' (Dynamic Tailwater)

- 1=Culvert (Barrel Controls 51.86 cfs @ 7.34 fps)
- 2=Orifice (Passes < 0.96 cfs potential flow)
- 3=Sharp-Crested Rectangular Weir (Passes < 5.96 cfs potential flow)
- 4=Grate (Passes < 66.88 cfs potential flow)

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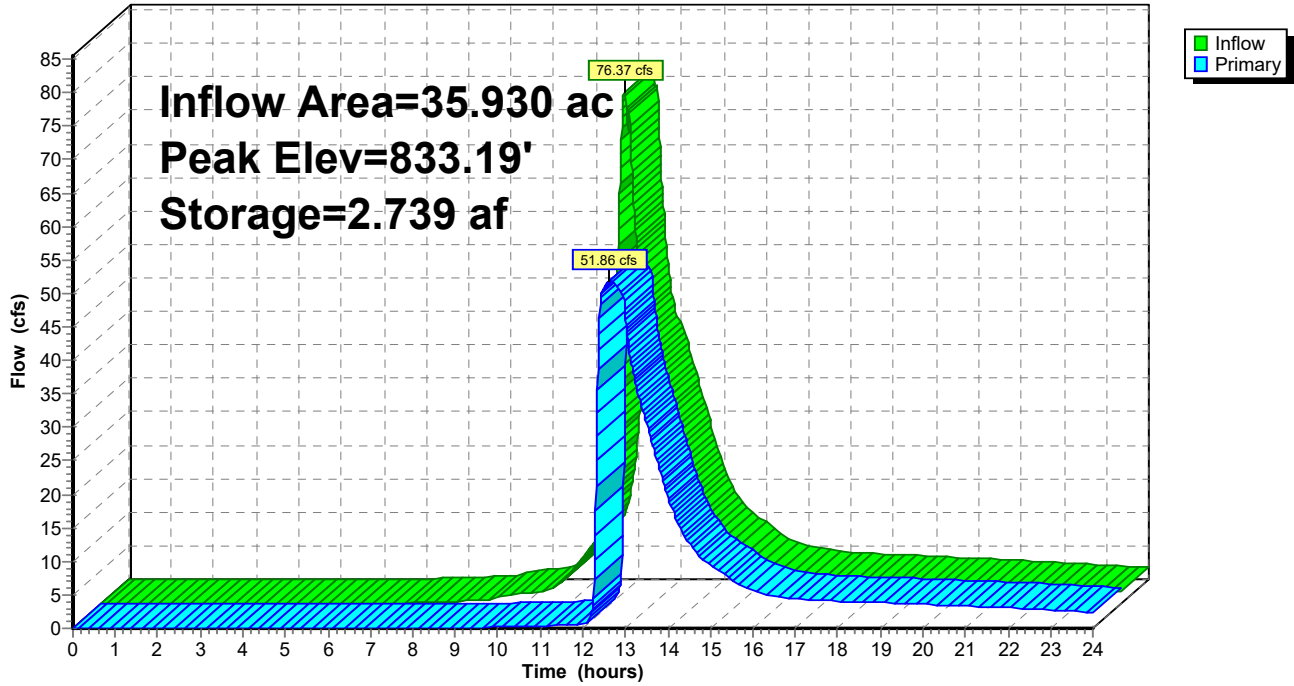
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Pond 3P: Pond 3

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Summary for Pond 4B: Basin 4

Inflow Area = 7.020 ac, 24.74% Impervious, Inflow Depth > 3.93" for 100 yr event
 Inflow = 33.14 cfs @ 12.26 hrs, Volume= 2.299 af
 Outflow = 8.80 cfs @ 12.49 hrs, Volume= 2.150 af, Atten= 73%, Lag= 13.7 min
 Primary = 8.80 cfs @ 12.49 hrs, Volume= 2.150 af
 Routed to Pond 5D : Existing Depression 5

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 834.95' @ 12.68 hrs Surf.Area= 0.571 ac Storage= 0.825 af

Plug-Flow detention time= 68.3 min calculated for 2.150 af (94% of inflow)
 Center-of-Mass det. time= 37.7 min (840.9 - 803.1)

Volume	Invert	Avail.Storage	Storage Description		
#1	831.30'	0.853 af	Custom Stage Data (Conic) Listed below (Recalc)		
Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)	
831.30	0.090	0.000	0.000	0.090	
832.00	0.130	0.077	0.077	0.130	
833.00	0.170	0.150	0.226	0.171	
834.00	0.260	0.213	0.440	0.261	
835.00	0.590	0.414	0.853	0.591	

Device	Routing	Invert	Outlet Devices
#1	Primary	831.30'	18.0" Round Culvert L= 645.0' CPP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 831.30' / 829.00' S= 0.0036 '/' Cc= 0.900 n= 0.011, Flow Area= 1.77 sf

Primary OutFlow Max=8.78 cfs @ 12.49 hrs HW=834.85' TW=831.03' (Dynamic Tailwater)
 ↑1=Culvert (Outlet Controls 8.78 cfs @ 4.97 fps)

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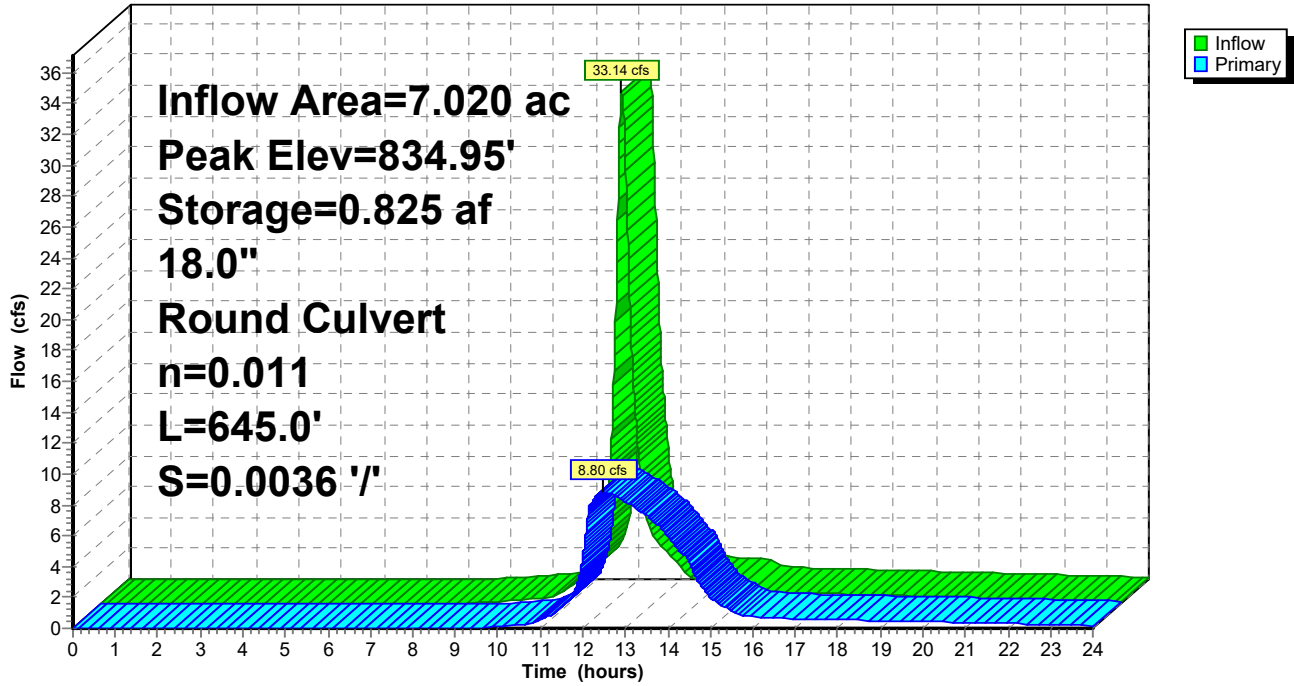
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Pond 4B: Basin 4

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Summary for Pond 5D: Existing Depression 5

Inflow Area = 12.880 ac, 20.03% Impervious, Inflow Depth > 3.65" for 100 yr event
 Inflow = 40.83 cfs @ 12.18 hrs, Volume= 3.921 af
 Outflow = 0.73 cfs @ 20.54 hrs, Volume= 0.449 af, Atten= 98%, Lag= 501.5 min
 Primary = 0.73 cfs @ 20.54 hrs, Volume= 0.449 af
 Routed to Pond 6B : Basin 6

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 832.55' @ 20.40 hrs Surf.Area= 1.556 ac Storage= 3.519 af

Plug-Flow detention time= 468.3 min calculated for 0.449 af (11% of inflow)
 Center-of-Mass det. time= 337.9 min (1,161.1 - 823.2)

Volume	Invert	Avail.Storage	Storage Description		
#1	829.00'	6.108 af	Custom Stage Data (Conic) Listed below (Recalc)		
Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)	
829.00	0.200	0.000	0.000	0.200	
830.00	0.830	0.479	0.479	0.830	
831.00	1.130	0.976	1.455	1.131	
832.00	1.390	1.258	2.713	1.391	
833.00	1.700	1.542	4.255	1.702	
834.00	2.010	1.853	6.108	2.013	

Device	Routing	Invert	Outlet Devices	
#1	Primary	829.00'	12.0" Round Culvert L= 60.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 829.00' / 827.80' S= 0.0200 '/' Cc= 0.900 n= 0.011, Flow Area= 0.79 sf	
#2	Device 1	829.00'	4.0" Vert. Orifice C= 0.600 Limited to weir flow at low heads	
#3	Device 1	832.50'	36.0" Horiz. Grate C= 0.600 Limited to weir flow at low heads	
#4	Primary	833.50'	100.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64	

Primary OutFlow Max=0.73 cfs @ 20.54 hrs HW=832.55' TW=831.59' (Dynamic Tailwater)

- 1=Culvert (Passes 0.73 cfs of 3.66 cfs potential flow)
- 2=Orifice (Orifice Controls 0.41 cfs @ 4.72 fps)
- 3=Grate (Weir Controls 0.32 cfs @ 0.71 fps)
- 4=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

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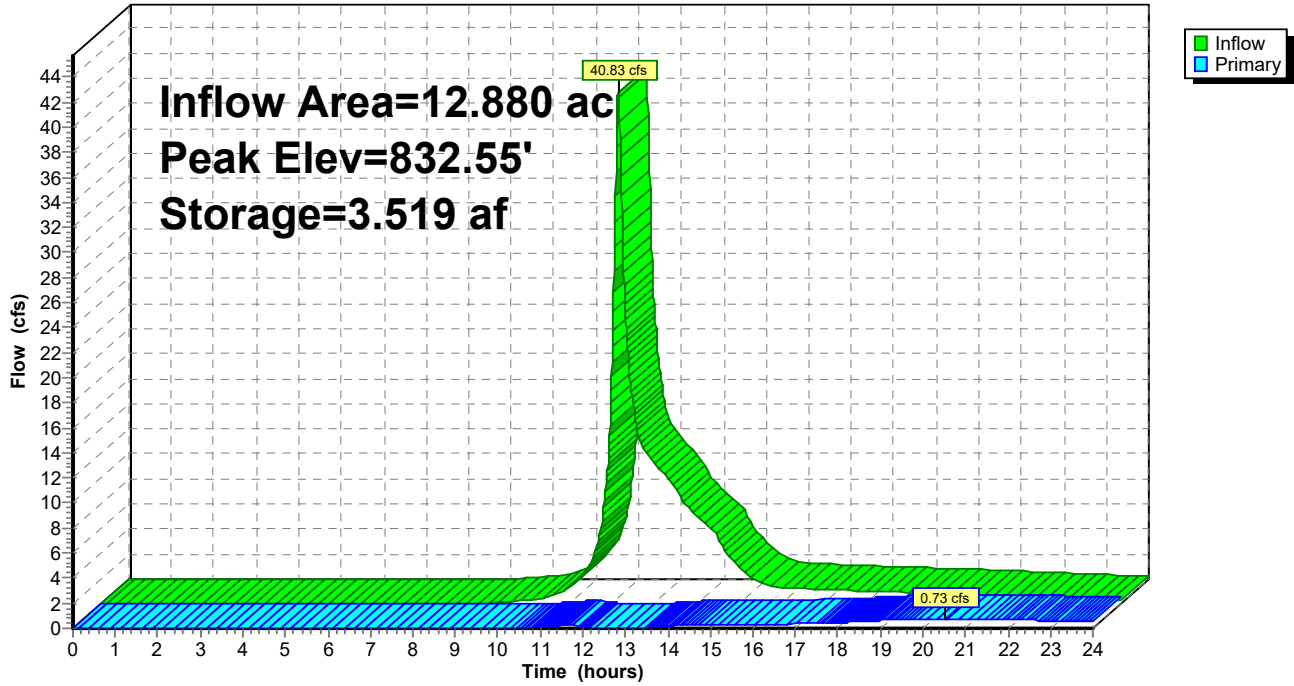
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Pond 5D: Existing Depression 5

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Summary for Pond 6B: Basin 6

[80] Warning: Exceeded Pond 5D by 0.36' @ 12.46 hrs (0.25 cfs 0.021 af)

Inflow Area = 17.520 ac, 26.03% Impervious, Inflow Depth > 1.46" for 100 yr event
 Inflow = 30.85 cfs @ 12.17 hrs, Volume= 2.133 af
 Outflow = 1.26 cfs @ 18.87 hrs, Volume= 1.158 af, Atten= 96%, Lag= 401.9 min
 Primary = 1.26 cfs @ 18.87 hrs, Volume= 1.158 af
 Routed to Pond 8B : Basin 8

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 831.89' @ 15.09 hrs Surf.Area= 0.521 ac Storage= 1.249 af

Plug-Flow detention time= 373.7 min calculated for 1.157 af (54% of inflow)
 Center-of-Mass det. time= 223.8 min (1,091.3 - 867.5)

Volume	Invert	Avail.Storage	Storage Description			
#1	827.80'	2.574 af	Custom Stage Data (Conic) Listed below (Recalc)			
Elevation (feet)	Surf.Area (acres)	Voids (%)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)	
827.80	0.270	0.0	0.000	0.000	0.270	
828.00	0.280	30.0	0.016	0.016	0.280	
829.00	0.330	30.0	0.091	0.108	0.331	
829.30	0.350	30.0	0.031	0.138	0.351	
830.00	0.390	100.0	0.259	0.397	0.392	
831.00	0.450	100.0	0.420	0.817	0.453	
832.00	0.530	100.0	0.489	1.306	0.534	
833.00	0.610	100.0	0.570	1.876	0.615	
834.00	0.790	100.0	0.698	2.574	0.795	

Device	Routing	Invert	Outlet Devices
#1	Primary	827.80'	12.0" Round Culvert L= 355.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 827.80' / 826.00' S= 0.0051 '/' Cc= 0.900 n= 0.011, Flow Area= 0.79 sf
#2	Device 1	827.80'	4.0" Vert. Orifice C= 0.600 Limited to weir flow at low heads
#3	Device 1	829.80'	4.0" Vert. Orifice C= 0.600 Limited to weir flow at low heads
#4	Device 1	832.00'	36.0" Horiz. Grate C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=1.26 cfs @ 18.87 hrs HW=831.66' TW=828.77' (Dynamic Tailwater)

- 1=Culvert (Passes 1.26 cfs of 3.48 cfs potential flow)
- 2=Orifice (Orifice Controls 0.71 cfs @ 8.18 fps)
- 3=Orifice (Orifice Controls 0.55 cfs @ 6.27 fps)
- 4=Grate (Controls 0.00 cfs)

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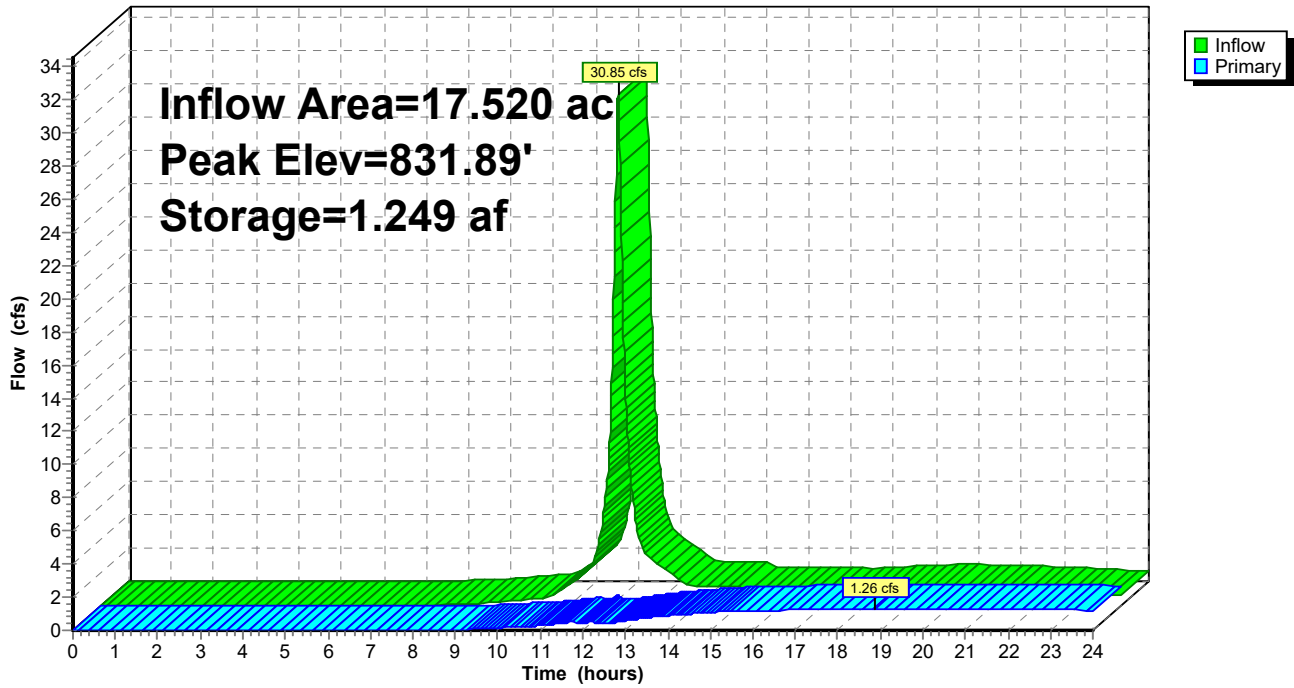
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Pond 6B: Basin 6

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Summary for Pond 7B: Basin 7

Inflow Area = 0.820 ac, 34.15% Impervious, Inflow Depth > 4.14" for 100 yr event
 Inflow = 6.13 cfs @ 12.13 hrs, Volume= 0.283 af
 Outflow = 1.35 cfs @ 12.38 hrs, Volume= 0.283 af, Atten= 78%, Lag= 14.7 min
 Primary = 1.35 cfs @ 12.38 hrs, Volume= 0.283 af
 Routed to Pond 8B : Basin 8

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 833.33' @ 12.38 hrs Surf.Area= 0.129 ac Storage= 0.109 af

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 56.1 min (845.7 - 789.5)

Volume	Invert	Avail.Storage	Storage Description		
#1	831.00'	0.219 af	Custom Stage Data (Conic) Listed below (Recalc)		
Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)	
831.00	0.000	0.000	0.000	0.000	
832.00	0.030	0.010	0.010	0.030	
833.00	0.100	0.062	0.072	0.100	
834.00	0.200	0.147	0.219	0.200	

Device	Routing	Invert	Outlet Devices		
#1	Primary	831.00'	4.0" Horiz. Orifice	C= 0.600	Limited to weir flow at low heads
#2	Primary	833.25'	36.0" Horiz. Grate	C= 0.600	Limited to weir flow at low heads

Primary OutFlow Max=1.35 cfs @ 12.38 hrs HW=833.33' TW=831.03' (Dynamic Tailwater)
 1=Orifice (Orifice Controls 0.64 cfs @ 7.30 fps)
 2=Grate (Weir Controls 0.71 cfs @ 0.93 fps)

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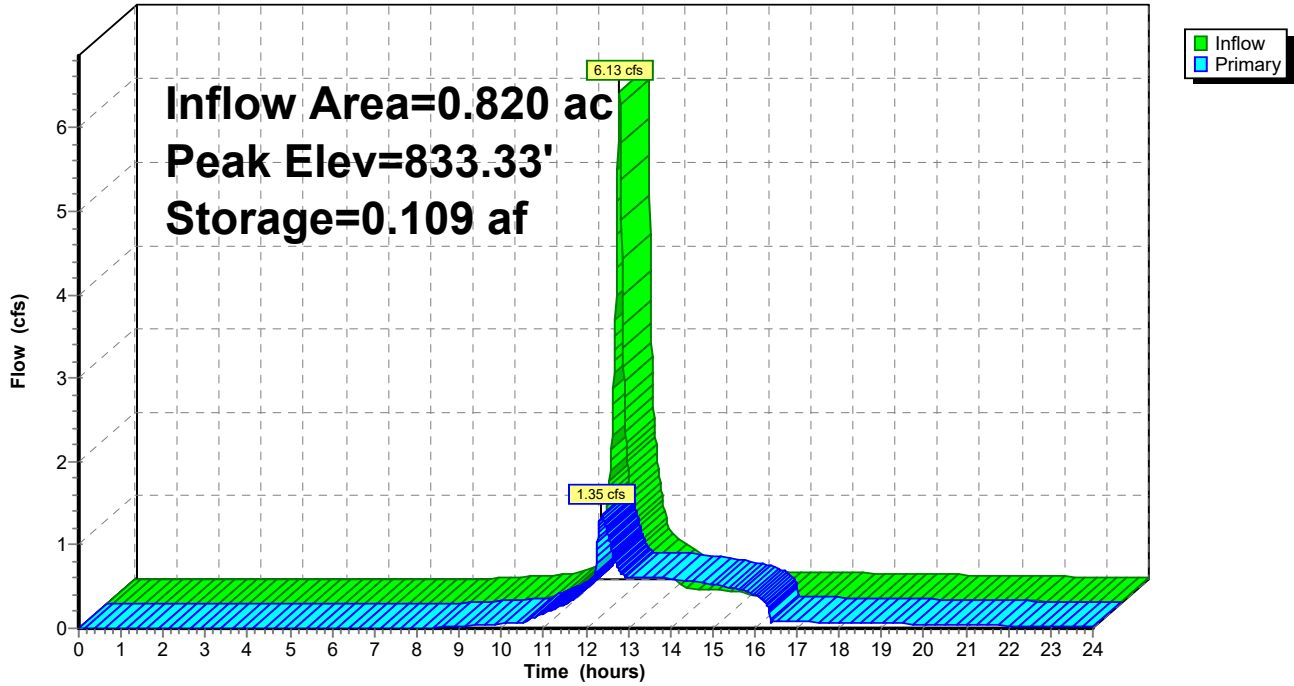
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Pond 7B: Basin 7

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Summary for Pond 8B: Basin 8

Inflow Area = 21.050 ac, 30.26% Impervious, Inflow Depth > 1.44" for 100 yr event
 Inflow = 20.75 cfs @ 12.17 hrs, Volume= 2.522 af
 Outflow = 3.62 cfs @ 12.67 hrs, Volume= 2.394 af, Atten= 83%, Lag= 30.1 min
 Primary = 3.62 cfs @ 12.67 hrs, Volume= 2.394 af
 Routed to Link 1L : Post-Development Conditions

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 831.27' @ 12.67 hrs Surf.Area= 0.200 ac Storage= 0.568 af

Plug-Flow detention time= 78.9 min calculated for 2.393 af (95% of inflow)
 Center-of-Mass det. time= 53.7 min (984.1 - 930.4)

Volume	Invert	Avail.Storage	Storage Description			
#1	826.00'	0.852 af	Custom Stage Data (Conic) Listed below (Recalc)			
Elevation (feet)	Surf.Area (acres)	Voids (%)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)	
826.00	0.060	0.0	0.000	0.000	0.060	
827.00	0.080	30.0	0.021	0.021	0.080	
827.50	0.090	30.0	0.013	0.034	0.091	
828.00	0.100	100.0	0.047	0.081	0.101	
829.00	0.130	100.0	0.115	0.196	0.132	
830.00	0.160	100.0	0.145	0.341	0.162	
831.00	0.190	100.0	0.175	0.515	0.193	
832.00	0.230	100.0	0.210	0.725	0.234	
832.50	0.280	100.0	0.127	0.852	0.284	

Device	Routing	Invert	Outlet Devices	
#1	Primary	826.00'	12.0" Round Culvert L= 170.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 826.00' / 825.40' S= 0.0035 '/' Cc= 0.900 n= 0.011, Flow Area= 0.79 sf	
#2	Device 1	826.00'	6.0" Vert. Orifice	C= 0.600 Limited to weir flow at low heads
#3	Device 1	828.50'	6.0" Vert. Orifice	C= 0.600 Limited to weir flow at low heads
#4	Device 1	831.25'	36.0" Vert. Grate	C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=3.62 cfs @ 12.67 hrs HW=831.27' TW=0.00' (Dynamic Tailwater)

- ↑ **1=Culvert** (Passes 3.62 cfs of 6.03 cfs potential flow)
- ↑ **2=Orifice** (Orifice Controls 2.12 cfs @ 10.79 fps)
- ↑ **3=Orifice** (Orifice Controls 1.50 cfs @ 7.65 fps)
- ↑ **4=Grate** (Orifice Controls 0.00 cfs @ 0.50 fps)

Proposed

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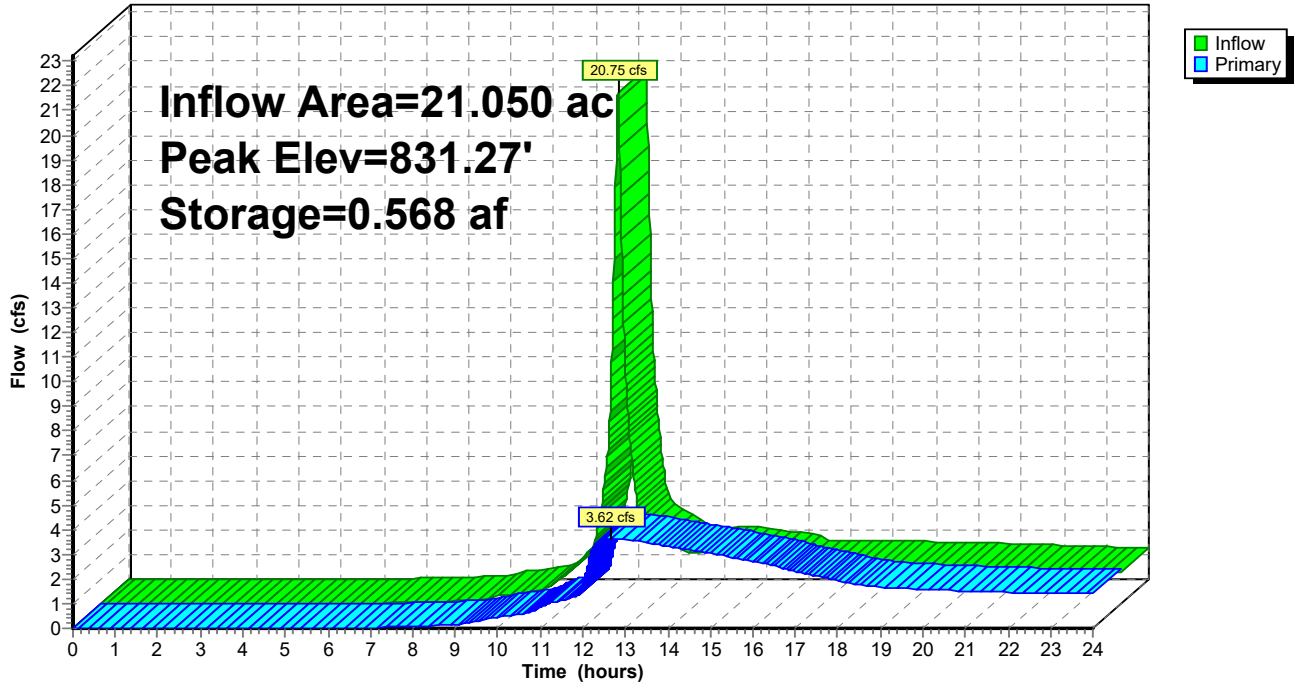
MSE 24-hr 3 100 yr Rainfall=6.17"

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Pond 8B: Basin 8

Hydrograph



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MSE 24-hr 3 100 yr Rainfall=6.17"

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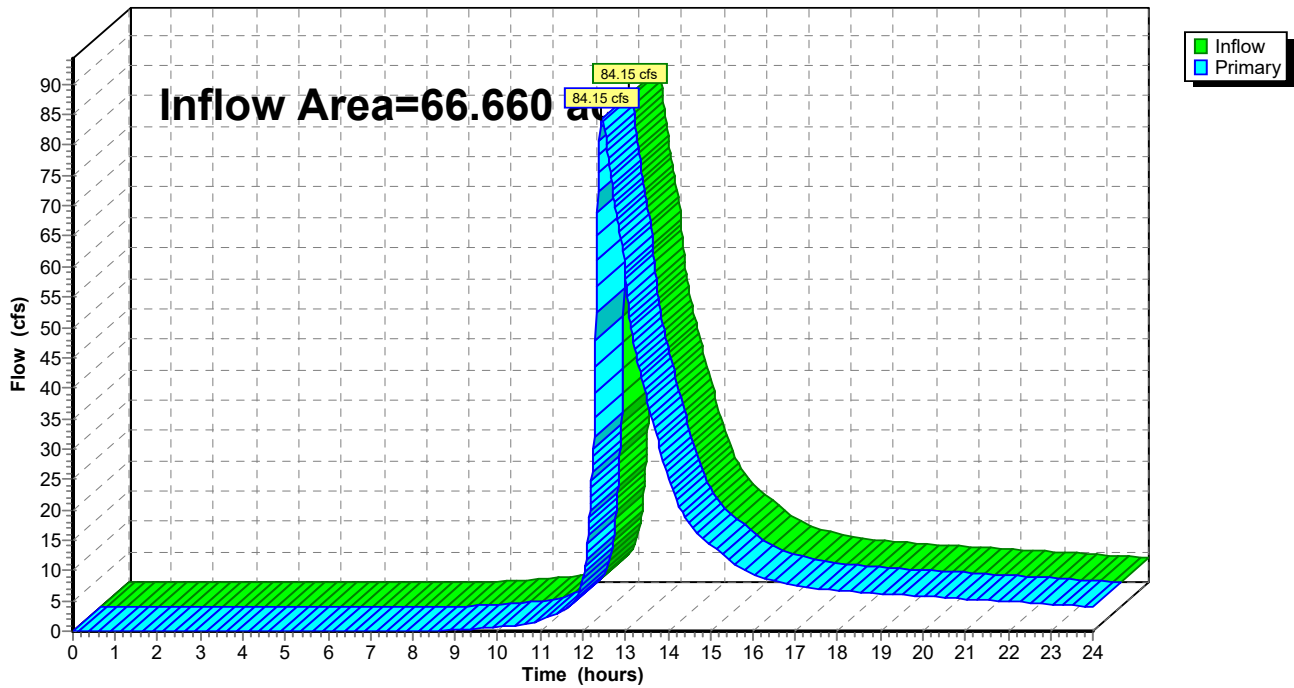
Summary for Link 1L: Post-Development Conditions

Inflow Area = 66.660 ac, 33.05% Impervious, Inflow Depth > 2.66" for 100 yr event
Inflow = 84.15 cfs @ 12.44 hrs, Volume= 14.764 af
Primary = 84.15 cfs @ 12.44 hrs, Volume= 14.764 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs

Link 1L: Post-Development Conditions

Hydrograph



Proposed

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Multi-Event Tables

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Page 112

Events for Subcatchment 1: Subarea 1

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	17.47	1.301	0.91
2 yr	2.69	22.11	1.628	1.14
10 yr	3.80	39.92	2.905	2.03
100 yr	6.17	80.52	5.922	4.14

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Multi-Event Tables

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Page 113

Events for Subcatchment 2: Subarea 2

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	3.20	0.150	0.76
2 yr	2.69	4.13	0.192	0.97
10 yr	3.80	7.75	0.357	1.80
100 yr	6.17	16.19	0.760	3.83

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Multi-Event Tables

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Page 114

Events for Subcatchment 3: Subarea 3

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	19.56	1.562	1.14
2 yr	2.69	23.97	1.908	1.40
10 yr	3.80	40.38	3.225	2.36
100 yr	6.17	76.37	6.231	4.57

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Page 115

Events for Subcatchment 4: Subarea 4

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	6.60	0.471	0.81
2 yr	2.69	8.49	0.597	1.02
10 yr	3.80	15.88	1.097	1.88
100 yr	6.17	33.14	2.299	3.93

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Page 116

Events for Subcatchment 5: Subarea 5

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	5.82	0.325	0.67
2 yr	2.69	7.71	0.421	0.86
10 yr	3.80	15.24	0.809	1.66
100 yr	6.17	33.23	1.771	3.63

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Page 117

Events for Subcatchment 6: Subarea 6

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	7.45	0.396	1.02
2 yr	2.69	9.24	0.489	1.26
10 yr	3.80	15.95	0.849	2.19
100 yr	6.17	30.85	1.683	4.35

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Page 118

Events for Subcatchment 7: Subarea 7

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	1.39	0.062	0.91
2 yr	2.69	1.74	0.078	1.14
10 yr	3.80	3.09	0.139	2.03
100 yr	6.17	6.13	0.283	4.14

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Page 119

Events for Subcatchment 8: Subarea 8

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	5.49	0.289	1.28
2 yr	2.69	6.62	0.349	1.54
10 yr	3.80	10.71	0.574	2.54
100 yr	6.17	19.53	1.081	4.79

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Multi-Event Tables

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Page 120

Events for Subcatchment 9: Subarea 9

Event	Rainfall (inches)	Runoff (cfs)	Volume (acre-feet)	Depth (inches)
1 yr	2.38	4.65	0.468	0.58
2 yr	2.69	6.35	0.615	0.76
10 yr	3.80	13.44	1.222	1.51
100 yr	6.17	30.97	2.759	3.42

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Multi-Event Tables

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Page 121

Events for Pond 1P/2B: Pond 1 & Basin 2

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	18.77	4.27	830.82	1.127
2 yr	23.76	5.23	831.13	1.363
10 yr	42.90	7.13	832.12	2.208
100 yr	86.71	24.63	833.46	3.726

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Multi-Event Tables

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Page 122

Events for Pond 3P: Pond 3

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	23.41	0.72	830.82	1.286
2 yr	29.06	1.36	831.14	1.455
10 yr	46.50	8.57	832.18	2.048
100 yr	76.37	51.86	833.19	2.739

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Multi-Event Tables

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Page 123

Events for Pond 4B: Basin 4

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	6.60	3.72	832.32	0.120
2 yr	8.49	4.96	832.52	0.150
10 yr	15.88	7.93	833.35	0.291
100 yr	33.14	8.80	834.95	0.825

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Page 124

Events for Pond 5D: Existing Depression 5

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	6.79	0.33	830.09	0.559
2 yr	9.35	0.34	830.32	0.760
10 yr	19.72	0.43	831.10	1.574
100 yr	40.83	0.73	832.55	3.519

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Page 125

Events for Pond 6B: Basin 6

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	7.57	0.54	829.63	0.259
2 yr	9.41	0.58	829.84	0.337
10 yr	16.08	0.88	830.46	0.584
100 yr	30.85	1.26	831.89	1.249

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Page 126

Events for Pond 7B: Basin 7

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	1.39	0.44	832.09	0.013
2 yr	1.74	0.47	832.25	0.019
10 yr	3.09	0.55	832.71	0.046
100 yr	6.13	1.35	833.33	0.109

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Multi-Event Tables

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Page 127

Events for Pond 8B: Basin 8

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)	Storage (acre-feet)
1 yr	6.31	1.43	828.53	0.138
2 yr	7.51	1.70	828.78	0.168
10 yr	11.64	2.59	829.59	0.277
100 yr	20.75	3.62	831.27	0.568

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Multi-Event Tables

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Events for Link 1L: Post-Development Conditions

Event	Inflow (cfs)	Primary (cfs)	Elevation (feet)
1 yr	6.57	6.57	0.00
2 yr	8.53	8.53	0.00
10 yr	17.74	17.74	0.00
100 yr	84.15	84.15	0.00

APPENDIX C

Treatment Analysis

Treatment Analysis Results

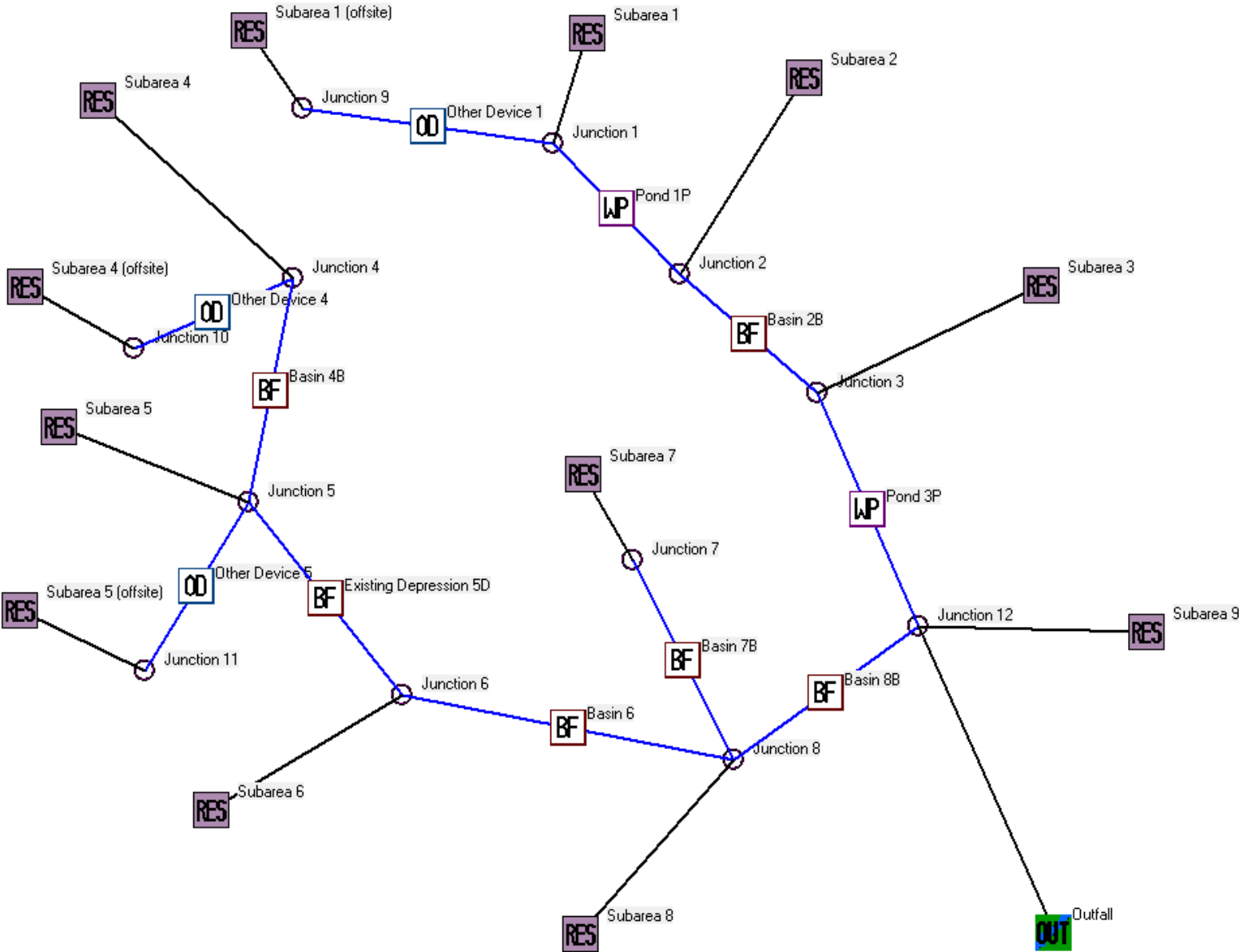
FOR: Esser Development

LOCATION: City of Pewaukee, Wisconsin

Subarea	Total TSS Loading (lbs)	BMP Type	BMP		Total Solids Yield (lbs)	% TSS Removed
			lbs IN	lbs OUT		
Subarea 1	3197	Pond 1P and Disconnected roof/patio (single family)	3197	772	drains to Basin 2B	76%
Subarea 2	331	Infiltration Basin 2B and Disconnected roof/patio	1103	964	drains to Pond 3P	13%
Subarea 3	6040	Pond 3P and Disconnected roof/pation (single family)	7004	1792	1792	74%
Subarea 4	686	Infiltration Basin 4B and Disconnected roof/patio	686	433	drains to Depression 5D	37%
Subarea 5	552	Existing Depression 5D and Disconnected roof/patio	985	612	drains to Basin 6B	38%
Subarea 6	1296	Bioretention Basin 6B and Disconnected roof/patio	1908	242	drains to Basin 8B	87%
Subarea 7	141	Infiltration Basin 7B and Disconnected roof/patio	141	64	drains to Basin 8B	55%
Subarea 8	1012	Bioretention Basin 8B and Disconnected roof/patio	1318	458	458	65%
Subarea 9	864	Disconnection of roof/patios	864	558	558	35%
Total	14119	--	--	--	2808	80%

Subarea	Total Phosphorus Loading (lbs)	BMP Type	BMP		Total Phosphorus Yield (lbs)	% Phosphorus Removed
			lbs IN	lbs OUT		
Total	62.45	--	62.45	23.38	23.38	62.6%

Treatment Analysis Connected Model



SLAMM for Windows Version 10.5.0
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Data file name: C:\Data\Jobs\2025\2025-017 - Esser - Pewaukee - TRIO\Project_Information\Calcs\SLAMM\Proposed_Connected.mdb
 Data file description:
 Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN
 Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx
 Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
 Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdX
 Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
 Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
 Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv
 Cost Data file name:
 If Other Device Pollutant Load Reduction Values = 1, Off-site Pollutant Loads are Removed from Pollutant Load % Reduction calculations
 Seed for random number generator: -42
 Start of Winter Season: 12/06 End of Winter Season: 03/28
 Model Run Start Date: 01/05/69 Model Run End Date: 12/31/69
 Date of run: 08-28-2025 Time of run: 18:43:13
 Total Area Modeled (acres): 66.660
 Years in Model Run: 0.99

	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	2.108E+06	-	107.3	14119	-
Outfall Total with Controls:	1.926E+06	8.63%	30.07	3615	74.40%
Annualized Total After Outfall Controls:	1.952E+06			3665	

Pollutant	Concentration - No Controls	Concentration - With Controls	Conc. Units	Pollutant Yield No Controls	Pollutant Yield With Controls	Pol. Yield Units	Percent Reduction
Particulate Solids	107.3	30.07	mg/L	14119	3615	lbs	74.40 %
Total Phosphorus	0.4747	0.2333	mg/L	62.45	28.05	lbs	55.08 %

Data file name: C:\Data\Jobs\2025\2025-017 - Esser - Pewaukee - TRIO\Project_Information\Calcs\SLAMM\Proposed_Connected.mdb
WinSLAMM Version 10.5.0

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv

Cost Data file name:

If Other Device Pollutant Load Reduction Values = 1, Off-site Pollutant Loads are Removed from Pollutant Load % Reduction calculations

Seed for random number generator: -42

Study period starting date: 01/05/69 Study period ending date: 12/31/69

Start of Winter Season: 12/06 End of Winter Season: 03/28

Date: 08-28-2025 Time: 18:43:21

Site information:

LU# 1 - Residential: Subarea 1 Total area (ac): 12.380

1 - Roofs 1: 0.860 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

2 - Roofs 2: 1.070 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

25 - Driveways 1: 0.380 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

26 - Driveways 2: 0.260 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

31 - Sidewalks 1: 0.320 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

32 - Sidewalks 2: 0.170 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

37 - Streets 1: 1.110 ac. Smooth Street Length = 0.3271 mi Street Width = 27.99603 ft Street Edges = 2

Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 8.040 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

70 - Water Body Areas: 0.170 ac. Source Area PSD File:

LU# 2 - Residential: Subarea 2 Total area (ac): 2.380

1 - Roofs 1: 0.180 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

2 - Roofs 2: 0.220 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

31 - Sidewalks 1: 0.070 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

32 - Sidewalks 2: 0.050 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 1.860 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 3 - Residential: Subarea 3 Total area (ac): 16.380

1 - Roofs 1: 1.900 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

2 - Roofs 2: 0.750 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

25 - Driveways 1: 0.630 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

26 - Driveways 2: 1.460 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

31 - Sidewalks 1: 0.220 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

32 - Sidewalks 2: 0.330 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

37 - Streets 1: 2.490 ac. Smooth Street Length = 0.7337 mi Street Width = 27.9985 ft Street Edges = 2

Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 8.280 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

70 - Water Body Areas: 0.320 ac. Source Area PSD File:

LU# 4 - Residential: Subarea 4 Total area (ac): 4.880

1 - Roofs 1: 0.810 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

31 - Sidewalks 1: 0.240 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

37 - Streets 1: 0.010 ac. Smooth Street Length = 0.0029 mi Street Width = 28.44828 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 3.820 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 5 - Residential: Subarea 5 Total area (ac): 4.550
 1 - Roofs 1: 0.350 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.100 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 4.100 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 6 - Residential: Subarea 6 Total area (ac): 4.640
 1 - Roofs 1: 0.830 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 2 - Roofs 2: 0.180 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.100 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 26 - Driveways 2: 0.340 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.050 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 32 - Sidewalks 2: 0.130 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.350 ac. Smooth Street Length = 0.1031 mi Street Width = 28.00679 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 2.660 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 7 - Residential: Subarea 7 Total area (ac): 0.820
 1 - Roofs 1: 0.210 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.030 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.040 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 0.540 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 8 - Residential: Subarea 8 Total area (ac): 2.710
 1 - Roofs 1: 0.630 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.540 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.080 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.280 ac. Smooth Street Length = 0.0825 mi Street Width = 28 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 1.180 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 9 - Residential: Subarea 9 Total area (ac): 9.680
 1 - Roofs 1: 0.410 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 2 - Roofs 2: 0.150 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.050 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 26 - Driveways 2: 0.060 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.040 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 32 - Sidewalks 2: 0.320 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.080 ac. Smooth Street Length = 0.0236 mi Street Width = 27.9661 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 3.760 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 57 - Undeveloped Areas 1: 4.810 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 10 - Residential: Subarea 1 (offsite) Total area (ac): 4.790
 1 - Roofs 1: 1.260 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.330 ac. Smooth Street Length = 0.1797 mi Street Width = 15.15025 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 3.200 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 11 - Residential: Subarea 4 (offsite) Total area (ac): 2.140
 1 - Roofs 1: 0.630 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.050 ac. Smooth Street Length = 0.0147 mi Street Width = 28.06122 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 1.460 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 12 - Residential: Subarea 5 (offsite) Total area (ac): 1.310
1 - Roofs 1: 0.390 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
45 - Large Landscaped Areas 1: 0.920 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

Control Practice 1: Wet Detention Pond CP# 1 (DS) - Pond 1P
Particle Size Distribution file name: Not needed - calculated by program
Initial stage elevation (ft): 5
Peak to Average Flow Ratio: 3.8
Maximum flow allowed into pond (cfs): No maximum value entered
Outlet Characteristics:

- Outlet type: Orifice 1
 - 1. Orifice diameter (ft): 0.5
 - 2. Number of orifices: 1
 - 3. Invert elevation above datum (ft): 5
- Outlet type: Broad Crested Weir
 - 1. Weir crest length (ft): 90
 - 2. Weir crest width (ft): 10
 - 3. Height from datum to bottom of weir opening: 6.5

Pond stage and surface area

Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow (cfs)
0	0.00	0.0000	0.00	0.00
1	0.01	0.0400	0.00	0.00
2	4.00	0.0900	0.00	0.00
3	5.00	0.2000	0.00	0.00
4	5.90	0.2400	0.00	0.00
5	6.90	0.2900	0.00	0.00
6	7.90	0.3500	0.00	0.00
7	8.90	0.4500	0.00	0.00
8	9.90	0.7000	0.00	0.00

Control Practice 2: Biofilter CP# 1 (DS) - Basin 2B

1. Top area (square feet) = 42719
2. Bottom area (square feet) = 14533
3. Depth (ft): 5
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0.27
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - User-Defined Media Type 1.000
 - Saturation water content (Porosity) = 0

Field capacity (fraction) = 0
 Permanent Wilting Point (fraction) = 0
 Infiltration rate (in/hr) = 0
 Biofilter Outlet/Discharge Characteristics:
 Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 10
 2. Weir crest width (ft): 10
 3. Height of datum to bottom of weir opening: 4.5
 Outlet type: Surface Discharge Pipe
 1. Surface discharge pipe outlet diameter (ft): 3
 2. Pipe invert elevation above datum (ft): 0
 3. Number of surface pipe outlets: 1

Control Practice 3: Wet Detention Pond CP# 2 (DS) - Pond 3P

Particle Size Distribution file name: Not needed - calculated by program
 Initial stage elevation (ft): 5
 Peak to Average Flow Ratio: 3.8
 Maximum flow allowed into pond (cfs): No maximum value entered
 Outlet Characteristics:

Outlet type: Sharp Crested Weir
 1. Sharp crested weir length (ft): 1
 2. Sharp crested weir height from invert: 3.2
 3. Sharp crested weir invert elevation above datum (ft): 8
 Outlet type: Orifice 1
 1. Orifice diameter (ft): 0.33
 2. Number of orifices: 1
 3. Invert elevation above datum (ft): 5
 Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 10
 2. Weir crest width (ft): 10
 3. Height from datum to bottom of weir opening: 10.2
 Outlet type: Vertical Stand Pipe
 1. Stand pipe diameter (ft): 5
 2. Stand pipe height above datum (ft): 9.2

Pond stage and surface area

Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow (cfs)
0	0.00	0.0000	0.00	0.00
1	0.01	0.1400	0.00	0.00
2	4.00	0.2000	0.00	0.00
3	5.00	0.3400	0.00	0.00
4	5.20	0.3600	0.00	0.00
5	6.20	0.4100	0.00	0.00
6	7.20	0.4600	0.00	0.00
7	8.20	0.5200	0.00	0.00
8	9.20	0.6000	0.00	0.00
9	10.20	0.7200	0.00	0.00
10	11.20	0.8500	0.00	0.00

Control Practice 4: Biofilter CP# 2 (DS) - Basin 4B

1. Top area (square feet) = 25624
2. Bottom area (square feet) = 4015
3. Depth (ft): 4.7
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No

7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0.27
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - User-Defined Media Type 1.000
 - Saturation water content (Porosity) = 0
 - Field capacity (fraction) = 0
 - Permanent Wilting Point (fraction) = 0
 - Infiltration rate (in/hr) = 0
 - Biofilter Outlet/Discharge Characteristics:
 - Outlet type: Broad Crested Weir
 - 1. Weir crest length (ft): 10
 - 2. Weir crest width (ft): 10
 - 3. Height of datum to bottom of weir opening: 3.7
 - Outlet type: Surface Discharge Pipe
 - 1. Surface discharge pipe outlet diameter (ft): 1.5
 - 2. Pipe invert elevation above datum (ft): 0
 - 3. Number of surface pipe outlets: 1

Control Practice 5: Biofilter CP# 3 (DS) - Existing Depression 5D

1. Top area (square feet) = 87417
2. Bottom area (square feet) = 8902
3. Depth (ft): 5
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - Biofilter Outlet/Discharge Characteristics:
 - Outlet type: Broad Crested Weir
 - 1. Weir crest length (ft): 100
 - 2. Weir crest width (ft): 10
 - 3. Height of datum to bottom of weir opening: 4.5
 - Outlet type: Vertical Stand Pipe
 - 1. Stand pipe diameter (ft): 3
 - 2. Stand pipe height above datum (ft): 3.5

Outlet type: Surface Discharge Pipe

1. Surface discharge pipe outlet diameter (ft): 0.33
2. Pipe invert elevation above datum (ft): 0
3. Number of surface pipe outlets: 1

Control Practice 6: Biofilter CP# 4 (DS) - Basin 6

1. Top area (square feet) = 34285
2. Bottom area (square feet) = 11672
3. Depth (ft): 6.2
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 3.6
12. Engineered soil depth (ft) = 1.5
13. Engineered soil porosity = 0.27
14. Percent solids reduction due to flow through engineered soil = 80
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0

Soil Data Soil Type Fraction in Eng. Soil

User-Defined Media Type 1.000
Saturation water content (Porosity) = 0
Field capacity (fraction) = 0
Permanent Wilting Point (fraction) = 0
Infiltration rate (in/hr) = 3.6

Biofilter Outlet/Discharge Characteristics:

Outlet type: Broad Crested Weir

1. Weir crest length (ft): 10
2. Weir crest width (ft): 10
3. Height of datum to bottom of weir opening: 5.8

Outlet type: Vertical Stand Pipe

1. Stand pipe diameter (ft): 3
2. Stand pipe height above datum (ft): 4.2

Outlet type: Surface Discharge Pipe

1. Surface discharge pipe outlet diameter (ft): 0.33
2. Pipe invert elevation above datum (ft): 2
3. Number of surface pipe outlets: 1

Outlet type: Drain Tile/Underdrain

1. Underdrain outlet diameter (ft): 0.33
2. Invert elevation above datum (ft): 0
3. Number of underdrain outlets: 1

Control Practice 7: Biofilter CP# 5 (DS) - Basin 7B

1. Top area (square feet) = 8794
2. Bottom area (square feet) = 127
3. Depth (ft): 3
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1

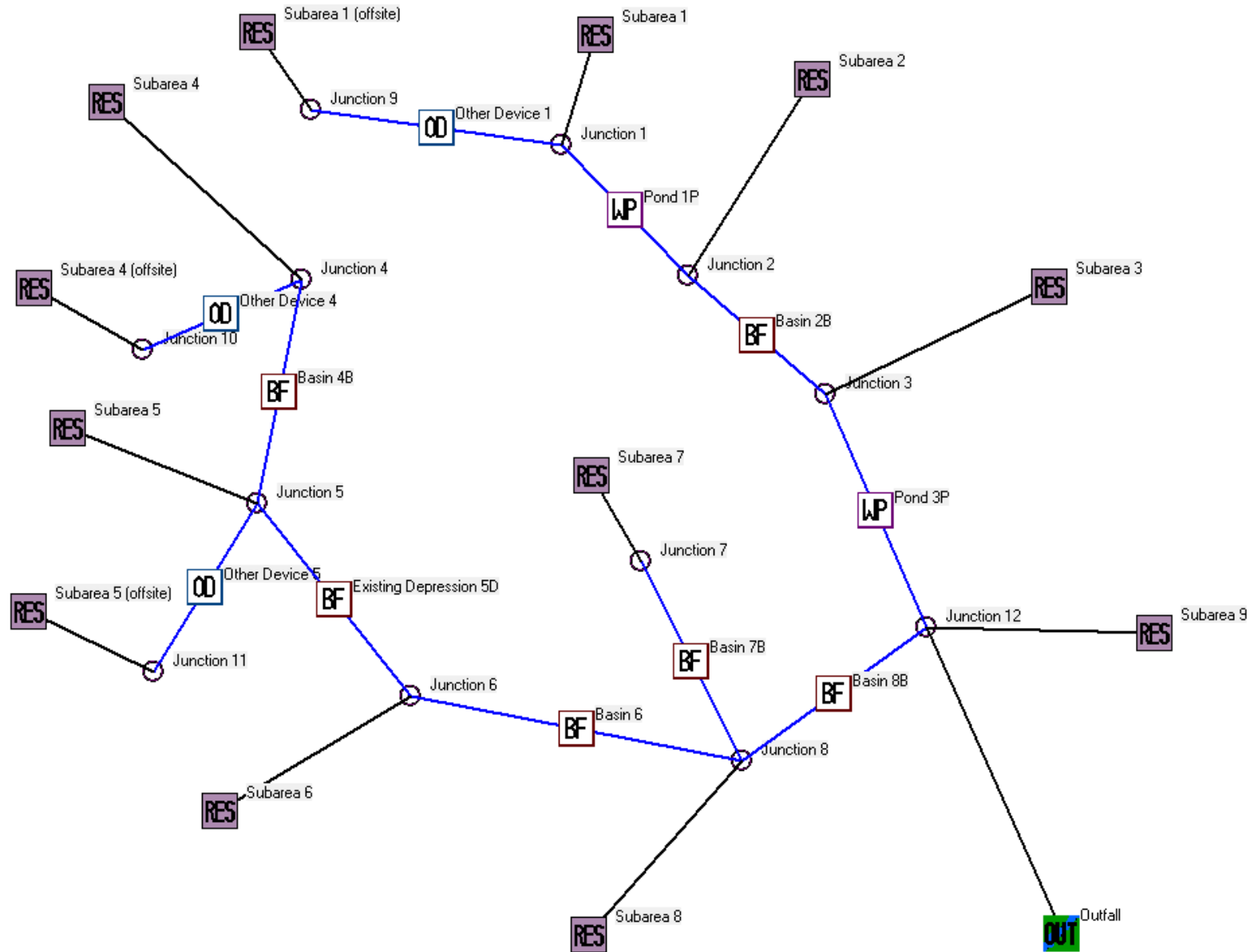
2. Stand pipe height above datum (ft): 5.25
- Outlet type: Surface Discharge Pipe
1. Surface discharge pipe outlet diameter (ft): 0.5
 2. Pipe invert elevation above datum (ft): 2.5
 3. Number of surface pipe outlets: 1
- Outlet type: Drain Tile/Underdrain
1. Underdrain outlet diameter (ft): 0.5
 2. Invert elevation above datum (ft): 0
 3. Number of underdrain outlets: 1

Control Practice 9: Other Device CP# 1 (DS) - Other Device 1
Fraction of drainage area served by device (ac) = 1.00
Particulate Concentration reduction fraction = 1.00
Filterable Concentration reduction fraction = 1.00
Runoff volume reduction fraction = 0

Control Practice 10: Other Device CP# 2 (DS) - Other Device 4
Fraction of drainage area served by device (ac) = 1.00
Particulate Concentration reduction fraction = 1.00
Filterable Concentration reduction fraction = 1.00
Runoff volume reduction fraction = 0

Control Practice 11: Other Device CP# 3 (DS) - Other Device 5
Fraction of drainage area served by device (ac) = 1.00
Particulate Concentration reduction fraction = 1.00
Filterable Concentration reduction fraction = 1.00
Runoff volume reduction fraction = 0

Treatment Analysis Disconnected Model



SLAMM for Windows Version 10.5.0
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Data file name: C:\Data\Jobs\2025\2025-017 - Esser - Pewaukee - TRIO\Project_Information\Calcs\SLAMM\Proposed_Disconnected.mdb
 Data file description:
 Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN
 Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx
 Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
 Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx
 Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
 Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
 Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
 Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv
 Cost Data file name:
 If Other Device Pollutant Load Reduction Values = 1, Off-site Pollutant Loads are Removed from Pollutant Load % Reduction calculations
 Seed for random number generator: -42
 Start of Winter Season: 12/06 End of Winter Season: 03/28
 Model Run Start Date: 01/05/69 Model Run End Date: 12/31/69
 Date of run: 08-28-2025 Time of run: 18:53:25
 Total Area Modeled (acres): 66.660
 Years in Model Run: 0.99

	Runoff Volume (cu ft)	Percent Runoff Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	1.561E+06	-	127.5	12431	-
Outfall Total with Controls:	1.432E+06	8.26%	31.41	2808	77.41%
Annualized Total After Outfall Controls:	1.452E+06			2847	

Pollutant	Concentration - No Controls	Concentration - With Controls	Conc. Units	Pollutant Yield No Controls	Pollutant Yield With Controls	Pol. Yield Units	Percent Reduction
Particulate Solids	127.5	31.41	mg/L	12431	2808	lbs	77.41 %
Total Phosphorus	0.5685	0.2614	mg/L	55.41	23.38	lbs	57.81 %

Data file name: C:\Data\Jobs\2025\2025-017 - Esser - Pewaukee - TRIO\Project_Information\Calcs\SLAMM\Proposed_Disconnected.mdb

WinSLAMM Version 10.5.0

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Milwaukee WI 1969.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv

Cost Data file name:

If Other Device Pollutant Load Reduction Values = 1, Off-site Pollutant Loads are Removed from Pollutant Load % Reduction calculations

Seed for random number generator: -42

Study period starting date: 01/05/69 Study period ending date: 12/31/69

Start of Winter Season: 12/06 End of Winter Season: 03/28

Date: 08-28-2025 Time: 18:53:33

Site information:

LU# 1 - Residential: Subarea 1 Total area (ac): 12.380

1 - Roofs 1: 0.860 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
2 - Roofs 2: 1.070 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
25 - Driveways 1: 0.380 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
26 - Driveways 2: 0.260 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
31 - Sidewalks 1: 0.320 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
32 - Sidewalks 2: 0.170 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
37 - Streets 1: 1.110 ac. Smooth Street Length = 0.3271 mi Street Width = 27.99603 ft Street Edges = 2
Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
45 - Large Landscaped Areas 1: 8.040 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
70 - Water Body Areas: 0.170 ac. Source Area PSD File:

LU# 2 - Residential: Subarea 2 Total area (ac): 2.380

1 - Roofs 1: 0.180 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
2 - Roofs 2: 0.220 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
31 - Sidewalks 1: 0.070 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
32 - Sidewalks 2: 0.050 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
45 - Large Landscaped Areas 1: 1.860 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 3 - Residential: Subarea 3 Total area (ac): 16.380

1 - Roofs 1: 1.900 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
2 - Roofs 2: 0.750 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
25 - Driveways 1: 0.630 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
26 - Driveways 2: 1.460 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
31 - Sidewalks 1: 0.220 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
32 - Sidewalks 2: 0.330 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
37 - Streets 1: 2.490 ac. Smooth Street Length = 0.7337 mi Street Width = 27.9985 ft Street Edges = 2
Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
45 - Large Landscaped Areas 1: 8.280 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
70 - Water Body Areas: 0.320 ac. Source Area PSD File:

LU# 4 - Residential: Subarea 4 Total area (ac): 4.880

1 - Roofs 1: 0.810 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
31 - Sidewalks 1: 0.240 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

37 - Streets 1: 0.010 ac. Smooth Street Length = 0.0029 mi Street Width = 28.44828 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 3.820 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 5 - Residential: Subarea 5 Total area (ac): 4.550
 1 - Roofs 1: 0.350 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.100 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 4.100 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 6 - Residential: Subarea 6 Total area (ac): 4.640
 1 - Roofs 1: 0.830 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 2 - Roofs 2: 0.180 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.100 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 26 - Driveways 2: 0.340 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.050 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 32 - Sidewalks 2: 0.130 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.350 ac. Smooth Street Length = 0.1031 mi Street Width = 28.00679 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 2.660 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 7 - Residential: Subarea 7 Total area (ac): 0.820
 1 - Roofs 1: 0.210 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.030 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.040 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 0.540 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 8 - Residential: Subarea 8 Total area (ac): 2.710
 1 - Roofs 1: 0.630 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.540 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.080 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.280 ac. Smooth Street Length = 0.0825 mi Street Width = 28 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 1.180 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 9 - Residential: Subarea 9 Total area (ac): 9.680
 1 - Roofs 1: 0.410 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 2 - Roofs 2: 0.150 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 25 - Driveways 1: 0.050 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 26 - Driveways 2: 0.060 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 31 - Sidewalks 1: 0.040 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 32 - Sidewalks 2: 0.320 ac. Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.080 ac. Smooth Street Length = 0.0236 mi Street Width = 27.9661 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 3.760 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 57 - Undeveloped Areas 1: 4.810 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 10 - Residential: Subarea 1 (offsite) Total area (ac): 4.790
 1 - Roofs 1: 1.260 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.330 ac. Smooth Street Length = 0.1797 mi Street Width = 15.15025 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 45 - Large Landscaped Areas 1: 3.200 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 11 - Residential: Subarea 4 (offsite) Total area (ac): 2.140
 1 - Roofs 1: 0.630 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
 37 - Streets 1: 0.050 ac. Smooth Street Length = 0.0147 mi Street Width = 28.06122 ft Street Edges = 2
 Default St. Dirt Accum. Annual Winter Load = 2500 lbs Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 1.460 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 12 - Residential: Subarea 5 (offsite) Total area (ac): 1.310
1 - Roofs 1: 0.390 ac. Pitched Disconnected Normal Clayey Low Density Source Area PSD File: C:\WinSLAMM Files\NURP.cpz
45 - Large Landscaped Areas 1: 0.920 ac. Normal Clayey Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

Control Practice 1: Wet Detention Pond CP# 1 (DS) - Pond 1P
Particle Size Distribution file name: Not needed - calculated by program
Initial stage elevation (ft): 5
Peak to Average Flow Ratio: 3.8
Maximum flow allowed into pond (cfs): No maximum value entered
Outlet Characteristics:

- Outlet type: Orifice 1
 - 1. Orifice diameter (ft): 0.5
 - 2. Number of orifices: 1
 - 3. Invert elevation above datum (ft): 5
- Outlet type: Broad Crested Weir
 - 1. Weir crest length (ft): 90
 - 2. Weir crest width (ft): 10
 - 3. Height from datum to bottom of weir opening: 6.5

Pond stage and surface area

Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow (cfs)
0	0.00	0.0000	0.00	0.00
1	0.01	0.0400	0.00	0.00
2	4.00	0.0900	0.00	0.00
3	5.00	0.2000	0.00	0.00
4	5.90	0.2400	0.00	0.00
5	6.90	0.2900	0.00	0.00
6	7.90	0.3500	0.00	0.00
7	8.90	0.4500	0.00	0.00
8	9.90	0.7000	0.00	0.00

Control Practice 2: Biofilter CP# 1 (DS) - Basin 2B

1. Top area (square feet) = 42719
2. Bottom area (square feet) = 14533
3. Depth (ft): 5
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0.27
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - User-Defined Media Type 1.000
 - Saturation water content (Porosity) = 0

Field capacity (fraction) = 0
 Permanent Wilting Point (fraction) = 0
 Infiltration rate (in/hr) = 0
 Biofilter Outlet/Discharge Characteristics:
 Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 10
 2. Weir crest width (ft): 10
 3. Height of datum to bottom of weir opening: 4.5
 Outlet type: Surface Discharge Pipe
 1. Surface discharge pipe outlet diameter (ft): 3
 2. Pipe invert elevation above datum (ft): 0
 3. Number of surface pipe outlets: 1

Control Practice 3: Wet Detention Pond CP# 2 (DS) - Pond 3P

Particle Size Distribution file name: Not needed - calculated by program
 Initial stage elevation (ft): 5
 Peak to Average Flow Ratio: 3.8
 Maximum flow allowed into pond (cfs): No maximum value entered
 Outlet Characteristics:

Outlet type: Sharp Crested Weir
 1. Sharp crested weir length (ft): 1
 2. Sharp crested weir height from invert: 3.2
 3. Sharp crested weir invert elevation above datum (ft): 8
 Outlet type: Orifice 1
 1. Orifice diameter (ft): 0.33
 2. Number of orifices: 1
 3. Invert elevation above datum (ft): 5
 Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 10
 2. Weir crest width (ft): 10
 3. Height from datum to bottom of weir opening: 10.2
 Outlet type: Vertical Stand Pipe
 1. Stand pipe diameter (ft): 5
 2. Stand pipe height above datum (ft): 9.2

Pond stage and surface area

Entry Number	Stage (ft)	Pond Area (acres)	Natural Seepage (in/hr)	Other Outflow (cfs)
0	0.00	0.0000	0.00	0.00
1	0.01	0.1400	0.00	0.00
2	4.00	0.2000	0.00	0.00
3	5.00	0.3400	0.00	0.00
4	5.20	0.3600	0.00	0.00
5	6.20	0.4100	0.00	0.00
6	7.20	0.4600	0.00	0.00
7	8.20	0.5200	0.00	0.00
8	9.20	0.6000	0.00	0.00
9	10.20	0.7200	0.00	0.00
10	11.20	0.8500	0.00	0.00

Control Practice 4: Biofilter CP# 2 (DS) - Basin 4B

1. Top area (square feet) = 25624
2. Bottom area (square feet) = 4015
3. Depth (ft): 4.7
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No

7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0.27
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - User-Defined Media Type 1.000
 - Saturation water content (Porosity) = 0
 - Field capacity (fraction) = 0
 - Permanent Wilting Point (fraction) = 0
 - Infiltration rate (in/hr) = 0
 - Biofilter Outlet/Discharge Characteristics:
 - Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 10
 2. Weir crest width (ft): 10
 3. Height of datum to bottom of weir opening: 3.7
 - Outlet type: Surface Discharge Pipe
 1. Surface discharge pipe outlet diameter (ft): 1.5
 2. Pipe invert elevation above datum (ft): 0
 3. Number of surface pipe outlets: 1

Control Practice 5: Biofilter CP# 3 (DS) - Existing Depression 5D

1. Top area (square feet) = 87417
2. Bottom area (square feet) = 8902
3. Depth (ft): 5
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - Biofilter Outlet/Discharge Characteristics:
 - Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 100
 2. Weir crest width (ft): 10
 3. Height of datum to bottom of weir opening: 4.5
 - Outlet type: Vertical Stand Pipe
 1. Stand pipe diameter (ft): 3
 2. Stand pipe height above datum (ft): 3.5

Outlet type: Surface Discharge Pipe

1. Surface discharge pipe outlet diameter (ft): 0.33
2. Pipe invert elevation above datum (ft): 0
3. Number of surface pipe outlets: 1

Control Practice 6: Biofilter CP# 4 (DS) - Basin 6

1. Top area (square feet) = 34285
2. Bottom area (square feet) = 11672
3. Depth (ft): 6.2
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 3.6
12. Engineered soil depth (ft) = 1.5
13. Engineered soil porosity = 0.27
14. Percent solids reduction due to flow through engineered soil = 80
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0

Soil Data Soil Type Fraction in Eng. Soil

User-Defined Media Type 1.000
Saturation water content (Porosity) = 0
Field capacity (fraction) = 0
Permanent Wilting Point (fraction) = 0
Infiltration rate (in/hr) = 3.6

Biofilter Outlet/Discharge Characteristics:

Outlet type: Broad Crested Weir

1. Weir crest length (ft): 10
2. Weir crest width (ft): 10
3. Height of datum to bottom of weir opening: 5.8

Outlet type: Vertical Stand Pipe

1. Stand pipe diameter (ft): 3
2. Stand pipe height above datum (ft): 4.2

Outlet type: Surface Discharge Pipe

1. Surface discharge pipe outlet diameter (ft): 0.33
2. Pipe invert elevation above datum (ft): 2
3. Number of surface pipe outlets: 1

Outlet type: Drain Tile/Underdrain

1. Underdrain outlet diameter (ft): 0.33
2. Invert elevation above datum (ft): 0
3. Number of underdrain outlets: 1

Control Practice 7: Biofilter CP# 5 (DS) - Basin 7B

1. Top area (square feet) = 8794
2. Bottom area (square feet) = 127
3. Depth (ft): 3
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1

9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - Biofilter Outlet/Discharge Characteristics:
 - Outlet type: Broad Crested Weir
 - 1. Weir crest length (ft): 10
 - 2. Weir crest width (ft): 10
 - 3. Height of datum to bottom of weir opening: 2.5
 - Outlet type: Vertical Stand Pipe
 - 1. Stand pipe diameter (ft): 3
 - 2. Stand pipe height above datum (ft): 2.25
 - Outlet type: Surface Discharge Pipe
 - 1. Surface discharge pipe outlet diameter (ft): 0.33
 - 2. Pipe invert elevation above datum (ft): 0
 - 3. Number of surface pipe outlets: 1

Control Practice 8: Biofilter CP# 6 (DS) - Basin 8B

1. Top area (square feet) = 12039
2. Bottom area (square feet) = 2470
3. Depth (ft): 6.5
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 0.13
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 3.6
12. Engineered soil depth (ft) = 1.5
13. Engineered soil porosity = 0.27
14. Percent solids reduction due to flow through engineered soil = 80
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data Soil Type Fraction in Eng. Soil
 - User-Defined Media Type 1.000
 - Saturation water content (Porosity) = 0
 - Field capacity (fraction) = 0
 - Permanent Wilting Point (fraction) = 0
 - Infiltration rate (in/hr) = 3.6
 - Biofilter Outlet/Discharge Characteristics:
 - Outlet type: Broad Crested Weir
 - 1. Weir crest length (ft): 10
 - 2. Weir crest width (ft): 10
 - 3. Height of datum to bottom of weir opening: 5.5
 - Outlet type: Vertical Stand Pipe
 - 1. Stand pipe diameter (ft): 3

2. Stand pipe height above datum (ft): 5.25
- Outlet type: Surface Discharge Pipe
1. Surface discharge pipe outlet diameter (ft): 0.5
 2. Pipe invert elevation above datum (ft): 2.5
 3. Number of surface pipe outlets: 1
- Outlet type: Drain Tile/Underdrain
1. Underdrain outlet diameter (ft): 0.5
 2. Invert elevation above datum (ft): 0
 3. Number of underdrain outlets: 1

Control Practice 9: Other Device CP# 1 (DS) - Other Device 1
Fraction of drainage area served by device (ac) = 1.00
Particulate Concentration reduction fraction = 1.00
Filterable Concentration reduction fraction = 1.00
Runoff volume reduction fraction = 0

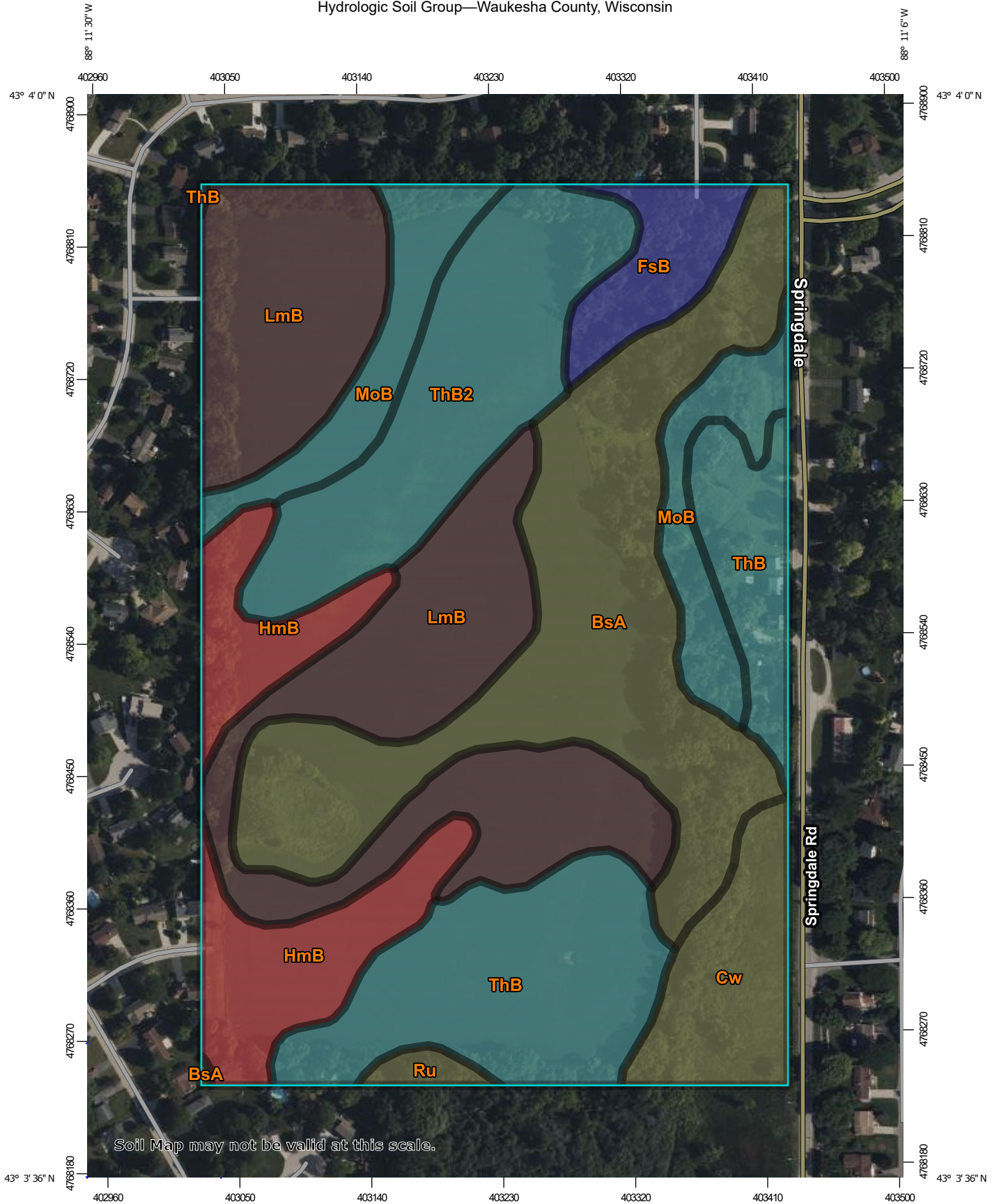
Control Practice 10: Other Device CP# 2 (DS) - Other Device 4
Fraction of drainage area served by device (ac) = 1.00
Particulate Concentration reduction fraction = 1.00
Filterable Concentration reduction fraction = 1.00
Runoff volume reduction fraction = 0

Control Practice 11: Other Device CP# 3 (DS) - Other Device 5
Fraction of drainage area served by device (ac) = 1.00
Particulate Concentration reduction fraction = 1.00
Filterable Concentration reduction fraction = 1.00
Runoff volume reduction fraction = 0

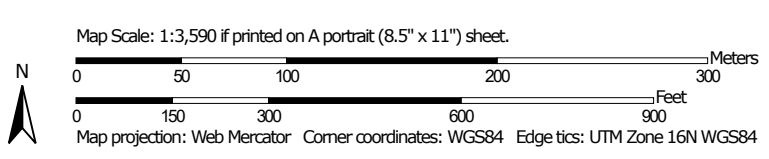
APPENDIX D

Soil Survey
and
Preliminary Soil Boring Data

Hydrologic Soil Group—Waukesha County, Wisconsin




Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available

Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Waukesha County, Wisconsin
 Survey Area Data: Version 3, Dec 10, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 4, 2022—Sep 13, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
BsA	Brookston silt loam, 0 to 2 percent slopes	C/D	13.3	21.9%
Cw	Colwood silt loam, 0 to 2 percent slopes	C/D	3.3	5.4%
FsB	Fox silt loam, 2 to 6 percent slopes	B	2.1	3.5%
HmB	Hochheim loam, 2 to 6 percent slopes	D	5.6	9.3%
LmB	Lamartine silt loam, 0 to 3 percent slopes	B/D	14.5	23.8%
MoB	Mayville silt loam, 2 to 6 percent slopes	C	4.9	8.1%
Ru	Edwards muck, 0 to 2 percent slopes	C/D	0.4	0.7%
ThB	Theresa silt loam, 2 to 6 percent slopes	C	9.4	15.4%
ThB2	Theresa silt loam, 2 to 6 percent slopes, eroded	C	7.2	11.9%
Totals for Area of Interest			60.8	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

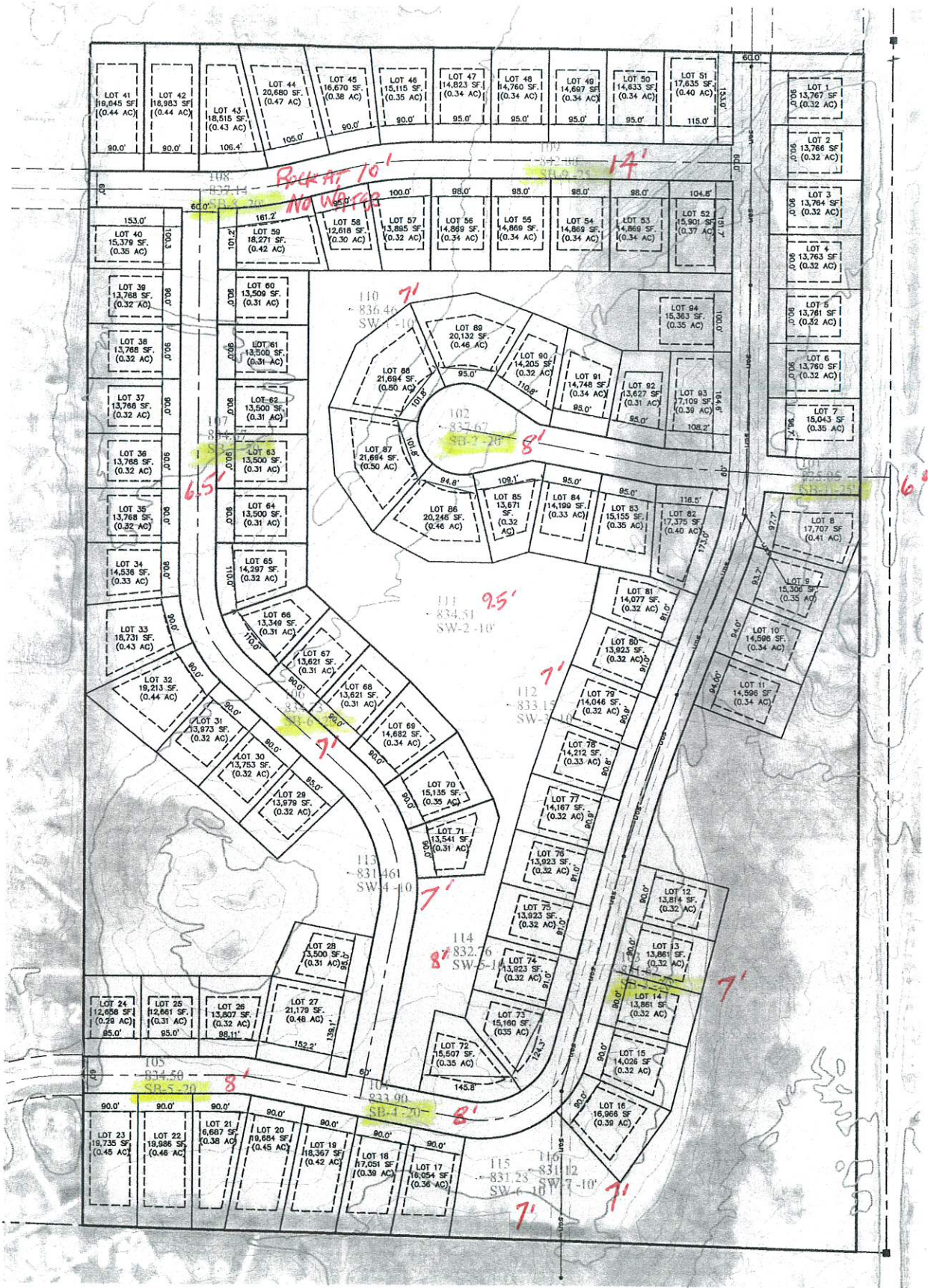
Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

6,000 St.





LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SB-1
 Surface Elevation (ft) 835.1
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	10	M	5	0 - 5	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Stiff to Very Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(2.0)				
2	12	M	29	5 - 6	Medium Dense to Dense, Brown Mottled Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
3	6	M	16	6 - 10	Note: Very dense layer from 5 to 6 ft. Medium Dense, Brownish Gray Sandy SILT; Little Clay, Some Fine to Coarse Gravel (ML)					
4	12	M	29	10 - 15	Very Dense, Gray Sandy SILT; Little Clay, Some Fine to Coarse Gravel (Hard Pan) (ML)	(4.0)				
5	6	M	94	15 - 20						
6	0	M	50/2"	20 - 25	End of Boring & Refusal at 20 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

While Drilling ∇ 6.0' Upon Completion of Drilling --
 Time After Drilling 15 min.
 Depth to Water -- ∇
 Depth to Cave in ---

GENERAL NOTES

Start 12/19/22 End 12/19/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. **SB-2**
 Surface Elevation (ft) 837.7
 Job No. **CM22244**
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (tsf)	W	LL	PL	LOI
1	12	M	10	0-10	12"-14" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)	(1.5)				
				10-16	Brown Mottled Silty CLAY; Little Fine Sand and Gravel (CL)					
2	16	M	67	16-67	Very Dense to Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
3	3	M	32	67-70						
4	16	W	27	70-86	Medium Dense to Very Dense, Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
5	16	W	25	86-102						
6	2	W	50/2"	102-104	-- Possible Boulder or Bedrock at 19 ft					
				104-19	End of Boring at 19 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 8.0' & 14.0' Upon Completion of Drilling 8.5'
 Time After Drilling _____ 5 mni.
 Depth to Water _____ 8.5' ∇
 Depth to Cave in _____

Start 12/19/22 End 12/19/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. **SB-3**
 Surface Elevation (ft) 831.6
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	18	M	7	0 - 7	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Stiff, Brown Silty CLAY; Little Fine Sand and Gravel (CL)	(1.5)				
2	12	M	35	7 - 12	Medium Dense to Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
3	12	W	16	12 - 16	Medium Dense, Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
4	16	W	24	16 - 20	Medium Dense, Gray and Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
5	18	W	12	20 - 22	Medium Dense, Gray Sandy SILT; Little Clay, Some Fine to Coarse Gravel (Hard Pan) (ML)					
6	18	W	12	22 - 24	End of Boring at 20 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 7.0' Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water -- ∇
 Depth to Cave in ---

Start 12/20/22 End 12/20/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SB-4
 Surface Elevation (ft) 833.9
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	18	M	4	0-4	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Very Stiff, Brown Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(2.5)				
2	16	M	16	4-5	Medium Dense, Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
3	6	M	17	5-10	Medium Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
4	12	W	13	10-15	Loose to Medium Dense, Brown Silty Fine to Coarse SAND; Trace Gravel, Some Sandy Silt Seams and Layers (SM)					
5	18	W	10	15-20	Medium Dense, Gray SILT; Some Fine to Coarse Sand and Gravel, Little Clay (ML)					
6	18	W	11	20-25	End of Boring at 20 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 8.0' Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water -- ∇
 Depth to Cave in ---

Start 12/20/22 End 12/20/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. **SB-5**
 Surface Elevation (ft) 834.5
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (tsf)	W	LL	PL	LOI
1	18	M	4	0-12"	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Stiff to Very Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(2.0)				
2	12	M	4	12-17"	Very Loose, Brown/Whitish Gray Heavily Mottled Clayey SILT; Little Fine Sand and Gravel (CL-ML/ML)	(1.0)				
3	12	M	17	17-18"	Medium Dense, Light Tan and Brown Mottled Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
4	18	W	5	18-20"	Loose, Grayish Brown Silty Fine to Coarse SAND; Trace Gravel (SM)					
5	18	W	11	20-22"	Medium Dense, Gray Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
6	18	W	9	22-24"	Loose, Brown Silty Fine to Coarse SAND; Trace Gravel (SM)					
					End of Boring at 20 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 8.0' Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water 7.0' ∇
 Depth to Cave in _____

Start 12/20/22 End 12/20/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SB-6
 Surface Elevation (ft) 834.7
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
					12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)					
1	18	M	5		Stiff to Very Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(1.5-2.0)				
2	4	M	19							
				5	Medium Dense, Brown Silty Fine to Coarse SAND & GRAVEL; Some Clayey Silt Seams (SM-GM)					
3	8	M/W	7		Loose, Tan/Brown Mottled Sandy SILT; with Some Fine to Coarse Sand and Gravel (ML)					
4	12	W	5		Loose, Gray Sandy SILT; Little Clay, Some Fine to Coarse Gravel (ML)					
				10						
					Dense, Gray Silty Fine to Coarse SAND; Trace Gravel (SM)					
5	12	M	33							
				15						
6	18	W	42		Note: Hardpan at 19.5 ft					
				20						
					End of Boring at 20 ft Backfilled with Bentonite Chips					
				25						

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 7.0' Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water 7.0' ∇
 Depth to Cave in

Start 12/20/22 End 12/20/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. **SB-7**
 Surface Elevation (ft) 834.7
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
					12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)					
1	16	M	4		Very Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(2.5)				
2	12	M	6		Loose, Gray and Brown Heavily Mottled SILT; Some Fine to Coarse Sand and Gravel, Little Clay (ML)	(1.5)				
3	4	W	15		Medium Dense, Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
4	16	W	26							
5	3	W	10		Loose to Medium Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
6	18	W	19		Some sandy silt seams and layers from 18.5 to 20 ft					
					End of Boring at 20 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 6.5' Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water 6.0' ∇
 Depth to Cave in _____

Start 12/19/22 End 12/19/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. **SB-8**
 Surface Elevation (ft) 837.1
 Job No. **CM22244**
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	12	M	5	0	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)	(1.25)				
				5	Stiff, Brown Mottled Silty CLAY; Little Fine Sand and Gravel (CL)					
2	6	M	13	13	Very Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(2.0)				
3	12	M	90	90	Very Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
4	2	M	50/4"	50/4"	End of Boring & Auger Refusal at 10 ft Due to Rock or Large Boulder Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ NW Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water -- ∇
 Depth to Cave in ---

Start 12/19/22 End 12/19/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SB-8A
 Surface Elevation (ft) _____
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
				5	Blind drilled to 8.5 ft -- Completed approximately 200 ft south of Boring SB-8.					
1	12	W	15	10	Medium Dense, Tan/Brown Sandy SILT; with Some Fine to Coarse Sand and Gravel (ML)					
				15	Very Dense, Brown Sandy SILT; Little Clay, Some Fine to Coarse Gravel (Hard Pan) (ML)					
				20	End of Boring & Auger Refusal at 12 ft Backfilled with Bentonite Chips					
				25						

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 8.0' Upon Completion of Drilling --
 Time After Drilling _____ 5 min.
 Depth to Water _____ 6.0' ∇
 Depth to Cave in _____

Start 12/20/22 End 12/20/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. **SB-9**
 Surface Elevation (ft) **842.9**
 Job No. **CM22244**
 Sheet **1** of **1**

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES					
No.	TYPE	Rec (in.)	Moist	N		Depth (ft)	qu (qa) (tsf)	W	LL	PL	LOI
1		16	M	7	0 - 7	12"-14" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)	(1.5)				
2		16	M	23	7 - 23	Stiff, Brown Silty CLAY; Little Fine Sand and Gravel (CL)	(2.25)				
3		4	M	50/4"	23 - 25	Medium Dense to Very Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
4		12	M	50	25 - 37						
5		0	W	33	37 - 49	Medium Dense to Dense, Brown Silty Fine to Coarse SAND; Trace Gravel (SM)					
6		18	W	16	49 - 65						
End of Boring & Auger Refusal at 22 ft Backfilled with Bentonite Chips											

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ **14.0'** Upon Completion of Drilling --
 Time After Drilling -- 5 min.
 Depth to Water -- -- ∇
 Depth to Cave in --

Start **12/19/22** End **12/19/22**
 Driller **GeoServe** Chief **Eddie** Rig **7822**
 Logger **Eddie** Editor **NIS**
 Drill Method **2.25" HSA**

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SW-1
 Surface Elevation (ft) 836.5
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	12	M	4	0	16" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)	(2.0)				
					Stiff to Very Stiff, Dark Brown to Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)					
2	16	M	8	5	Loose, Tan/Brown Mottled Sandy SILT; with Some Fine to Coarse Sand and Gravel (ML)	(1.5)	11.3			
3	12	M	26	26	Medium Dense, Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
4	12	W	16	10	Some sand silt seams and layers below 8 ft					
					End of Boring at 10 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 7.0' Upon Completion of Drilling --
 Time After Drilling _____ 5 min.
 Depth to Water _____ 7.0' ∇
 Depth to Cave in _____

Start 12/19/22 End 12/19/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SW-2
 Surface Elevation (ft) 834.5
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	18	M	4	0-12	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Stiff to Very Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(1.5-2.0)				
2	4	M	19	12-16	Medium Dense, Tan/Brown Sandy SILT; with Some Fine to Coarse Sand and Gravel (ML) (P270 = 31.1%)		8.6			
3	2	M	14	16-18			8.6			
4	16	M/W	36	18-34	Dense, Gray Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
End of Boring at 10 ft Backfilled with Bentonite Chips										

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 9.5' Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water -- ∇
 Depth to Cave in --

Start 12/19/22 End 12/19/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SW-3
 Surface Elevation (ft) 833.2
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES					
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI	
1	12	M	4	4	<div style="background-color: black; width: 100%; height: 100%;"></div> <div style="background-color: #cccccc; width: 100%; height: 100%;"></div>	14" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(1.5)				
2	12	M	21	21	<div style="background-color: #cccccc; width: 100%; height: 100%;"></div>	Medium Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)					
3	4	M/W	19	19	<div style="background-color: #cccccc; width: 100%; height: 100%;"></div>	Medium Dense, Brown Silty Fine to Coarse SAND; Trace Gravel (SM)					
4	18	W	20	20	<div style="background-color: #cccccc; width: 100%; height: 100%;"></div>	End of Boring at 10 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 7.0' Upon Completion of Drilling --
 Time After Drilling _____ 5 min.
 Depth to Water _____ 7.0' ∇
 Depth to Cave in _____

Start 12/19/22 End 12/19/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SW-4
 Surface Elevation (ft) 831.5
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	18	M	5	5	12"-14" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Very Stiff, Grayish Brown Heavily Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(2.25)	22.2	43	16	
2	12	M	18	18	Medium Dense, Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
3	6	M/W	17	17	Medium Dense, Gray Silty Fine to Coarse SAND & GRAVEL; Some Clayey Silt Seams (SM-GM)					
4	18	W	10	10	Loose to Medium Dense, Brown Silty Fine to Coarse SAND; Trace Gravel (SM)					
End of Boring at 10 ft Backfilled with Bentonite Chips										

WATER LEVEL OBSERVATIONS	GENERAL NOTES
While Drilling ∇ <u>7.0'</u> Upon Completion of Drilling <u>--</u> Time After Drilling <u>5 min.</u> Depth to Water <u>4.0'</u> ∇ Depth to Cave in _____	Start <u>12/20/22</u> End <u>12/20/22</u> Driller <u>GeoServe Chief Eddie</u> Rig <u>7822</u> Logger <u>Eddie</u> Editor <u>NIS</u> Drill Method <u>2.25" HSA</u>
The stratification lines represent the approximate boundary between soil types and the transition may be gradual.	



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
Location Pewaukee, Wisconsin

Boring No. SW-5
Surface Elevation (ft) 832.8
Job No. CM22244
Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	Rec (in.)	Moist	N	Depth (ft)		qu (qa) (tsf)	W	LL	PL	LOI
1	18	M	4	0-4	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL) Stiff to Very Stiff, Brown Mottled Lean CLAY; Little Fine Sand, Trace Gravel (CL)	(1.75-2.25)				
2	16	M	10	4-10	Loose, Tan/Brown Heavily Mottled Sandy SILT; with Some Fine to Coarse Sand and Gravel (ML)					
3	12	M	14	10-14	Medium Dense, Grayish Brown Mottled Silty Fine to Coarse SAND & GRAVEL (SM-GM)					
4	18	W	5	14-19	Loose, Brown Silty Fine to Coarse SAND; Trace Gravel (SM)					
					End of Boring at 10 ft Backfilled with Bentonite Chips					

WATER LEVEL OBSERVATIONS				GENERAL NOTES			
While Drilling	∇ 8.0'	Upon Completion of Drilling	--	Start	12/20/22	End	12/20/22
Time After Drilling			5 min.	Driller	GeoServe Chief	Eddie	Rig 7822
Depth to Water			--	Logger	Eddie	Editor	NIS
Depth to Cave in				Drill Method	2.25" HSA		

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SW-6
 Surface Elevation (ft) 831.3
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	T R I P L E	Rec (in.)	Moist	N		Depth (ft)	qu (qa) (tsf)	W	LL	PL
1		16	M	12	0	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)				
1		16	M	12	12	Medium Dense, Brown Heavily Mottled SILT; Some Fine to Coarse Sand and Gravel, Little Clay (ML)				
2		16	M	24	24	Medium Dense, Brown Fine to Coarse SAND & GRAVEL; Trace Silt (SP-GP)				
3		12	M/W	16	16	Medium Dense, Brown Silty Fine to Coarse SAND; Trace Gravel (SM)				
4		12	W	11	11					
End of Boring at 10 ft Backfilled with Bentonite Chips										

WATER LEVEL OBSERVATIONS

GENERAL NOTES

While Drilling ∇ 7.0' Upon Completion of Drilling --
 Time After Drilling 5 min.
 Depth to Water -- ∇
 Depth to Cave in ---

Start 12/20/22 End 12/20/22
 Driller GeoServe Chief Eddie Rig 7822
 Logger Eddie Editor NIS
 Drill Method 2.25" HSA

The stratification lines represent the approximate boundary between soil types and the transition may be gradual.



LOG OF TEST BORING

Project Springdale Road Subdivision
Springdale Rd. & Mayrose Blvd.
 Location Pewaukee, Wisconsin

Boring No. SW-7
 Surface Elevation (ft) 831.1
 Job No. CM22244
 Sheet 1 of 1

336 S. Curtis Rd, West Allis, WI 53214 (414) 443-2000, FAX (414) 443-2099

SAMPLE					VISUAL CLASSIFICATION and Remarks	SOIL PROPERTIES				
No.	L-Depth (in.)	Rec (in.)	Moist	N		Depth (ft)	qu (qa) (tsf)	W	LL	PL
					0	12" Black to Dark Brown Silty Clay to Silty Loam TOPSOIL (OL)				
1		18	M	4	1	Stiff, Brown Mottled Silty CLAY; Little Fine Sand and Gravel, Few Silt Seams and Layers (CL)				
					5	Medium Dense, Brown Silty Fine to Coarse SAND & GRAVEL (SM-GM)				
2		12	M	19	12					
3		6	W	23	18					
4		16	W	7	25	Loose, Gray and Brown Silty Fine to Coarse SAND; Trace Gravel (SM)				
End of Boring at 10 ft Backfilled with Bentonite Chips										

WATER LEVEL OBSERVATIONS					GENERAL NOTES				
While Drilling	▽ 7.0'	Upon Completion of Drilling	--		Start	12/20/22	End	12/20/22	
Time After Drilling			5 min.		Driller	GeoServe Chief <u>Eddie</u> Rig 7822			
Depth to Water			--	▽	Logger	<u>Eddie</u> Editor <u>NIS</u>			
Depth to Cave in					Drill Method	<u>2.25" HSA</u>			
The stratification lines represent the approximate boundary between soil types and the transition may be gradual.									

SOIL AND SITE EVALUATION - STORM

In accordance with SPS 382.365, 385, Wis. Adm. Code, and WDNR Standard 1002

Attach complete site plan on paper not less than 8 1/2 x 11 inches in size. Plan must include, but not limited to: vertical and horizontal reference point (BM), direction and percent slope, scale or dimensions, north arrow, and BM referenced to nearest road.

Please print all information.

Personal information you provide may be used for secondary purposes (Privacy Law, s.15.04 (1) (m)).

County	Waukesha
Parcel I.D.	PWC 0916997
Review by	Date

Property Owner Esser Revocable Trust				Property Location Govt. Lot E 1/2 SE 1/4 S 13 T 7 N R 19 E			
Property Address W220 N2475 Springdale Road				Lot #	Block #	Subd. Name or CSM#	
City	State	Zip Code	Phone Number	<input checked="" type="checkbox"/> City	<input type="checkbox"/> Village	<input type="checkbox"/> Town	Nearest Road
Pewaukee	WI	53120	--	Pewaukee			Springdale Road

Drainage area: <u>58.3</u> <input type="checkbox"/> sq. ft. <input checked="" type="checkbox"/> acres	Hydraulic Application Test Method	Soil Moisture
Test Site Suitable for (check all that apply) <input type="checkbox"/> Site not suitable	<input checked="" type="checkbox"/> Morphological Evaluation	Date of soil borings: <u>Dec. 19 & 20, 2022</u>
<input type="checkbox"/> Bioretention <input type="checkbox"/> Subsurface Dispersal System	<input type="checkbox"/> Double-Ring Infiltrometer	USDA-NRCS WETS Value:
<input type="checkbox"/> Reuse <input type="checkbox"/> Irrigation <input type="checkbox"/> Other _____	<input type="checkbox"/> Other (Specify) _____	<input type="checkbox"/> Dry = 1
		<input type="checkbox"/> Normal = 2
		<input checked="" type="checkbox"/> Wet = 3

SW-1 Obs. # Boring Pit
Ground Surface Elev. 836.5 ft Elevation of limiting factor 835.2 ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines (P270)	Hydraulic App. Rate Inches/Hr
1	0-16	10YR3/2	--	SICL	1fsbk	mfr	tilled	<12	>70	0.04
2	16-42	10YR5/4	c2d 10YR3/2 & 6/2	SIC	2fsbk	mvfi	cw	<10	>70	0.07
3	42-72	10YR6/3	f1f 10YR6/1 & 6/8	VGRL	1fsbk	mlo	cw	38.3	47.9	0.24
4	72-120	10YR6/6	--	GRLS	0sg	mlo	--	35-40	10-20	1.63

Comments: Groundwater encountered at 7 ft (EL 829.5 ft) while drilling.

SW-2 Obs. # Boring Pit
Ground Surface Elev. 834.5 ft Elevation of limiting factor 833.5 ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines (P270)	Hydraulic App. Rate Inches/Hr
1	0-12	10YR3/2	--	SICL	1fsbk	mfr	tilled	<12	>70	0.04
2	12-36	10YR5/4	c2d 10YR3/2 & 6/2	SIC	2fsbk	mvfi	cw	<10	>70	0.07
3	36-102	10YR6/3	--	SIL	1fsbk	mlo	cw	36.1	51.4	0.24
4	102-120	10YR6/1	--	GRLS	0sg	mlo	--	35-40	10-20	1.63

Comments: Groundwater encountered at 9.5 ft (EL 825 ft) while drilling.

CST/PSS Name (Please Print) Nathan I. Springstead, CST	Signature	CST Number SP-04090024
Address 336 S. Curtis Road, West Allis, WI 53211	Date Evaluation Conducted 1/23	Telephone Number (414) 443-2000

Preliminary

SBD-10793 (R.01/17)

SW-3

Obs. # Boring
 Pit Ground Surface Elev. 833.2 ft Elevation of limiting factor 832.0 ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines (P270)	Hydraulic App. Rate Inches/Hr
1	0-14	10YR3/2	--	SICL	1fsbk	mfr	tilled	<10	>70	0.04
2	14-48	10YR4/3	c2d 10YR3/2 & 6/8	SIC	2fsbk	mvfi	cw	<10	>70	0.07
3	48-84	10YR7/3	--	VGRS	1fsbk	mlo	cw	35-45	<10	3.60
4	84-120	10YR5/6	--	LS	0sg	mlo	--	<10	10-20	1.63

Comments: Groundwater encountered at 7 ft (EL 826.2 ft) while and upon completion of drilling.

SW-4

Obs. # Boring
 Pit Ground Surface Elev. 831.5 ft Elevation of limiting factor 830.5 ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines (P270)	Hydraulic App. Rate Inches/Hr
1	0-14	10YR3/2	--	SICL	1fsbk	mfr	tilled	<10	>70	0.04
2	14-48	10YR5/2	c2d 10YR6/2 & 3/2	SIC	2fsbk	mvfi	cw	<10	>70	0.07
3	48-84	2.5Y6/3	--	GRLS	0sg	mlo	cw		10-20	1.63
4	84-102	10YR6/3	--	GRLS	0sg	mlo	cw		10-20	1.63
5	102-120	10YR5/6	--	LS	0sg	mlo	--		10-20	1.63

Comments: Groundwater encountered at 4 ft (EL 827.5 ft) upon completion of drilling.

SW-5

Obs. # Boring
 Pit Ground Surface Elev. 832.8 ft Elevation of limiting factor 831.8 ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines (P270)	Hydraulic App. Rate Inches/Hr
1	0-12	10YR3/2	--	SICL	1fsbk	mfr	tilled	<10	>70	0.04
2	12-48	10YR4/3	c2d 10YR3/2 & 6/8	SIC	2fsbk	mvfi	cw	<10	>70	0.07
3	48-72	10YR6/6	f1f 10YR6/2	GRSIL	1fsbk	mlo	cw	15-20	40-60	0.13
4	72-102	10YR6/3	f1f 10YR7/1 & 6/8	VGRSL	0sg	mlo	cw	35-45	10-20	1.63
5	102-120	10YR5/6	--	LS	0sg	mlo	--	<10	10-20	1.63

Comments: Groundwater encountered at 8 ft (EL 824.8 ft)

Preliminary

SW-6

Obs. # Boring
 Pit Ground Surface Elev. 831.3 ft Elevation of limiting factor 830.3 ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines (P270)	Hydraulic App. Rate Inches/Hr
1	0-12	10YR3/2	--	SICL	1fsbk	mfr	tilled	<10	>70	0.04
2	12-24	10YR7/3	c2d 10YR6/3	GRSIL	1fsbk	mfi	cw	15-20	40-60	0.13
3	24-72	10YR6/3	--	VGRS	0sg	mlo	cw	35-45	<10	3.60
4	72-120	10YR5/6	--	LS	0sg	mlo	--	<10	10-20	1.63

Comments: Groundwater encountered at 7 ft (EL 824.3 ft) while drilling.

SW-7

Obs. # Boring
 Pit Ground Surface Elev. 831.1 ft Elevation of limiting factor 830.1 ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines (P270)	Hydraulic App. Rate Inches/Hr
1	0-12	10YR3/2	--	SICL	1fsbk	mfr	tilled	<10	>70	0.04
2	12-48	10YR4/3	c2d 10YR3/2 & 6/6	SIC	2fsbk	mvfi	cw	<10	>70	0.07
3	48-102	10YR6/3	--	VGRSL	0sg	mlo	cw	35-45	10-20	3.60
4	102-120	10YR6/2 & 5/6	--	LS	0sg	mlo	--	<10	20-30	1.63

Comments: Groundwater encountered at 7 ft (EL 824.1 ft) while drilling.

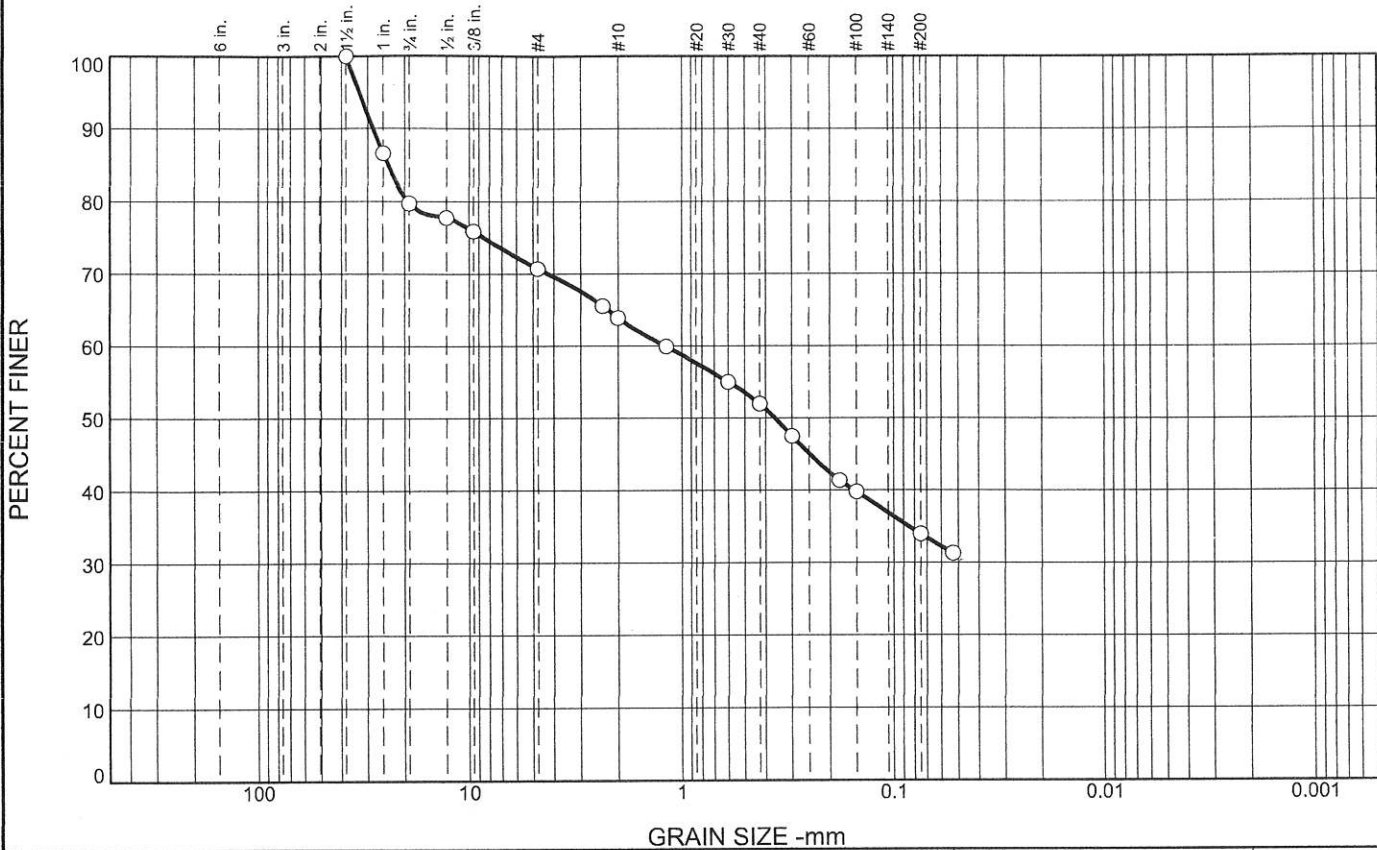
Obs. # Boring
 Pit Ground Surface Elev. _____ ft Elevation of limiting factor _____ ft

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frag.	% Fines	Hydraulic App. Rate Inches/Hr

Comments:

Preliminary

Particle Size Distribution Report



% Stones	% +3"	% Gravel			% Sand					% Silt		% Clay
		Coarse	Medium	Fine	V. Crs.	Crs.	Med.	Fine	V. Fine	Crs.	Fine	
0.0	0.0	20.3	9.0	6.8	5.1	5.3	8.4	8.8	5.0		31.3	

SIEVE SIZE	PERCENT FINER	SPEC.* PERCENT	PASS? (X=NO)
1.5	100.0		
1	86.6		
.75	79.7		
.5	77.8		
.375	75.9		
#4	70.7		
#8	65.6		
#10	63.9		
#16	59.9		
#30	55.0		
#40	52.0		
#50	47.5		
#80	41.3		
#100	39.8		
#200	33.9		
#270	31.3		

Material Description

Tan/Brown Sandy SILT; Some Fine to Coarse Gravel

Atterberg Limits
 PL= NP LL= NV PI= --

Coefficients
 D₉₀= 28.3610 D₈₅= 24.0870 D₆₀= 1.1936
 D₅₀= 0.3616 D₃₀= D₁₅=
 D₁₀= C_u= C_c=

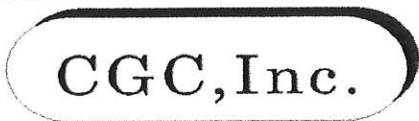
Classification
 USCS= SM AASHTO= A-2-4(0)

Remarks

* (no specification provided)

Location: Boring SW-2
Sample Number: 2 & 3

Date: 1/3/23



Client: Springdale Development, LLC
Project: Springdale Road Subdivision
 Pewaukee, Wisconsin

Project No: CM22244

Figure

Tested By: T. Barganz **Checked By:** N. Springstead, P.E.

Public Street Length
5,963 lf
36.8 lf/unit

Site Data Table

- Total Area (excluding Springdale Rd ROW)	57.33 acres
- Wetland Area	- 3.33 acres
- Net Upland	54.0 acres
- Proposed Development:	
- Condominium Community	84 units
- Double Duplex = 15 buildings	
- Duplex = 12 buildings	
- Single Family Lots (Rs-6 - 90' wide, 12,500 sf)	48 lots
- TOTAL	162 units

Proposed Zoning

- Condominium Community Rm-1 PUD*	
- Lot Area = 0.5 ac	
- Lot Width = 120'	
- Setbacks:	
-- Front = 24.5' to building, 25' to garage (*)	
-- Wetland = 25'	
-- Side = 40' (*building-building), 25' side	
-- Rear = 35'	
- 2.5 parking spaces/unit	
- Single Family Rs-6	
- Lot Area = 12,500 sf	
- Lot Width = 90'	
- Setbacks:	
-- Front = 30'	-- Wetland = 25'
-- Side = 12'	
-- Rear = 35'	
- Wetland	LC

Existing Zoning

- A-2
- Rs-6
- LC

Land Use Plan

- Medium Density Residential



19035 W CAPITOL DRIVE
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
ESSER PROPERTY
CITY OF PEWAUKEE, WISCONSIN
BY: CORNERSTONE DEVELOPMENT
N63 W23849 MAIN ST.
SUSSEX, WI 53089

REVISION HISTORY

DATE	DESCRIPTION
8/29/25	PRELIMINARY PLAN
10/03/25	PER CITY REVIEW

DATE:

OCTOBER 3, 2025

JOB NUMBER:

25-01-796

DESCRIPTION:

PROPOSED
SITE PLAN

SHEET

C0.2



WETLAND DELINEATION NOTE:

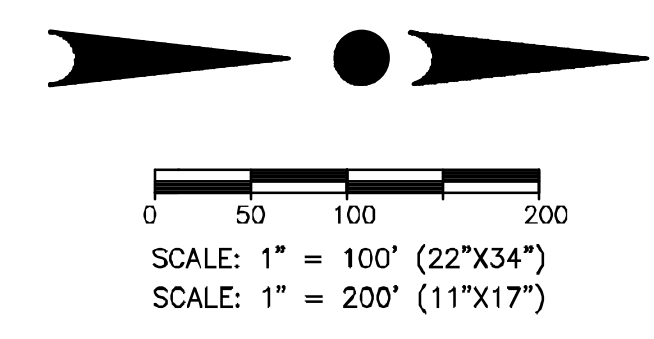
Wetland boundaries shown hereon were field delineated by RA Smith (Tina Myers) on July 20, 2021.

P.E.C. DELINEATION NOTE:

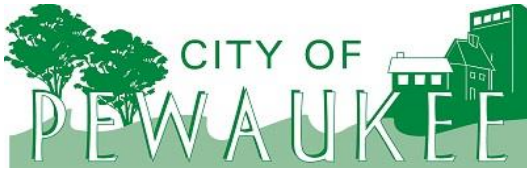
P.E.C. Boundaries shown hereon were field delineated by Heartland Ecological Group, Inc. in 2025.

FLOODPLAIN NOTE:

The area labeled Floodplain on this Plot is located in Zone "X" as designated on the Flood Insurance Rate Map Number: 6513360216H dated October 19, 2023. Zone "X" is defined as areas determined to be outside the 0.2% annual chance Floodplain.



X:\2025\25-01-796 ESSER PROPERTY - PEWAUKEE\DRAWINGS\PRELIMINARY\ESSER_CO-SITE_25X34.DWG



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of October 16, 2025

Date: October 8, 2025

Project Name: Esser Farm Rezoning, Conditional Use, Site & Building Plan Review, and Preliminary Plat

Project Address/Tax Key No.: W220N2475 SPRINGDALE RD / PWC 0916997

Applicant: Cornerstone Development

Property Owner: FRIEDL ESSER REVOCABLE TRUST AND NORMAN ESSER CO LLC

Current Zoning: A-2 Agricultural District, Rs-6 Single-Family Residential District, and LC Lowland Conservancy District

2050 Land Use Map Designation: Medium Density Residential (6,500 Sq. Ft. - 1/2 Ac. / D.U.) and Floodplains, Lowland, & Upland Conservancy and Other Natural Areas

Use of Surrounding Properties: Single-family residential to the north, east, west, and single-family residential and LC District zoned property to the south.

Introduction:

The applicant filed the following applications for a mixed-use residential development upon property located at W220N2475 Springdale Road.

- Rezoning Application to rezone the subject property from A-2 District, Rs-6 District, and LC District to Rs-6 District, Rm-1 Residential planned unit development (PUD), and LC Lowland Conservancy District.

Staff is recommending that the rezoning also include the UC Upland Conservancy District for woodland areas and F-1 District for the area of land designated as floodplain.

The future land use designation is Medium Density Residential (6,500 Sq. Ft. – 1/2 Ac./D.U.) and Flood Plains, Lowland & Upland Conservancy, and other Natural Areas. At 132 units, the project does not require a Comprehensive Master Plan Amendment.

- Conditional Use Permit for the condominium portion of the development to allow four-unit and two-unit structures under the CUP planned unit development standards, such as reduced front and rear setbacks.
- Preliminary Plat to create the residential and condominium lots.
- Site & Building Plan Review for the approval of the condominium site design and architecture.

This submission is following review of a Conceptual Review Application at the April 17, 2025 Plan Commission meeting. The conceptual plan included 48 single-family lots and 90 condominium units for a total of 138 dwelling units.

The current development plan reduced the number of condominium units to 84 units, thus reducing the total number of dwelling units to 132.

Project Description/Analysis:

The property is approximately 58-acres and is primarily vacant and used for agricultural purposes currently. The site plan shows the single-family residential abutting the existing single-family residential to the west and transitioning to condominiums on the eastern portion of the property.

The southeast corner is a Southeastern Wisconsin Regional Planning Commission Primary Environmental Corridor and wetland area. There is also a wetland on the western side of the property which abuts the Springdale Estates subdivision.

All lots and condominium units will be served by public sanitary sewer and water facilities.

Single-Family Residential

The single-family residential portion of the development is proposed to be rezoned to the Rs-6 Single-Family Residential District consistent with the surrounding residential uses. The 48 single-family lots are generally located on the western half of the property abutting the existing single-family residential subdivision.

The Rs-6 District requires a minimum lot size of 12,500 square feet and a minimum lot width at the building setback line of 90 feet. The lot sizes proposed range from 12,740 square feet to 24,524 square feet. The average lot size is 16,226 square feet.

For comparison, the existing single-family residential lots directly abutting this property have an average lot size of 17,370 square feet, ranging from 13,020 square feet to 29,346 square feet. With a total acreage of 58 acres, the resulting gross density for the entire development is about 2.4 units per acre.

Multi-Family Residential

The multi-family portion of the development is proposed to be rezoned to the Rm-1 Multiple-Family Residential District. This district allows a maximum density of six dwelling units per net acre, which this development meets (see table below for each multi-family lot).

Lot Number	Number Of Units	Net Acreage	Units Per Acre
Lot 49	28	7.52	3.72
Lot 50	12	3.31	3.31
Lot 51	22	4.89	4.50
Lot 52	22	5.96	3.69

The site plan consists of 84 condominium dwelling units within 15 four-family buildings and 12 two-family buildings. Each condominium unit includes a two-car-attached garage.

The project also includes a clubhouse, swimming pool and two sport courts adjacent to Springdale Road, south of the entrance drive. Additionally, the plan includes a paved trail, which extends through both the single-family and condominium uses. The clubhouse is for the condominium owners only.

Staff did recommend that the trail be expanded to better serve all condominium units and provide a safe off-street connection to the clubhouse and amenities area. The applicant stated, “[t]he developer does not see a benefit to the proposed community to add or expand the trail system. The local roads are typically used by the community residents for walking. The two segments of trail proposed herein are situated within public access easements and allow for enjoyment of the open space.”

Staff also recommended that the trail extend into the single-family Lots 34 through 36.

The applicant is proposing this development as a Conditional Use planned unit development. This allows for townhouses and condominiums as well as reduced development standards. For example, this would allow for front and rear yard setbacks of 24.5-feet, opposed to 35-feet. This section of the ordinance also requires a minimum 40-foot building separation.

The Rm-1 District contains the parking requirement below.

g. Parking Space

There shall be a minimum of two and one-half (2-1/2) 200-square-foot off-street parking spaces provided for each residential unit, of which at least two (2) must be located in a garage as defined in sub-section 17.1402 (Also see Section 17.0600)

As each unit will have a two-car attached garage and parking is available on the driveway in front of the garage, this standard is met.

The applicant is also proposing a small parking lot for the clubhouse and amenity area consisting of sixteen parking spaces.

Staff anticipates low level residential style lighting for the multi-family development. It is recommended that lighting details be provided for any proposed lighting for staff review and approval.

Staff recommends that landscaping be provided, particularly foundation plantings and within outlots and common areas of the multi-family development. As such, staff recommends submittal of a Landscape Plan for staff review and approval.

Engineering

Engineering Department recommendations are as follows:

- All storm easements on the plat shall be revised to storm and access easements and shall be a minimum of thirty feet wide.
- The Private Drainage Easement on Lots 9-11, 15-17, 21, and 26 be a minimum of thirty feet, unless otherwise approved by the City Engineer.
- The 2' vertical and 15' horizontal setback from the 100-year elevations of the drainage pond elevations are required for the condo development easements.
- The note below shall be included on the plat.

BASEMENT RESTRICTION – GROUNDWATER

- Although all lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Wis. Stat. Ch. 236, some lots contain soil conditions that, due to the possible presence of groundwater near the surface, may require additional soil engineering and foundation design with regard to basement construction. It is recommended that a licensed professional engineer design a basement and foundation that will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that other special measures be taken. Soil conditions should be subject to each owner's special investigation prior to construction and no specific representation is made herein.

- *A note shall be added to the plat stating, "Sump pumps shall be directed to a suitable location on the property and shall not discharge onto neighboring properties or directly into the City's storm sewers, sanitary sewers, or roadways."*
- *Final grading, erosion control, utilities, and storm water management plan approval by the Engineering Department prior to issuance of a Building Permit.*

Signage

Multiple subdivision signs are proposed. *Signs shall be subject to Article 9 of the Zoning Code and staff review of Sign Permit Applications.*

Recommendation:

A motion to recommend approval of the Rezoning, Conditional Use Permit and Preliminary Plat and a motion to approve the Site & Building Plan Review Application, contingent upon approval of the Rezoning and CUP.

W240 N3065 Pewaukee Rd Pewaukee, WI 53072 Building Services Office - 262-691-9107 City Hall Main Office - 262-691-0770 Fax - 262-691-1798	BUSINESS PLAN OF OPERATION APPLICATION CITY OF PEWAUKEE	Permit No. Parcel/Tax Key No. PWC 394450928
LEGAL NAME OF PROPOSED BUSINESS: Lake Country Eye Surgery Center, LLC		Lot #:
SITE ADDRESS: W238N1670 Busse Road City Pewaukee State WI Zip 53188		
Tenant / Legal Business Name (Please Print) Lake Country Eye Surgery Center, LLC	Mailing Address City State Zip N19W23993 Ridgeview Pkwy Waukesha WI 53188 Email Address rmccarville@medcgroup.com	Phone# 417-861-1454 FEIN # PWC 394450928
Property Owner Name: (Please Print) MEA Forward, LLC	Mailing Address City State Zip N19W23993 Ridgeview Pkwy Waukesha WI 53188 Email Address rmccarville@medcgroup.com	Phone# 417-861-1454 FEIN# PWC 0954998013
TYPE of BUSINESS: Please Check the appropriate Box for type: <input type="checkbox"/> Retail <input type="checkbox"/> Warehouse/Storage <input type="checkbox"/> Wholesale <input checked="" type="checkbox"/> Other? <u>Medical</u> <input type="checkbox"/> Office <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional		
NEW USE? <u>Yes</u> or No or EXPANSION OF EXISTING USE? <u>Yes</u> or <u>No</u> or OTHER?		
DESCRIPTION OF BUSINESS OPERATION (attach separate narrative as necessary): Business narrative attached.		
Current Zoning: B-6	Hours of Operation: 6:30 am - 5:00 pm	Days of Operation: M-F
Maximum # of Employees: 36	How many Full Time? 26	How many Part Time? 10
Expected Customers per day: 60	Number of Trucks per day: 2	Number of Autos per day: 96
PARKING • Available Parking/Parking Lot Spaces # <u>76</u> • Loading Spaces # <u>1</u> • Is there Overnight Parking? Yes or <u>No</u> o Where? _____		STORAGE • Any outside storage? Yes or <u>No</u> • Please list type of Storage? _____
SEWAGE DISPOSAL BY: Public Sewer <input checked="" type="checkbox"/> Septic Tank _____ Holding Tank _____ Storm Water Retention/Detention: <u>Yes</u> or No	WATER SUPPLY BY: Public Water Main <input checked="" type="checkbox"/> Private Well _____ Other _____	SOLID WASTE (trash) DISPOSAL BY: Contract: <input checked="" type="checkbox"/> Self: _____ Any flammable substances? Yes or <u>No</u> If Yes, where Stored? _____
Any Special Equipment/Facilities/Requirements? <u>Yes</u> or No What? <u>HVAC, generator, sterilizer to AAAHC standards</u>		PLEASE ATTACH SITE & FLOOR PLAN ILLUSTRATING TENANT SPACE LOCATION
The applicant and property owner(s) hereby certify that: 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge; 2) the applicant and property owner(s) has/have read and understand all information in this application; and 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.		
By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.		
APPLICANT'S SIGNATURE <u>Deborah Bernstein</u>	APPLICANT'S PRINTED NAME Deborah Bernstein	DATE SIGNED 11/10/2021
PROPERTY OWNER'S SIGNATURE <u>Deborah Bernstein</u>	PROPERTY OWNER'S PRINTED NAME Deborah Bernstein	DATE SIGNED 11/10/2021
APPROVAL CONDITIONS Applicant is responsible to obtain any licenses, permits, certificates or other documents from other agencies of City Departments. For example: Cigarette and Alcoholic Beverage Licenses must be obtained from the City Clerk and Building Permits from the Building Inspector. Also, Occupancy of the premises requires approval of this application.		
Business Plan of Operation Application Fee: \$100.00		
For City Staff ONLY Submitted for Review on: _____ Approval by Zoning Administrator: _____ Date: _____ Approval by City Planner: _____ Date: _____ SPECIAL REQUIREMENTS/COMMENTS: _____		

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).



CITY OF PEWAUKEE

Water & Sewer Division

W240N3065 Pewaukee Road • Pewaukee, WI 53072

Phone: (262) 691-0804 • Fax: (262) 691-5729

Email: publicworks@pewaukee.wi.us

Private Fire Protection Size: _____

Domestic Water Size: _____

NOTICE OF INTENT TO DISCHARGE WASTEWATER

(Please print then mail, fax or email to address above)

Note: The discharge shall comply with all conditions of the City Municipal Code Chapter 13.20 found in Title 13 Public Services at: www.cityofbrookfield.com.

TO BE COMPLETED BY COMMERCIAL/INDUSTRIAL USER (Please Print)

1. Company Name: Lake Country Eye Surgery Center, LLC

2. Facility Street Address: W238N1670 Busse Road
City/State/Zip: Pewaukee, WI 53188

3. Mailing Address (if different): N19W23993 Ridgeview Pkwy
City/State/Zip: Waukesha, WI 53188

4. Company Representative Name: Deborah Bernstein
Title: Managing Member Email: dbernstein@medicaleyeassociates.com
Phone: 262-506-1627 Fax: 262-506-1633

5. Brief description of business: Lake Country Eye Surgery Center, LLC (Center) is designed to become a Medicare-approved ambulatory surgical center. The Center will offer a full range of ophthalmic outpatient surgical procedures, including cataract surgery, retina surgery, oculoplastic surgery, various eye laser surgeries and other ophthalmic procedures.

6. Existing number of employees: Full-time: 0 Part-time: 0

7. Operating: #Days/week: 5 #Hours/day: 10.5 #Shifts: 1

8. Facility Four-digit SIC Code: 8 0 1 1 OR Six-digit NAICS Code: 6 2 1 1 1 1

9. Reason for filing survey:
- Change of occupancy
 - Construction of a new facility/new addition
 - Proposing to discharge from a facility where there is currently no discharge or adding a new sewer connection
 - Significantly altering the volume or characteristics of an existing discharge
 - Applying for reissuance of an existing discharge permit
 - Per request by municipality – discharge ongoing with no expected changes
 - Update previous information

10. Date when new or altered discharge is expected to begin: 10 / 01 / 26

11. Estimated sanitary sewer discharge:	<u>Existing</u>	<u>Proposed</u>
A. Gal/day process wastewater:	<u>Not applicable</u>	<u>1,800 gallons per day</u>
B. Gal/day sanitary wastewater:	<u>Not applicable</u>	<u>700 gallons per day</u>
C. Gal/day cooling water:	<u>Not applicable</u>	<u>Not applicable</u>

Note: A review of quarter water usage bills may be helpful in assigning flow values.
 Total gal/day (for all uses) = quarter usage (in 1000 gallons) x 1000/# operating days in quarter.
 This daily total is then distributed into estimated gal/day of process, sanitary and/or cooling.
 Process wastewater is any discharge other than sanitary, non-contact cooling or boiler blowdown water.
 Sanitary flow may be estimated as 20 gal/day/employee.

12. Describe process(es) that will result in the discharge of a commercial/industrial process wastewater:
The sterilization equipment utilized to sterilize medical instrumentation utilizes a significant amount of water for the cooling down of the steam generation chamber at the end of each cycle.

13. List any chemicals/pollutants expected to be present in your discharge: _____
No, harsh chemicals and/or pollutants are expected to be utilized in this facility. Only standard cleaning detergents & soaps.

14. Described any wastewater pretreatment and/or facilities to be used: _____
Not applicable

15. Is there any usage of toxic organic compounds at the facility? (Solvents, flammable compounds, etc.)
 Yes _____ No X

16. How are toxic organic compounds disposed of?
 Discharge to sanitary sewer
 Hauled to treatment/recycling center
 No waste (used in process or sparingly on rags)
 Other, specify: Biohazard waste will be removed from facility by contracted service.

17. Comments: _____

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Authorized Representative Signature: Deborah Bernstein

Print Name: Deborah Bernstein Date: 11/10/2025



Lake Country

EYE SURGERY CENTER

Current Address:
N19W23993 Ridgeview Pkwy
Waukesha, WI 53188

Future Address:
W238N1670 Busse Road
Pewaukee, WI 53188

Narrative Description of the Project

Contacts: Rob McCarville
Email: rmccarville@medcgroup.com
Cell: 417-861-1454

Diana Buck, RN
Email: dbuck@medcgroup.com
Cell: 913-523-4467

Owners: Deborah Berntein, M.D.
Jessica Schrieber, M.D.
Douglas Long, M.D.
Nicholas Tosi, M.D.

Executive Summary:

Lake Country Eye Surgery Center, LLC (Center) is designed to become a Medicare-approved ambulatory surgical center in an approximately 10,545 square foot area within a new facility to be constructed in Pewaukee, WI. It is expected that this building will be constructed with an estimated project value of \$7 million. Future development plans include ~1,800 GSF of potential expansion area.

The Center will offer a full range of ophthalmic outpatient surgical procedures, including cataract surgery, retina surgery, oculoplastic surgery, various eye laser surgeries and other ophthalmic procedures.

The ambulatory surgery center is designed within a new building of approximately 10,545 square feet with the Center as the sole tenant. It will be constructed in accordance with the requirements of the Wisconsin Department of Health Services and to qualify for Medicare certification.

Planned hours of operation for the Center are 6:30 am to 5:00 pm, Monday through Friday.

Specific Information Related to the ASC:

The surgery center will consist of three operating rooms. It is anticipated that all the rooms will be designed to handle the full range of surgical services for ophthalmology.

A separate area of the facility will be designed to handle ophthalmology laser procedures and, potentially, other sub-sterile procedures. This area will consist of two laser procedure rooms sized for these procedures as well as the required support areas to include pre-procedure and post procedure bays, a nursing control station, and storage for supplies and equipment.

The Center will contain all other required and related spaces, including a reception area and covered patient pick-up/ drop-off entrances, pre-op, recovery, staff lockers, etc.

Anticipated surgical procedure volume in year one of operation is projected to be approximately 5,400 incisional ophthalmic procedures and 1,100 ophthalmic lasers and other ophthalmic procedures.

Construction of the facility is scheduled to commence in the fourth quarter of 2025 and completion is expected in the third quarter of 2026. It is anticipated that Medicare certification will be pursued immediately following the completion of construction.

It is anticipated that the Clinical Director of the facility will be a Registered Nurse, licensed in Wisconsin, who has experience in the

management of outpatient surgical facilities. Applicant will endeavor to hire highly qualified and experienced individuals to fill all staff positions. An adequate number of Registered Nurses will be available in order to always have Registered Nurses in appropriate numbers present when patients are in the facility.

A Governing Body composed initially of Members of the Applicant and other key managers of the Center will manage the ambulatory surgical center. It is the intent of the organization to comply with applicable federal, state and local regulations and standards of care.

Anesthesia care will be provided by an independently contracted group headed by a Wisconsin licensed Anesthesiologist or Certified Registered Nurse Anesthetist. Anesthesia care will include general, local or regional anesthesia and/or conscious sedation. The physical plant will be constructed to provide piped oxygen, vacuum and other required medical gases to support general anesthesia.

Administration and Public Areas:

The design of the facility will allow for a covered entrance/exit for drop-off and pickup of patients before and after surgery. Other salient features of the facility include an accessible reception/waiting area with an attended reception desk, a public telephone, toilets and a private interview/consultation room.

Sterilizing Facilities:

A space for integrated sterilizing facilities will be provided. These modules will each include a soiled/decontamination/workroom and a clean utility/sterile processing room, as further described below.

The soiled/decontamination/workroom will be physically partitioned from all other areas of the department. The soiled/decontamination/workroom will contain a work counter, three-bay sink, clinical sink/hopper, ultrasonic cleaner, and other devices as required for initial decontamination of surgical instruments. Additionally, this room will be equipped with a pass-through window to the adjacent clean utility room.

The clean utility/sterile processing room will contain the sterilization equipment, planned to include two floor-unit sterilizers in the room.

Counter space in the room will be provided for detailed cleaning, a sink for hand washing and other materials required for terminal sterilization of instruments. Positive air pressure will be maintained in this room from all other areas in the facility except the operating rooms.

Clean and sterile storage will be provided within the clean utility/sterile processing room, operating rooms and other sterile locations within the facility in amounts to ensure that appropriate supplies, instruments and pharmaceuticals are kept on-site.

Clinical Facilities:

For the incisional surgeries, the three operating rooms will be constructed with clear areas in excess of 400 square feet each, exclusive of cabinets and shelves. An emergency communication station connected to the nursing control station will be included in each of the rooms. An X-ray illuminator will be contained in each OR. Positive air pressure from all other areas in the facility will be maintained, as will appropriate temperature and humidity controls. Scrub sinks will be located in the restricted hall, adjacent to the ORs.

A nursing control station will be located and constructed to permit visual surveillance of all traffic entering the operating suite, as well as all preoperative and recovery areas.

Twelve preoperative and recovery bays, all of appropriate size will be located adjacent to the nursing control station. All bays will provide appropriate circulation for patient care and movement and will provide privacy via walls and retractable curtains.

Two sub-sterile procedure/laser rooms will be constructed with appropriate clear areas to provide the procedures appropriate for those rooms.

An emergency communication station connected to the nursing control station will be included in the procedure room. An X-ray illuminator will be contained in each procedure room. Appropriate temperature and humidity controls will be maintained for each room.

Other significant elements of the clinical facilities include:

- A separate medical gas supply and storage room to service the piped medical gases system.
- A vacuum pump to service vacuum/suction needs to the ORs, preoperative, recovery and other required areas, if any.
- Secure drug storage and control with an appropriate distribution station.
- Patient changing facilities that includes private gowning space.
- Space for temporary storage of wheelchairs.
- A crash cart and other required emergency supplies is planned to be located at each of the nursing control stations.
- A nurse-call system with emergency communication devices at each patient care station and in other required locations.
- An emergency power generator.
- General and sterile storage rooms to meet the Center's needs.
- Administrative spaces to include an office for the Clinical Director, business office, equipment and stretcher storage alcoves, staff break/lunch lounges and other spaces as required by state or federal regulations.

Diagnostic Facilities:

Credentialed staff physicians will be responsible for defining and ordering all required preoperative diagnostic tests. The Center will, of course, require an appropriately completed history and physical examination prior to the commencement of any surgical procedure.

Transfer Agreement:

The Center anticipates obtaining a written Patient Transfer Agreement with a local area hospital that will provide care should a patient require transfer to a more intensive care environment. The transfer agreement details the responsibilities of the Center and the hospital, as well as the capability of the hospital to provide such care to the Center's patients.

Construction Standards:

Finishes, plumbing, electrical, mechanical, structural and life safety systems will conform to standards set forth in the Wisconsin Department of Health regulations, NFPA codes and all implicated building codes utilized by governing authorities with regulatory control over this project.

Submitted By:

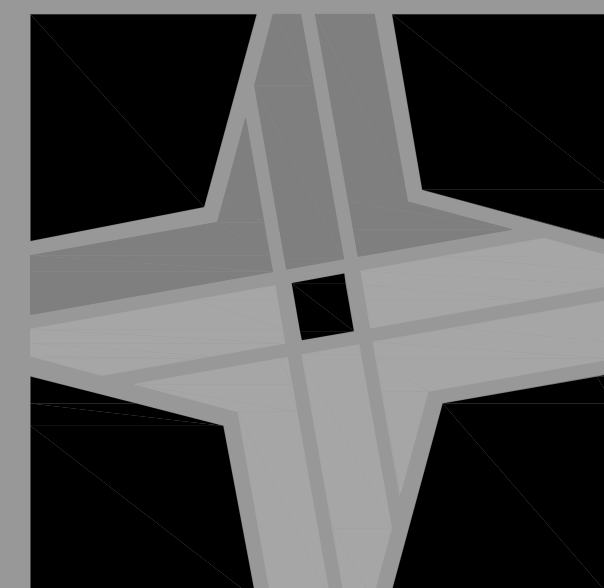
A handwritten signature in black ink, appearing to read 'Rob McCarville', written in a cursive style.

Rob McCarville, Administrator
Lake Country Eye Surgery Center, LLC

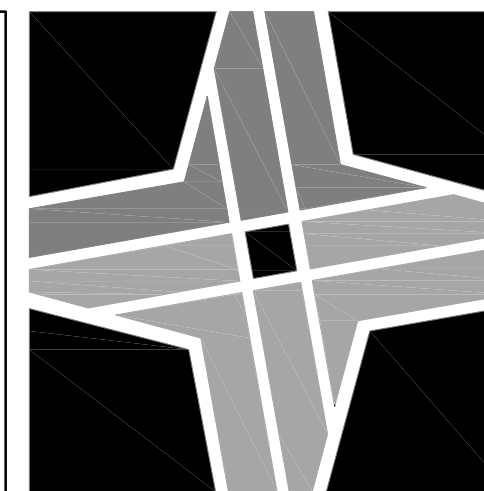
MEA FORWARD, LLC "LAKE COUNTRY EYE SURGERY CENTER"

W238 N1670 BUSSE ROAD
PEWAUKEE, WISCONSIN

SITE & BUILDING PLAN REVIEW
NOVEMBER 11, 2025

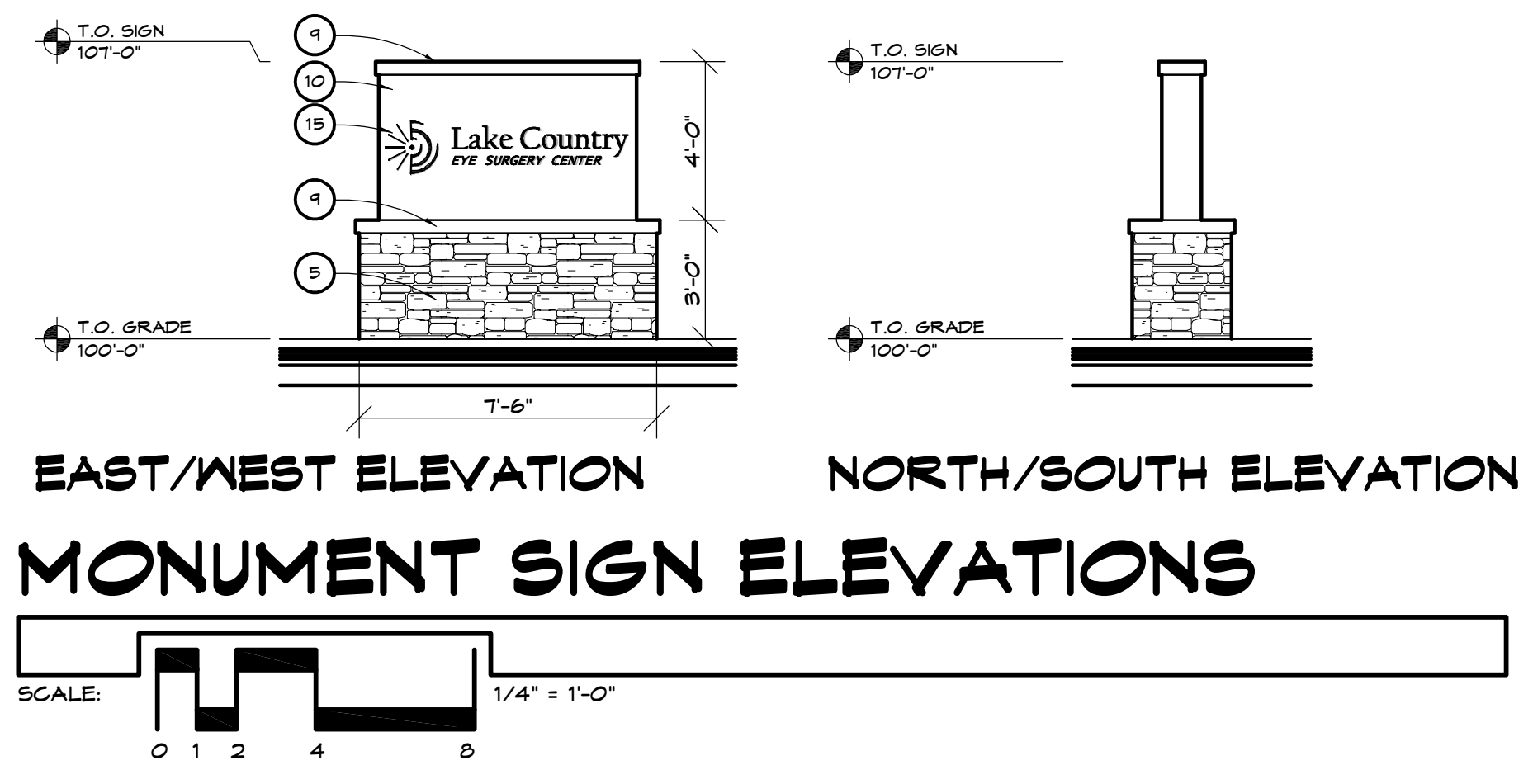


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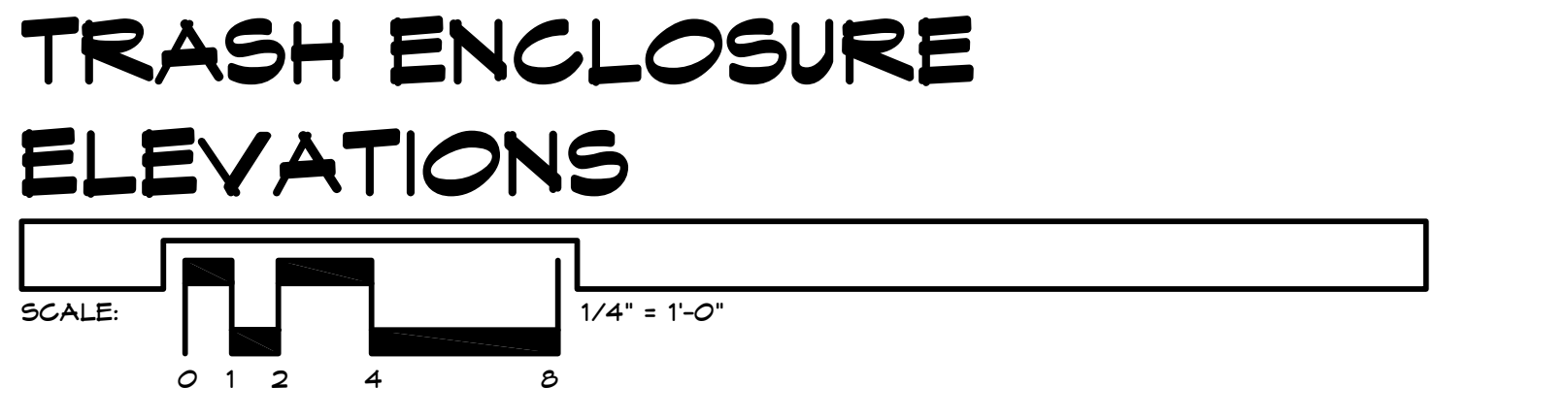
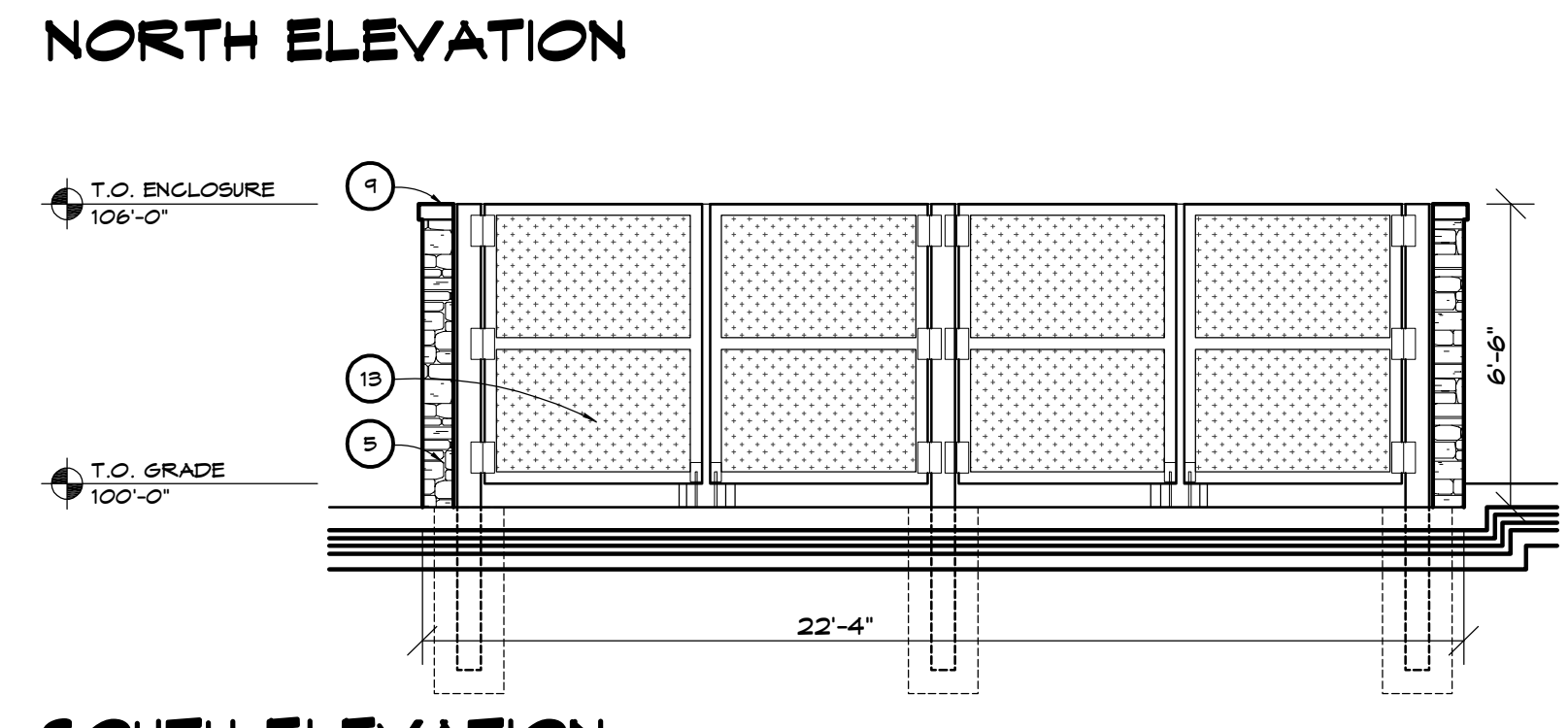
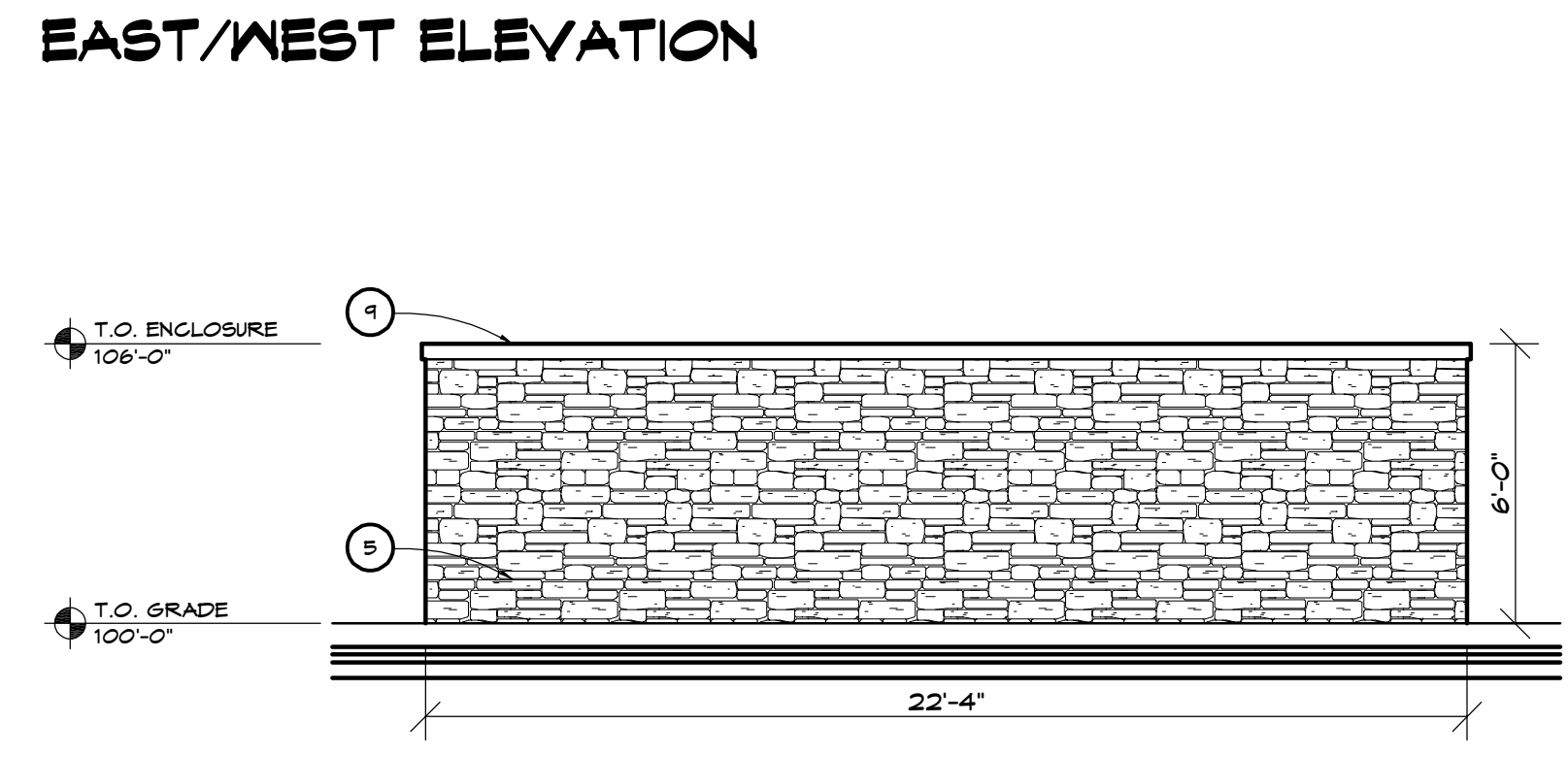
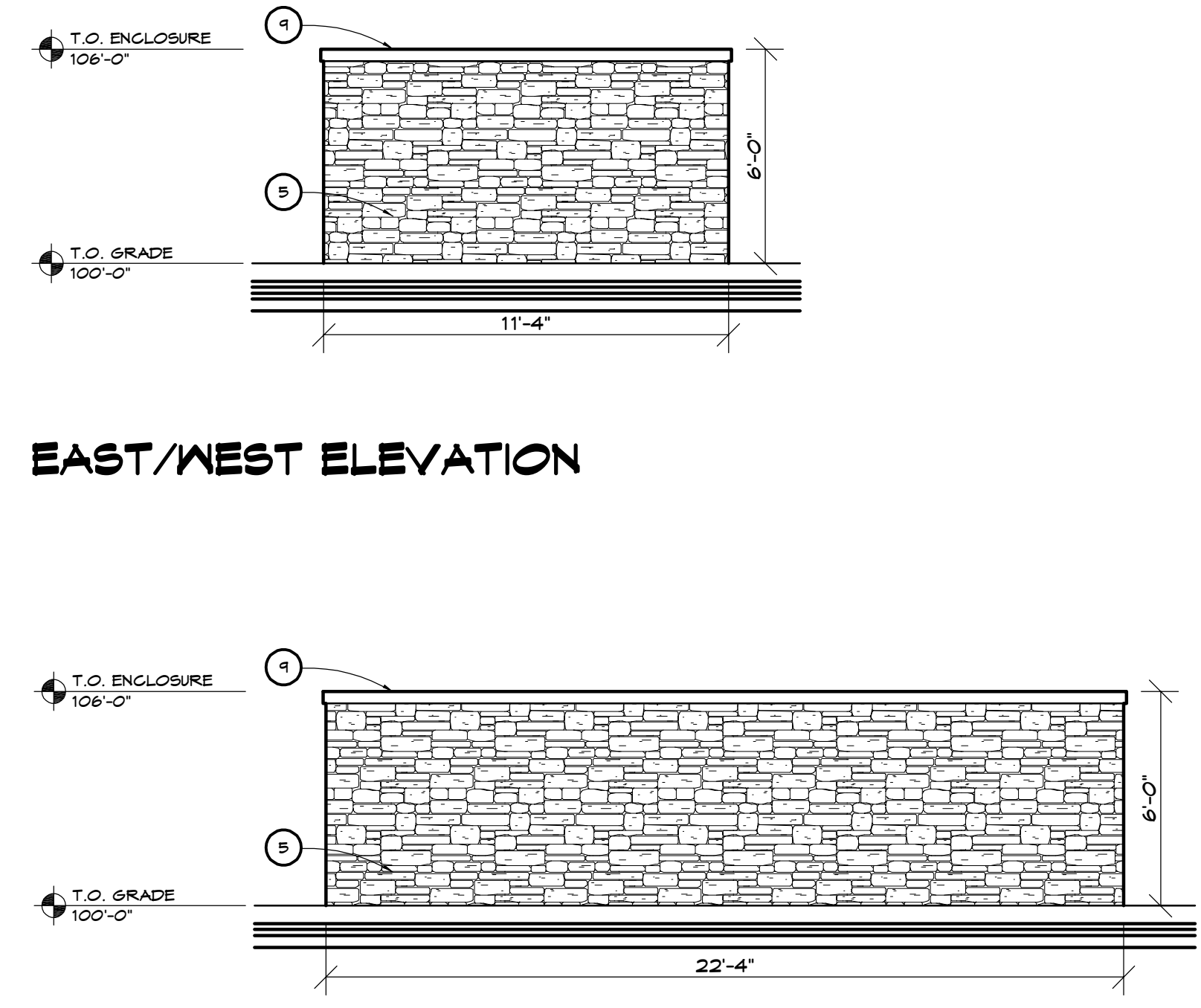


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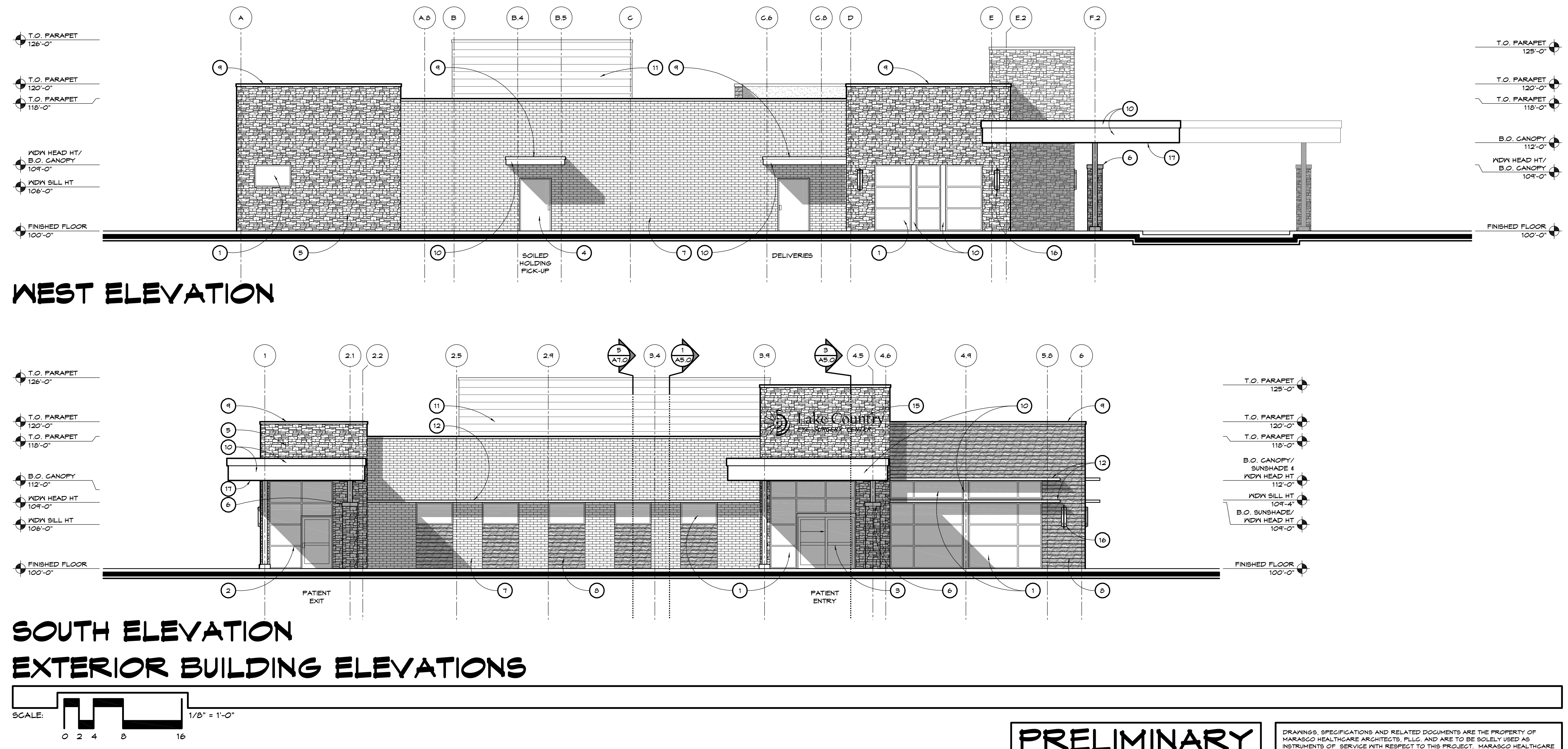
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2	1" INSULATED GLAZING PANELS WITH A LOW-E COATING AND HEAT STRENGTHENED GLASS - VEA-2M BY VIRACON OR EQUAL. (SHGC = 0.26, SHADING COEFFICIENT = 0.31, VISIBLE LIGHT TRANSMISSION = 41%, U-VALUE WINTER = 0.29, U-VALUE SUMMER = 0.26, LIGHT TO SOLAR GAIN RATIO = 1.93)
3	PRE-FINISHED ALUMINUM DOOR AND FRAME TO MATCH STOREFRONT FRAMING SYSTEM BY KAWNEER OR EQ. W/ 1" INSULATED GLAZING UNITS TO MATCH GLAZING UNITS W/IN STOREFRONT SYSTEM. COLOR SELECTION BY ARCHITECT FROM RANGE OF PREMIUM COLORS AND FINISHES.
4	PRE-FINISHED ALUMINUM SLIDING DOOR AND FRAME SYSTEM TO MATCH STOREFRONT FRAMING SYSTEM BY JASCO ABL'Y OR EQ. W/ 1" INSULATED GLAZING UNITS TO MATCH GLAZING UNITS W/IN STOREFRONT SYSTEM. (SEE DOOR SCHEDULE). COLOR SELECTION BY ARCHITECT FROM RANGE OF PREMIUM COLORS AND FINISHES.
5	INSULATED HOLLOW METAL DOOR & FRAME PRIMED & PAINTED WITH COLOR TO MATCH ADJACENT BUILDING MATERIALS AS SELECTED BY ARCHITECT.
6	ARCHITECTURAL CAST STONE VENEER SYSTEM BY ELDORADO STONE OR EQUAL, OVER 1/2" CEMENTITIOUS SCRATCH COAT EMBEDDED W/ 2.5 LB. DIAMOND METAL MESH OVER (1) LAYER "TYVEK DRAINWRAP" BY DUPONT OR EQ. PROVIDE CORNER UNITS AT ALL OUTSIDE CORNERS. STONE UNITS TO BE ROUGHOUT INSTALLED PER MFG'S RECOMMENDED METHOD. COLOR TO BE DETERMINED, OR SELECTED BY ARCHITECT FROM RANGE OF AVAILABLE COLORS.
7	TWO-PIECE PRECAST CONCRETE COLUMN CAP TO MATCH ADJACENT MATERIALS AS SELECTED BY ARCHITECT FROM ALL AVAILABLE COLORS.
8	4X4X12 UTILITY BRICK VENEER (RUNNING BOND) BY ACME BRICK OR EQUAL. FIELD COLOR TO BE GLOUCESTON/AS SELECTED BY ARCHITECT OR EQUAL. PROVIDE EXPANSION JOINTS IN MASONRY AS INDICATED ON DRAWINGS AS MASONRY "YES, SLIP JOINTS, AND HORIZONTAL REINFORCING PER INDUSTRY STANDARDS.
9	"VINTAGE WOOD" PRE-FINISHED FIBER CEMENT PANEL SYSTEM BY NICHIA OR EQUAL, WITH COLOR TO BE CEDAR OR SELECTED BY ARCHITECT FROM RANGE OF PREMIUM COLORS. PROVIDE ALL SYSTEM TRACKS, GLPS, FLASHINGS, ETC. TO CONSTRUCT THIS SYSTEM PER MFG'S BEST INSTALLATION INSTRUCTIONS. UTILIZE PRE-FABRICATED FIBER CEMENT CORNERS AT ALL OUTSIDE CORNER LOCATIONS.
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11	PRE-FINISHED 0.040 THICK ALUMINUM BREAK METAL CANOPY FASCIA WALL PANEL W/ CONCEALED FASTENERS. COLOR TO MATCH ADJACENT MATERIALS OR AS SELECTED BY ARCHITECT FROM RANGE OF PREMIUM COLORS.
12	PRE-FINISHED 1" THICK FLUSH METAL PANEL BY "FAC GLAD" OR EQ. COLOR TO BE SELECTED BY ARCHITECT FROM RANGE OF PREMIUM COLORS.
13	GALVANIZED STEEL FRAMED SUNSHADE SYSTEM WITH GALVANIZED STEEL BENT FLUTE LOUVERS (SEE STRUCTURAL DRAWINGS). PRIMED AND PAINTED COLOR SELECTION BY ARCHITECT.
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15	LOCATION OF EXTERIOR ELECTRICAL GEAR REMOVED FOR CLARITY.
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18	"METALWORKS" VENTED LINEAR SOFFIT PANEL SYSTEM (METAL W/ WOOD-LOOK FINISH) BY "ARMSTRONGS" OR EQUAL. PLANK PROFILE & COLOR TO BE SELECTED BY ARCHITECT FROM RANGE OF AVAILABLE PROFILES / COLORS. (SEE SUP-F)
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21	PROVIDE ADDRESS SIGNAGE PER LOCAL CITY & FIRE DEPARTMENT REQUIREMENTS.
22	PROVIDE FIRE DEPARTMENT CONNECTION LOCATION - TO BE DETERMINED.



EAST/WEST ELEVATION **NORTH/SOUTH ELEVATION**
MONUMENT SIGN ELEVATIONS



EAST/WEST ELEVATION
NORTH ELEVATION
SOUTH ELEVATION
TRASH ENCLOSURE ELEVATIONS



WEST ELEVATION
SOUTH ELEVATION
EXTERIOR BUILDING ELEVATIONS

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JOB TITLE

MEA FORWARD, LLC
 "LAKE COUNTRY EYE SURGERY CENTER"

SITE & BUILDING PLAN REVIEW

PENAUKEE, WISCONSIN

job no. 25-DO4
 date 11/11/25
 revision
 drawn by TEL, JAA

SHEET TITLE

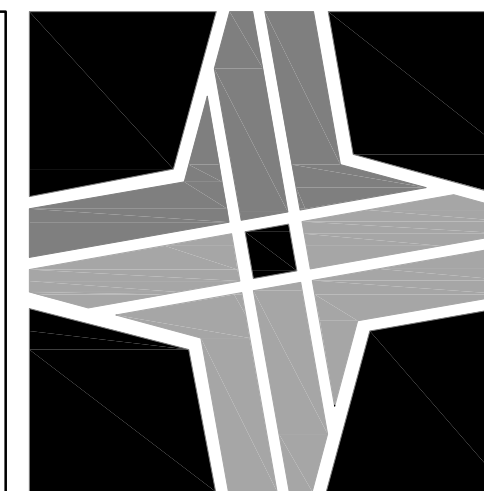
EXTERIOR BUILDING ELEVATIONS, TRASH ENCLOSURE ELEVATIONS, MONUMENT SIGN ELEVATIONS & DETAILS

SHEET NUMBER

A4.0

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JOB TITLE

MEA FORWARD, LLC
"LAKE COUNTRY EYE SURGERY CENTER"

SITE & BUILDING PLAN REVIEW

PENAUKEE, WISCONSIN

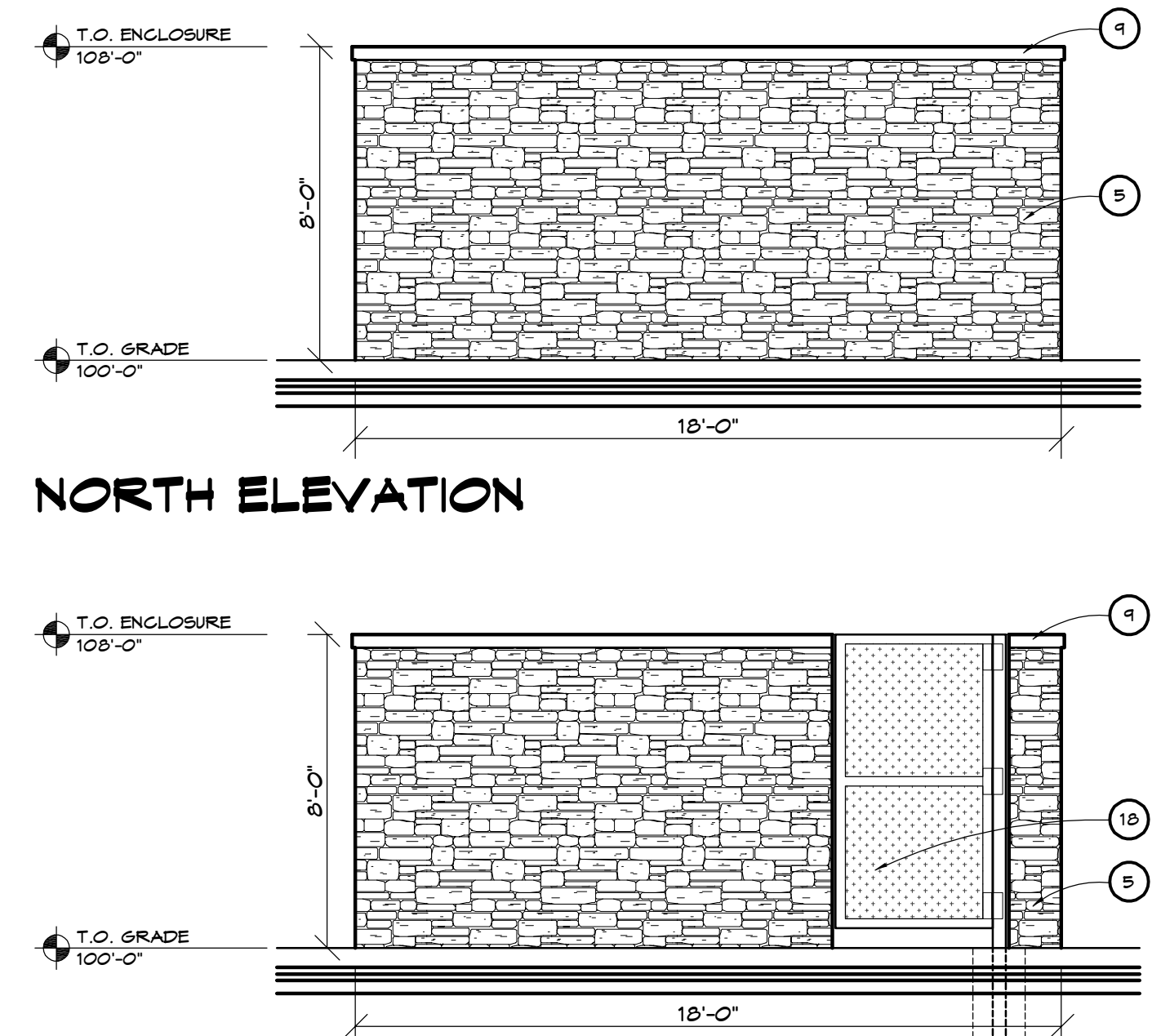
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revision
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SHEET TITLE

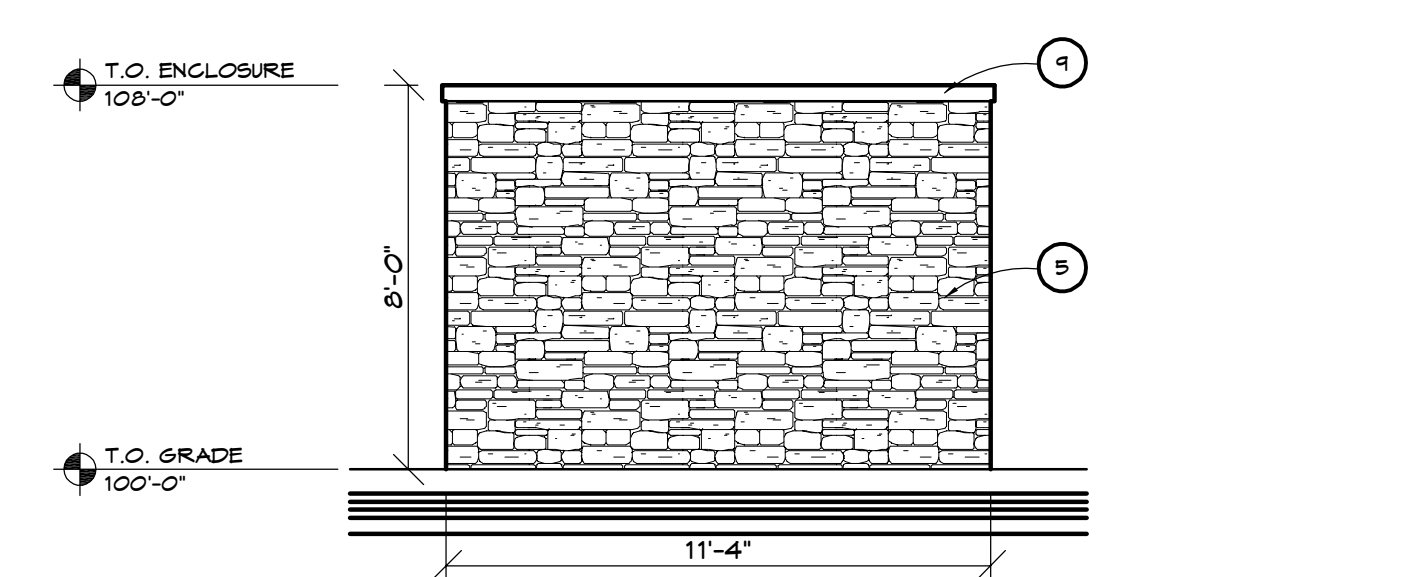
EXTERIOR BUILDING ELEVATIONS AND GENERATOR ENCLOSURE ELEVATIONS

SHEET NUMBER

A4.1

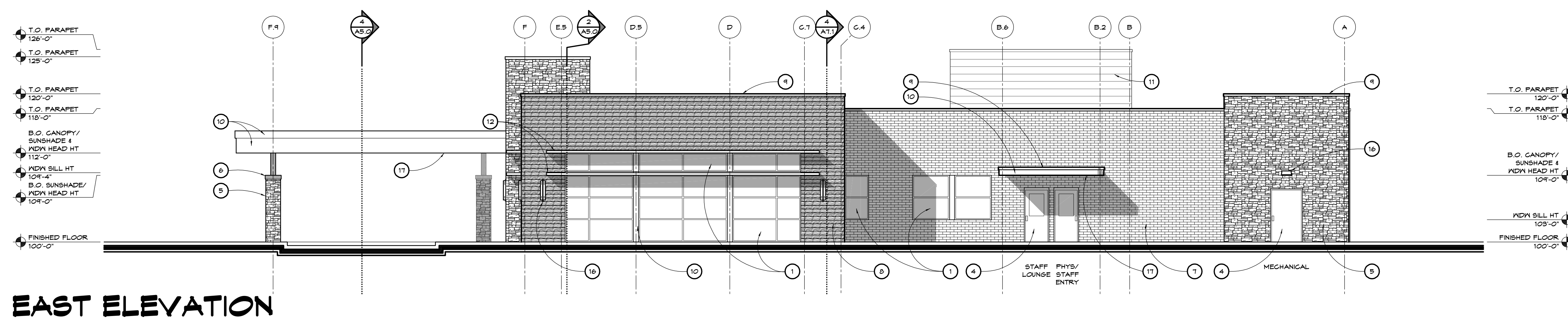
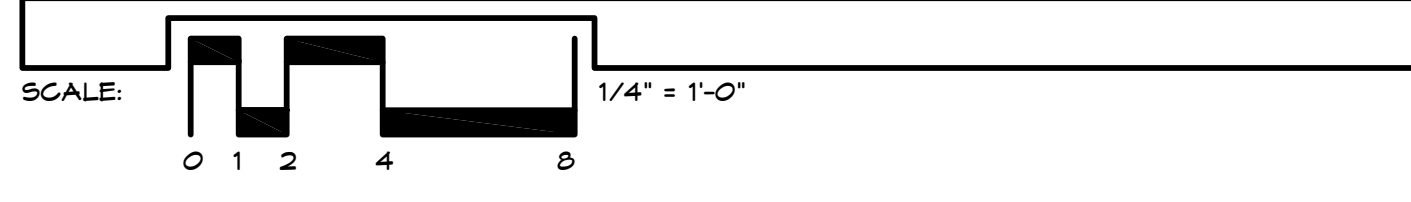


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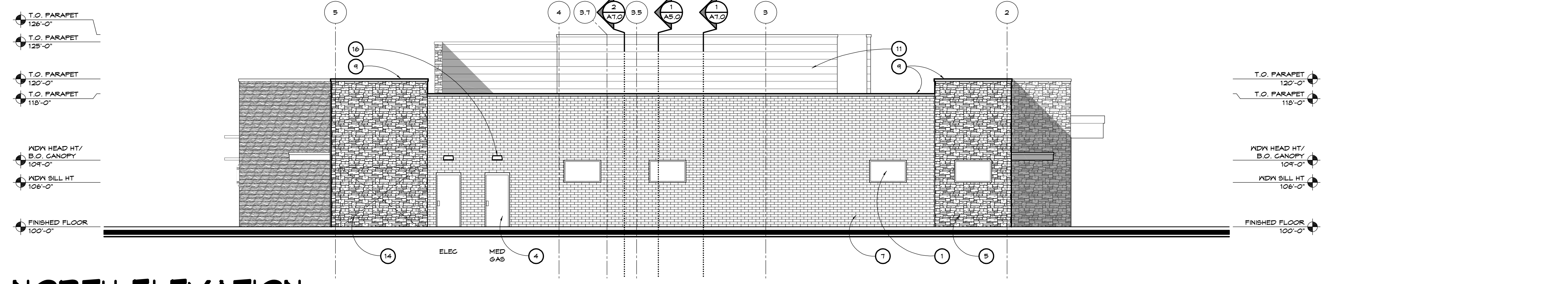


EAST/WEST ELEVATION

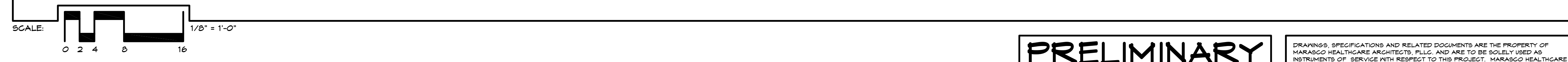
GENERATOR ENCLOSURE ELEVATIONS



EAST ELEVATION



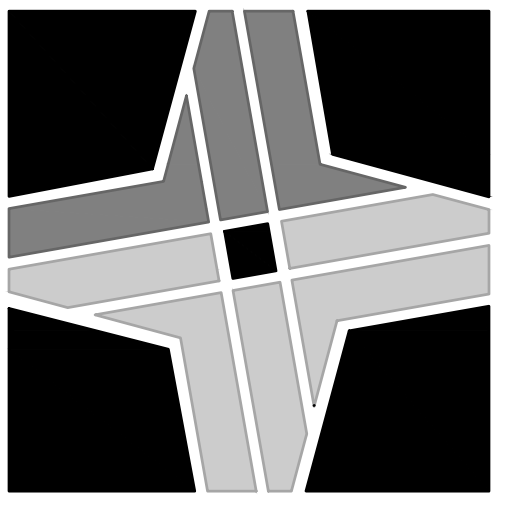
NORTH ELEVATION EXTERIOR BUILDING ELEVATIONS



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MEA FORWARD, LLC
LAKE COUNTRY EYE SURGERY CENTER
 PEWAUKEE, WI



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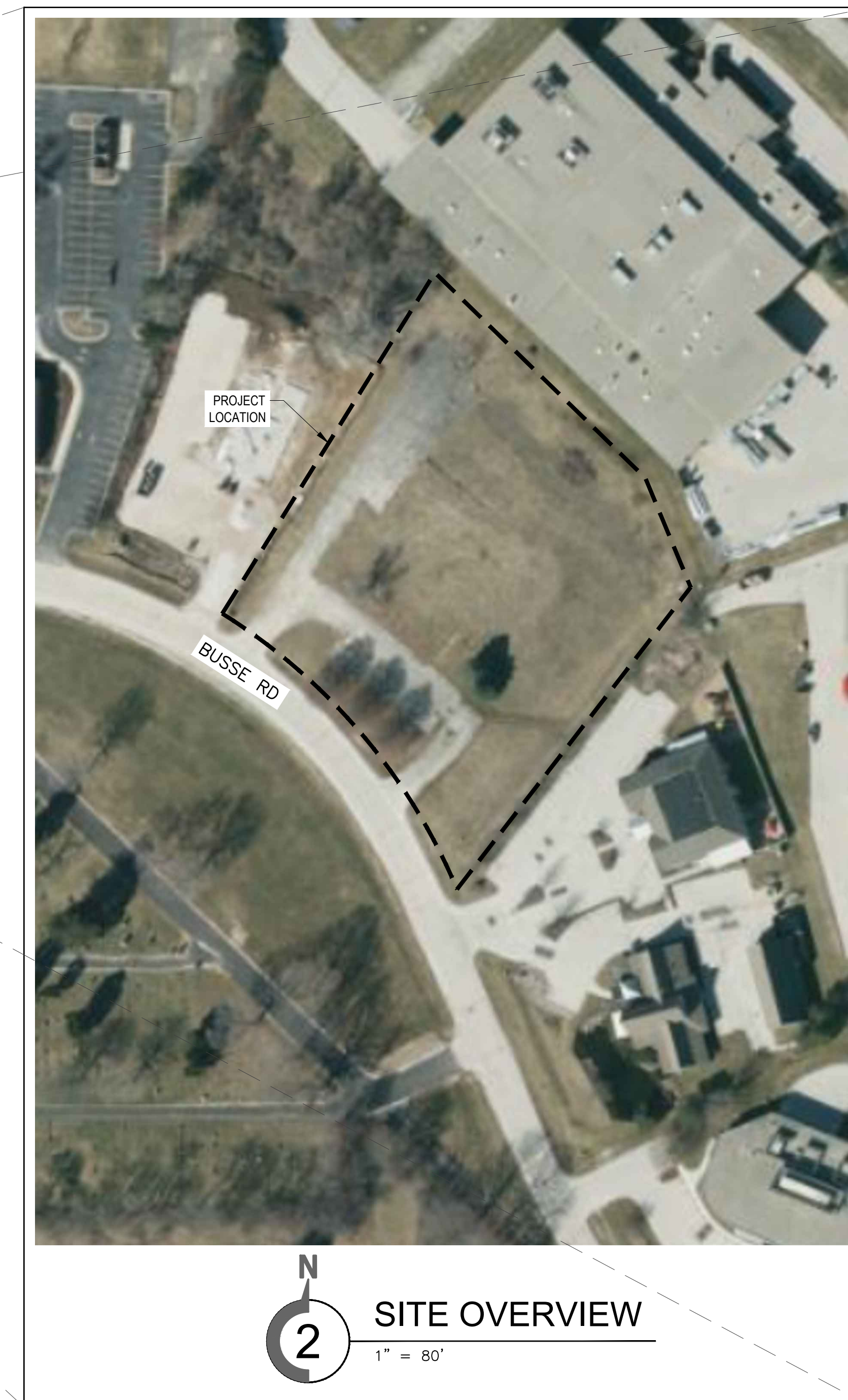
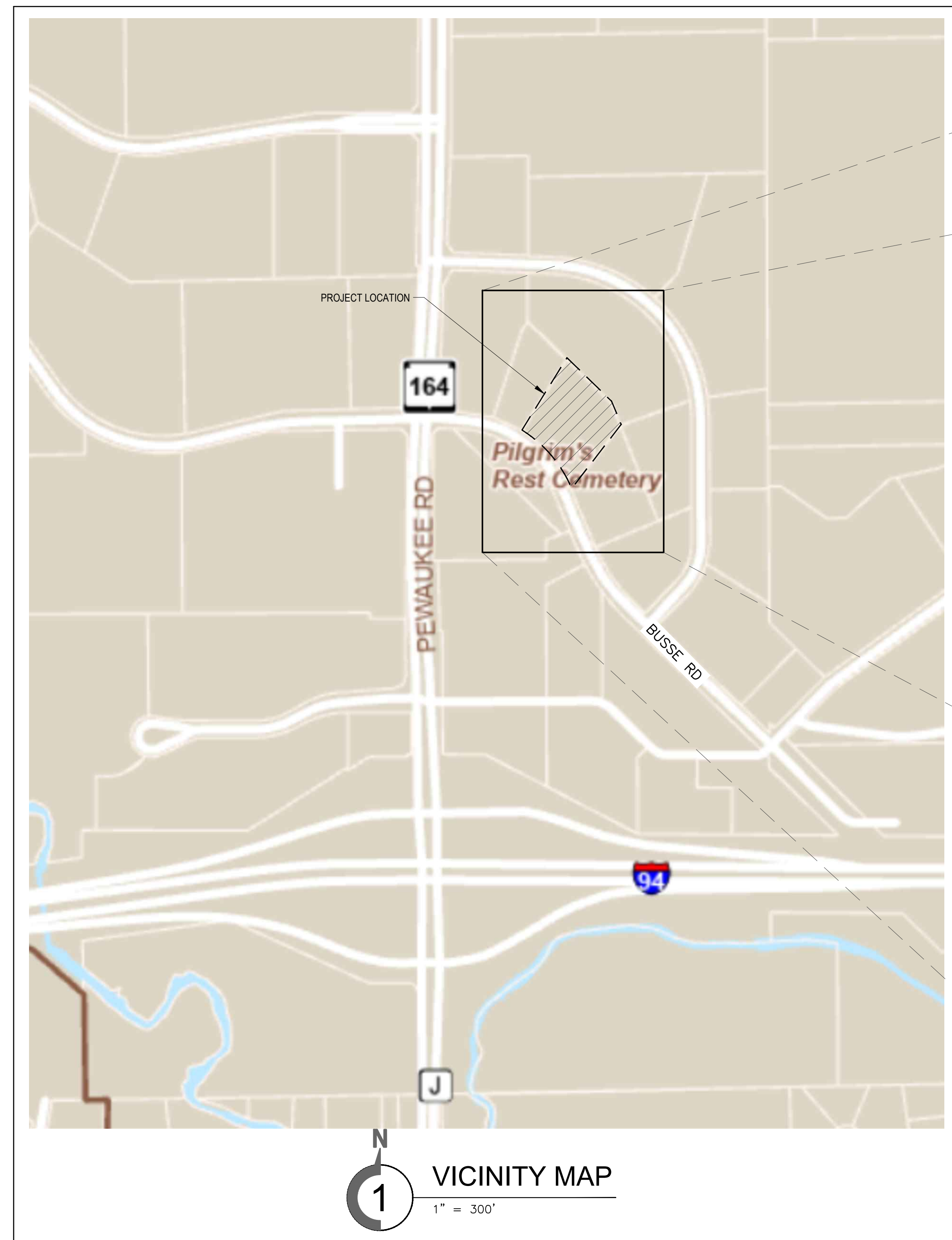
COLLINS ENGINEERS
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ARCHITECT:
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 BRIAN@MAHCA.COM

CIVIL ENGINEER:
 COLLINS ENGINEERS, INC.
 KERRY HARDIN, P.E.
 2033 WEST HOWARD AVE
 MILWAUKEE, WI 53221
 414-930-4407
 KHARDIN@COLLINSENGR.COM

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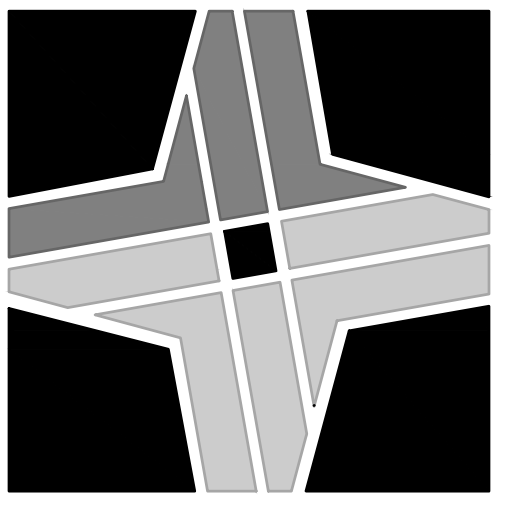
COLLINS ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY, OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF COLLINS ENGINEERS, INC.

JOB TITLE
 MEA FORWARD, LLC
 "LAKE COUNTRY EYE SURGERY CENTER"
 SITE & BUILDING PLAN REVIEW
 PEWAUKEE, WISCONSIN

job no. 25-D04
 date 11/11/25
 revision
 drawn by MRC

SHEET TITLE
 TITLE SHEET

SHEET NUMBER
 T-001



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EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER

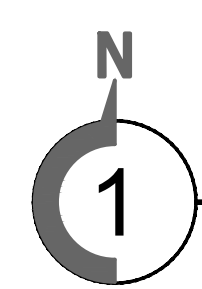
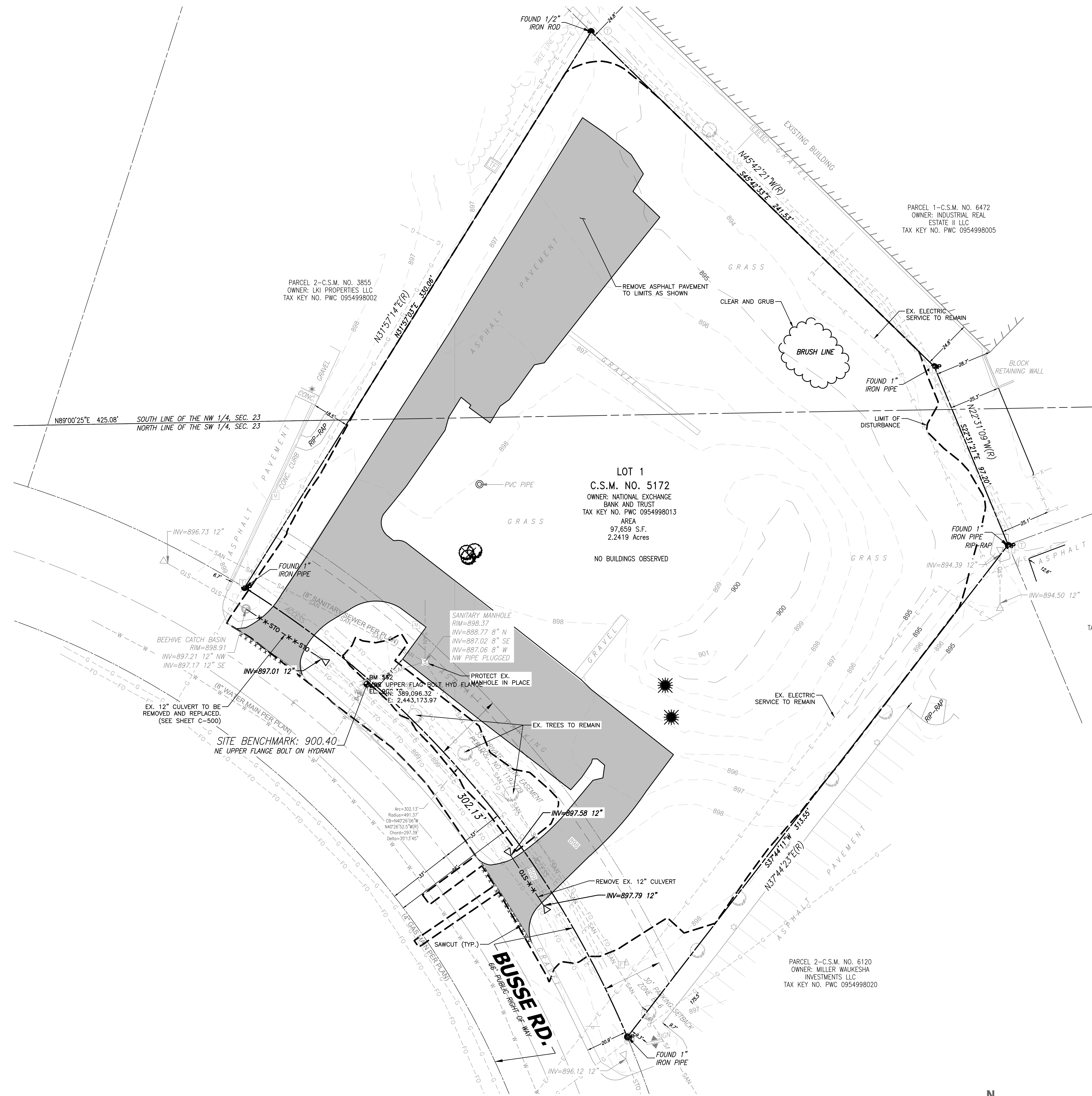
C-100

- LEGEND:**
- 100--- EXISTING 5' CONTOURS
 - 99--- EXISTING 1' CONTOURS
 - STO---STO--- EXISTING STORM SEWER
 - SAN---SAN--- EXISTING SANITARY SEWER
 - W---W--- EXISTING WATER MAIN
 - G---G--- EXISTING GAS
 - E---E--- EXISTING UNDERGROUND ELECTRIC
 - T---T--- EXISTING UNDERGROUND TELEPHONE/COMMUNICATIONS
 - FO---FO--- EXISTING UNDERGROUND FIBER OPTIC
 - XXXXXX SAWCUT REMOVAL ASPHALT
 - --- LIMIT OF DISTURBANCE
 - X TREE REMOVAL
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING CATCH BASIN
 - △ EXISTING END SECTION

- NOTES:**
- TOPOGRAPHIC SURVEY PROVIDED BY CHAPUT LAND SURVEYS, DATED MARCH 14, 2025.
 - BEARINGS AS SHOWN HEREON ARE REFERENCED TO WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD '83.
 - VERTICAL DATUM IS BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1988.
 - CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY AGENCIES PRIOR TO CONSTRUCTION OF ALL TEMPORARY AND PERMANENT UTILITY INSTALLATIONS.
 - INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE COMMENCEMENT OF WORK. SEE EROSION CONTROL PLANS FOR DETAILS.
 - ALL ITEMS TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE IN A MANNER ACCEPTABLE TO ALL APPLICABLE REGULATIONS.
 - COLLINS ENGINEERS, INC. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS EMPLOYED BY THE CONTRACTOR TO IMPLEMENT THIS DEMOLITION PLAN. THIS PLAN ONLY INDICATES THE KNOWN OBJECTS ON THE SUBJECT TRACT THAT ARE TO BE DEMOLISHED AND REMOVED FROM THE SITE.
 - CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - EXISTING WATER, SANITARY SEWER, CABLE TELEVISION, FIBER OPTIC, ELECTRIC AND NATURAL GAS PRESENT IN PROJECT VICINITY. CONTRACTOR TO COORDINATE ANY NECESSARY ADJUSTMENTS WITH THE FACILITY OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES, AND ALL OTHER SAFETY MEASURES AT ALL TIMES.

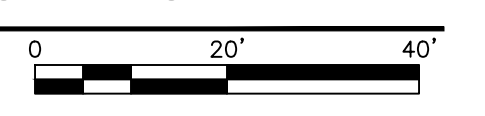
SITE BENCHMARKS			
ID	DESCRIPTION	LOCATION	ELEVATION
BM-1	NE UPPER FLANGE BOLT ON HYDRANT	N: 389,096.32 E: 2,443,173.97	900.40

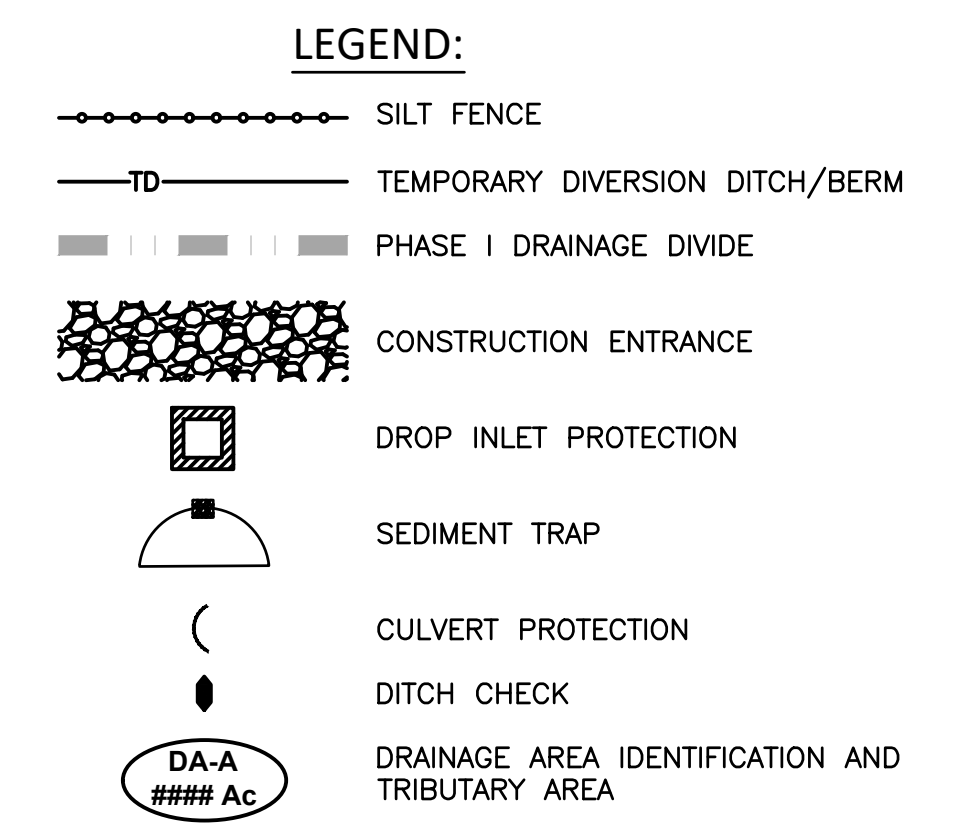
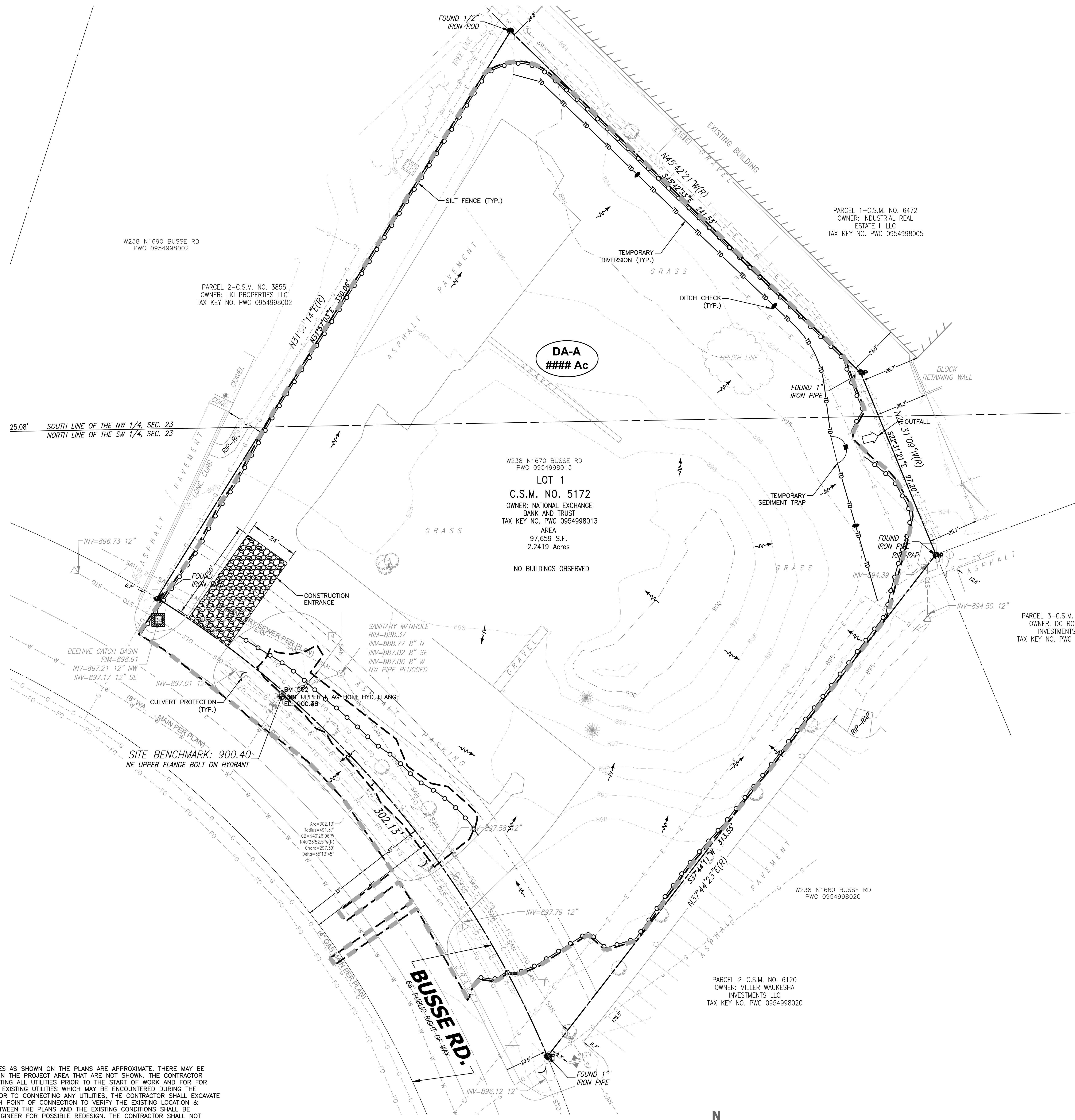
UTILITY DISCLAIMER:
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EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1" = 20'





- EROSION AND SEDIMENT CONTROL NOTES:**
- ALL EROSION CONTROL MEASURES SHALL CONFORM TO NR151 OF THE WISCONSIN ADMINISTRATIVE CODE AND WDNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE WORK.
 - A WPDES/NOI PERMIT IS REQUIRED FROM THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PRIOR TO STARTING WORK.
 - EROSION AND SEDIMENT CONTROL METHODS, MAINTENANCE AND OPERATIONS SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT FOR THIS PROJECT. ANY CHANGES MADE TO THE PLANS DUE TO CONSTRUCTION STAGING AND OPERATIONS SHALL BE APPROVED BY THE CITY SITE INSPECTOR AND/OR OWNER'S REPRESENTATIVE.

EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION

- CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE PRIOR TO COMMENCING CONSTRUCTION ACTIVITY ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBING ACTIVITIES. CLEARING & GRUBBING AND CONSTRUCTION ACTIVITIES FOR EACH SEQUENCE MAY COMMENCE ONLY AFTER THE EROSION AND SEDIMENT CONTROL MEASURES FOR THAT SEQUENCE ARE INSTALLED AND STABILIZED IN ACCORDANCE WITH THE PLANS AND DETAILS.
- EACH ACTIVITY IN SEQUENCE MAY REQUIRE EROSION AND SEDIMENT CONTROL MEASURES TO BE MODIFIED OR MOVED IN ORDER TO COMPLETE CONSTRUCTION. THE OWNER'S REPRESENTATIVE AND/OR SITE INSPECTOR SHALL APPROVE ANY MODIFICATIONS TO EROSION AND SEDIMENT CONTROL MEASURES DUE TO CONSTRUCTION SEQUENCING.

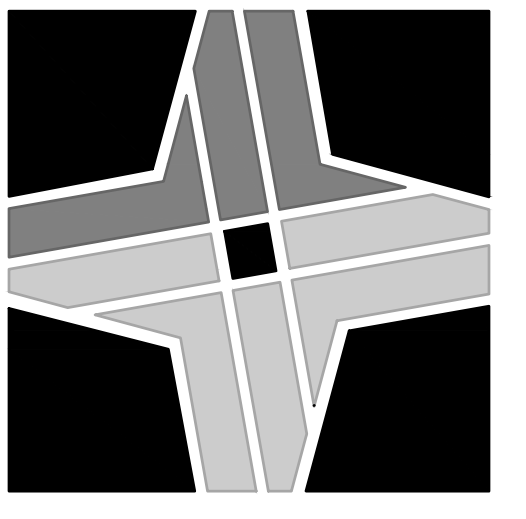
PHASE 1

- CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE PRIOR TO COMMENCING CONSTRUCTION ACTIVITY ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH PHASE 1. CLEARING AND GRUBBING AND CONSTRUCTION ACTIVITIES FOR EACH SEQUENCE MAY COMMENCE ONLY AFTER PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES FOR THE SEQUENCE ARE INSTALLED AND STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL PLAN.
- EACH SEQUENCE MAY REQUIRE EROSION AND SEDIMENT CONTROL MEASURES TO BE MODIFIED OR MOVED IN ORDER TO COMPLETE CONSTRUCTION. THE OWNER'S REPRESENTATIVE AND/OR SITE INSPECTOR SHALL APPROVE ANY MODIFICATIONS TO EROSION AND SEDIMENT CONTROL MEASURES DUE TO CONSTRUCTION SEQUENCING.
- MINOR CLEARING AND GRADING MAY BE REQUIRED TO INSTALL PHASE 1 ITEM AS FOLLOWS:
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - INSTALL SILT FENCE AS SHOWN.
 - INSTALL SEDIMENT TRAP.
 - INSTALL INLET PROTECTION ON EXISTING INLETS AS SHOWN.
 - CLEAR AND GRUB SITE TO LIMITS SHOWN. PRESERVE TREES NOTED TO REMAIN.

- ESTABLISH TOPSOIL STOCKPILING AS NEEDED AND STRIP TOPSOIL.
- INSTALL SILT FENCE AROUND TOPSOIL STOCKPILE(S) AND COVER. DIVERT RUNOFF AROUND STOCKPILE LOCATION(S) AS NECESSARY.
- SITE CONSTRUCTION TO INCLUDE:
 - SITE GRADING.
 - STORM SEWER AND UTILITY SERVICE INSTALLATION.
 - PAVEMENT SUBGRADE AND BASE.
 - ESTABLISH CONSTRUCTION STAGING, MATERIAL STORAGE, AND DISPOSAL AREAS.
 - CONSTRUCTION OF WET DETENTION POND
 - TEMPORARY SEEDING AND OTHER STABILIZATION MEASURES OF SEDIMENT TRAPS (IF USED) SHALL BE IMPLEMENTED IMMEDIATELY AFTER TRAP INSTALLATION.

PHASE 2

- CONSTRUCTION ACTIVITIES FOR PHASE 2 MAY ONLY COMMENCE AFTER PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED.
- FINE GRADE SITE TO FINAL GRADES.
- INSTALL INLET PROTECTION AT NEWLY CONSTRUCTED STORM SEWER INLETS AS SHOWN ON THE PLANS.
- ANY DISTURBED AREAS THAT WILL REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH FINAL STABILIZATION MEASURES OR TEMPORARY SEEDING.
- SITE CONSTRUCTION TO INCLUDE:
 - BUILDING CONSTRUCTION.
 - PAVING OPERATIONS
 - FINAL STABILIZATION AND LANDSCAPING SHALL INCLUDE THE FOLLOWING:
 - FINAL PAVING OPERATIONS AND STABILIZATION MEASURES.
 - REMOVE ANY SEDIMENT FROM STORMWATER DETENTION POND AREAS AND FINAL SEED.
 - TOPSOIL PLACEMENT & FINE GRADING.
 - SEED/SOD REPLACEMENT; PERMANENT EROSION CONTROL (IF APPLICABLE).
 - LANDSCAPING IN ACCORDANCE WITH LANDSCAPE PLANS.
 - REMOVE ALL TEMPORARY STABILIZATION MEASURES AND STABILIZE AREA DISTURBED BY THEIR REMOVAL.



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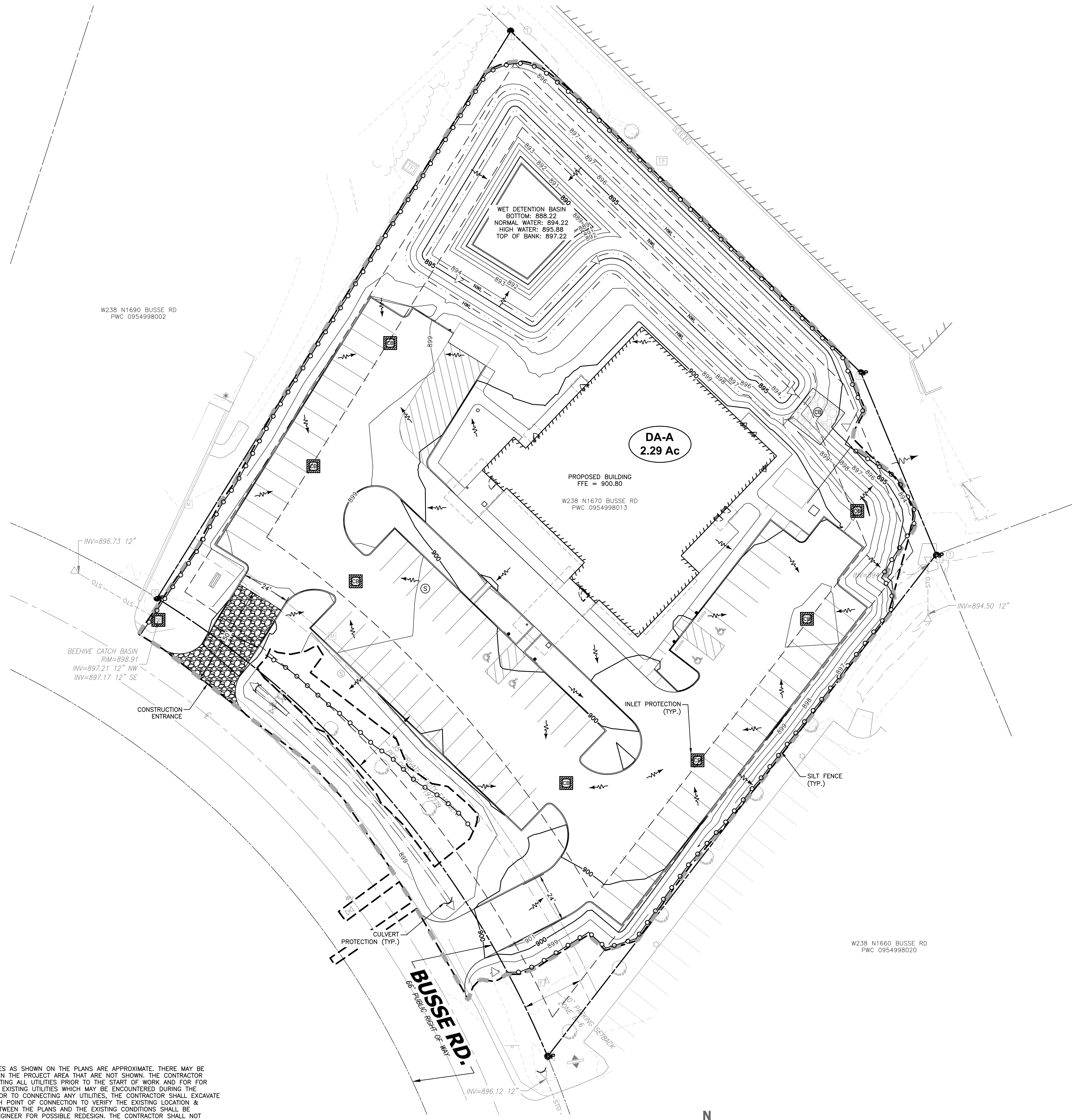
SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN - PHASE I

SHEET NUMBER

C-200

UTILITY DISCLAIMER:
 THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO THE START OF WORK AND FOR SUPPORTING AND PROTECTING ALL EXISTING UTILITIES WHICH MAY BE ENCOUNTERED DURING THE CONSTRUCTION OF THE WORK. PRIOR TO CONNECTING ANY UTILITIES, THE CONTRACTOR SHALL EXCAVATE AND LOCATE EACH UTILITY AT EACH POINT OF CONNECTION TO VERIFY THE EXISTING LOCATION & ELEVATION. ALL DISCREPANCIES BETWEEN THE PLANS AND THE EXISTING CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR POSSIBLE REDESIGN. THE CONTRACTOR SHALL NOT COMMENCE WITH WORK ON ANY UTILITIES UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED TO THE SATISFACTION OF THE ENGINEER. THE ENGINEER AND THE OWNER EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION GIVEN ON THE DRAWINGS WITH REGARD TO EXISTING UTILITIES, AND THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY EXTRA COMPENSATION ON ACCOUNT OF INACCURACY OR INCOMPLETENESS OF SUCH INFORMATION.



- LEGEND:**
- SILT FENCE
 - TD- TEMPORARY DIVERSION DITCH/BERM
 - PHASE I DRAINAGE DIVIDE
 - CONSTRUCTION ENTRANCE
 - DROP INLET PROTECTION
 - SEDIMENT TRAP
 - CULVERT PROTECTION
 - DITCH CHECK
 - DA-A ### AC DRAINAGE AREA IDENTIFICATION AND TRIBUTARY AREA

EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL CONFORM TO NR151 OF THE WISCONSIN ADMINISTRATIVE CODE AND WDRN CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL STANDARDS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE WORK.
3. A WPDES/NOI PERMIT IS REQUIRED FROM THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PRIOR TO STARTING WORK.
4. EROSION AND SEDIMENT CONTROL METHODS, MAINTENANCE AND OPERATIONS SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT FOR THIS PROJECT. ANY CHANGES MADE TO THE PLANS DUE TO CONSTRUCTION STAGING AND OPERATIONS SHALL BE APPROVED BY THE CITY SITE INSPECTOR AND/OR OWNER'S REPRESENTATIVE.

EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION

1. CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE PRIOR TO COMMENCING CONSTRUCTION ACTIVITY ON THE SITE.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBING ACTIVITIES. CLEARING & GRUBBING AND CONSTRUCTION ACTIVITIES FOR EACH SEQUENCE MAY COMMENCE ONLY AFTER THE EROSION AND SEDIMENT CONTROL MEASURES FOR THAT SEQUENCE ARE INSTALLED AND STABILIZED IN ACCORDANCE WITH THE PLANS AND DETAILS.
3. EACH ACTIVITY IN SEQUENCE MAY REQUIRE EROSION AND SEDIMENT CONTROL MEASURES TO BE MODIFIED OR MOVED IN ORDER TO COMPLETE CONSTRUCTION. THE OWNER'S REPRESENTATIVE AND/OR SITE INSPECTOR SHALL APPROVE ANY MODIFICATIONS TO EROSION AND SEDIMENT CONTROL MEASURES DUE TO CONSTRUCTION SEQUENCING.

PHASE 1

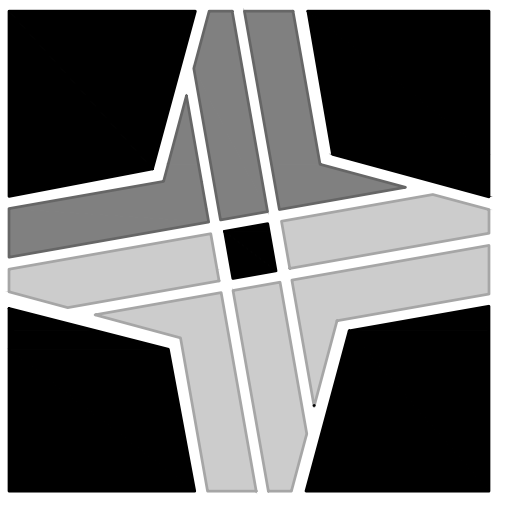
1. CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE PRIOR TO COMMENCING CONSTRUCTION ACTIVITY ON THE SITE.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH PHASE 1. CLEARING AND GRUBBING AND CONSTRUCTION ACTIVITIES FOR EACH SEQUENCE MAY COMMENCE ONLY AFTER PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES FOR THE SEQUENCE ARE INSTALLED AND STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL PLAN.
3. EACH SEQUENCE MAY REQUIRE EROSION AND SEDIMENT CONTROL MEASURES TO BE MODIFIED OR MOVED IN ORDER TO COMPLETE CONSTRUCTION. THE OWNER'S REPRESENTATIVE AND/OR SITE INSPECTOR SHALL APPROVE ANY MODIFICATIONS TO EROSION AND SEDIMENT CONTROL MEASURES DUE TO CONSTRUCTION SEQUENCING.
4. MINOR CLEARING AND GRADING MAY BE REQUIRED TO INSTALL PHASE 1 ITEM AS FOLLOWS:
 - 4.1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - 4.2. INSTALL SILT FENCE AS SHOWN.
 - 4.3. INSTALL SEDIMENT TRAP.
 - 4.4. INSTALL INLET PROTECTION ON EXISTING INLETS AS SHOWN.
 - 4.5. CLEAR AND GRUB SITE TO LIMITS SHOWN. PRESERVE TREES NOTED TO REMAIN.

5. ESTABLISH TOPSOIL STOCKPILING AS NEEDED AND STRIP TOPSOIL.
6. INSTALL SILT FENCE AROUND TOPSOIL STOCKPILE(S) AND COVER. DIVERT RUNOFF AROUND STOCKPILE LOCATION(S) AS NECESSARY.
7. SITE CONSTRUCTION TO INCLUDE:
 - 7.1. SITE GRADING.
 - 7.2. STORM SEWER AND UTILITY SERVICE INSTALLATION.
 - 7.3. PAVEMENT SUBGRADE AND BASE.
 - 7.4. ESTABLISH CONSTRUCTION STAGING, MATERIAL STORAGE, AND DISPOSAL AREAS.
 - 7.5. CONSTRUCTION OF WET DETENTION POND
 - 7.6. TEMPORARY SEEDING AND OTHER STABILIZATION MEASURES OF SEDIMENT TRAPS (IF USED) SHALL BE IMPLEMENTED IMMEDIATELY AFTER TRAP INSTALLATION.

PHASE 2

1. CONSTRUCTION ACTIVITIES FOR PHASE 2 MAY ONLY COMMENCE AFTER PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES ARE INSTALLED.
2. FINE GRADE SITE TO FINAL GRADES.
3. INSTALL INLET PROTECTION AT NEWLY CONSTRUCTED STORM SEWER INLETS AS SHOWN ON THE PLANS.
4. ANY DISTURBED AREAS THAT WILL REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH FINAL STABILIZATION MEASURES OR TEMPORARY SEEDING.
5. SITE CONSTRUCTION TO INCLUDE:
 - 5.1. BUILDING CONSTRUCTION.
 - 5.2. PAVING OPERATIONS
6. FINAL STABILIZATION AND LANDSCAPING SHALL INCLUDE THE FOLLOWING:
 - 6.1. FINAL PAVING OPERATIONS AND STABILIZATION MEASURES.
 - 6.2. REMOVE ANY SEDIMENT FROM STORMWATER DETENTION POND AREAS AND FINAL SEED.
 - 6.3. TOPSOIL PLACEMENT & FINE GRADING.
 - 6.4. SEED/SOD REPLACEMENT; PERMANENT EROSION CONTROL (IF APPLICABLE).
 - 6.5. LANDSCAPING IN ACCORDANCE WITH LANDSCAPE PLANS.
 - 6.6. REMOVE ALL TEMPORARY STABILIZATION MEASURES AND STABILIZE AREA DISTURBED BY THEIR REMOVAL.

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JOB TITLE

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SITE & BUILDING PLAN REVIEW

PEWAUKEE, WISCONSIN

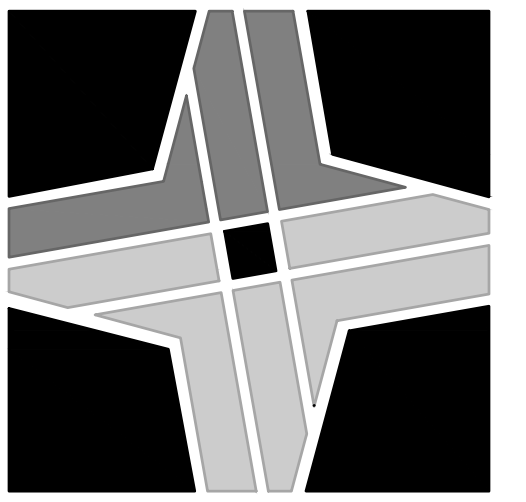
job no. 25-D04
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 revision
 drawn by MRC

SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN - PHASE II

SHEET NUMBER

C-201



MARASCO & ASSOCIATES, INC.
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JOB TITLE

MEA FORWARD, LLC
"LAKE COUNTRY
EYE SURGERY
CENTER"

SITE & BUILDING
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PEWAUKEE,
WISCONSIN

job no. 25-D04
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 draun by MRC

SHEET TITLE

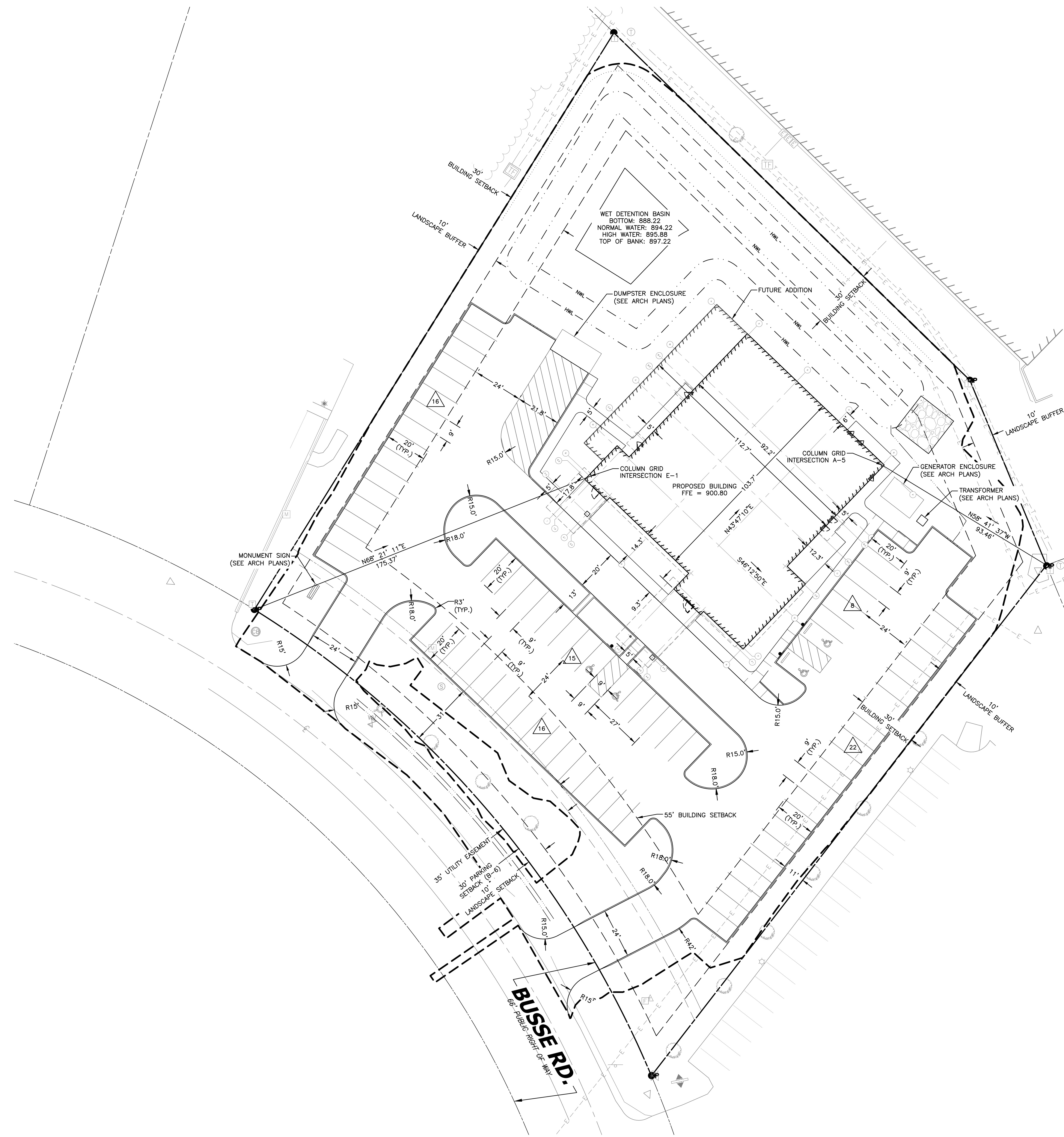
SITE PLAN

SHEET NUMBER

C-300

SITE DATA TABLE

SITE AREA:	97,659 SF	2.242 AC
EX. IMPERVIOUS	19,832 SF	0.455 AC
PR. BUILDING	10,597 SF	
FUT. ADD'N	1,829 SF	
PR. PAVEMENT	39,862 SF	
TOTAL PR. IMPERVIOUS	52,288 SF	1.200 AC 53.5%
GREENSPACE	38,560 SF	0.885 AC 39.5%
PERMANENT POOL	6,811 SF	0.156 AC 7.0%
ZONING:	B-6	
SETBACKS:	REQUIRED	PROVIDED
BUILDING		
FRONT	55'	139'
SIDE	30'	87'
REAR	30'	54'
PARKING		
FRONT	30'	31'
SIDE	10'	10.5'
BUILDING HEIGHT:	26'-0"	



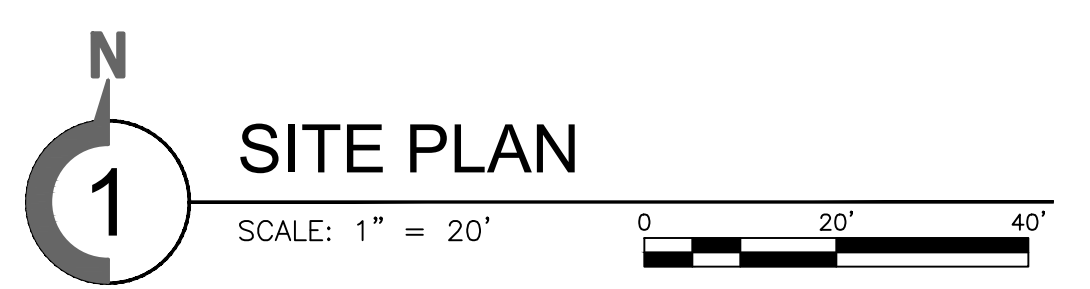
LEGEND:

	PROPOSED BUILDING
	NUMBER OF PARKING SPACES
	PROPOSED PAVEMENT MARKING
	COLUMN GRID PER ARCH. PLANS

- NOTES:**
- ALL DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - PROPOSED BUILDING OUTLINE PROVIDED BY MARASCO & ASSOCIATES, INC., IN FILE NAMED 25-D04 Site.dwg, RECEIVED 07/08/2025. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. ALL BUILDING INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY.
 - SEE SHEET C-100 FOR BASIS OF BEARINGS AND SITE BENCHMARK DATA.
 - SEE ARCHITECT'S PLANS FOR DIMENSIONS AND ARRANGEMENT OF THE GENERATOR, TRANSFORMER PAD, AND DUMPSTER ENCLOSURE..

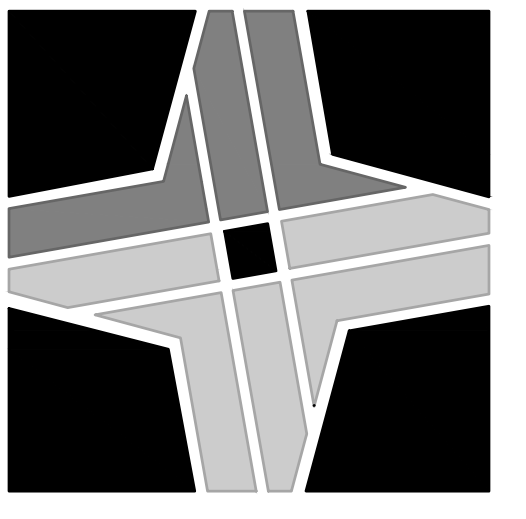
PARKING TABULATION

PARKING SPACES PROVIDED	74
9'x20' TYP.	
TOTAL ADA ACCESSIBLE SPACES	4
TOTAL SPACES PROVIDED	78
TOTAL SPACES REQUIRED:	
7 SPACES PER DOCTOR (3 DOCTORS) =	21 SPACES



1 SITE PLAN

BUSSE RD.
 66'-PUBLIC RIGHT OF WAY



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JOB TITLE

MEA FORWARD, LLC
 "LAKE COUNTRY EYE SURGERY CENTER"

SITE & BUILDING PLAN REVIEW
 PEWAUKEE, WISCONSIN

job no. 25-D04
 date 11/11/25
 revision
 drawn by MRC

SHEET TITLE

PAVING & MARKING PLAN

SHEET NUMBER

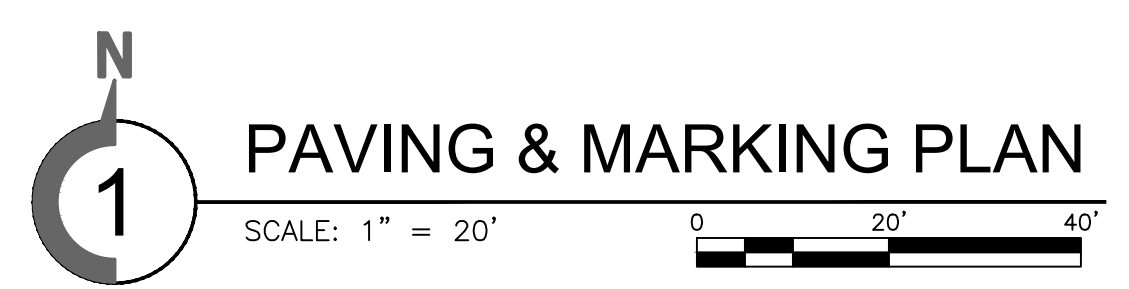
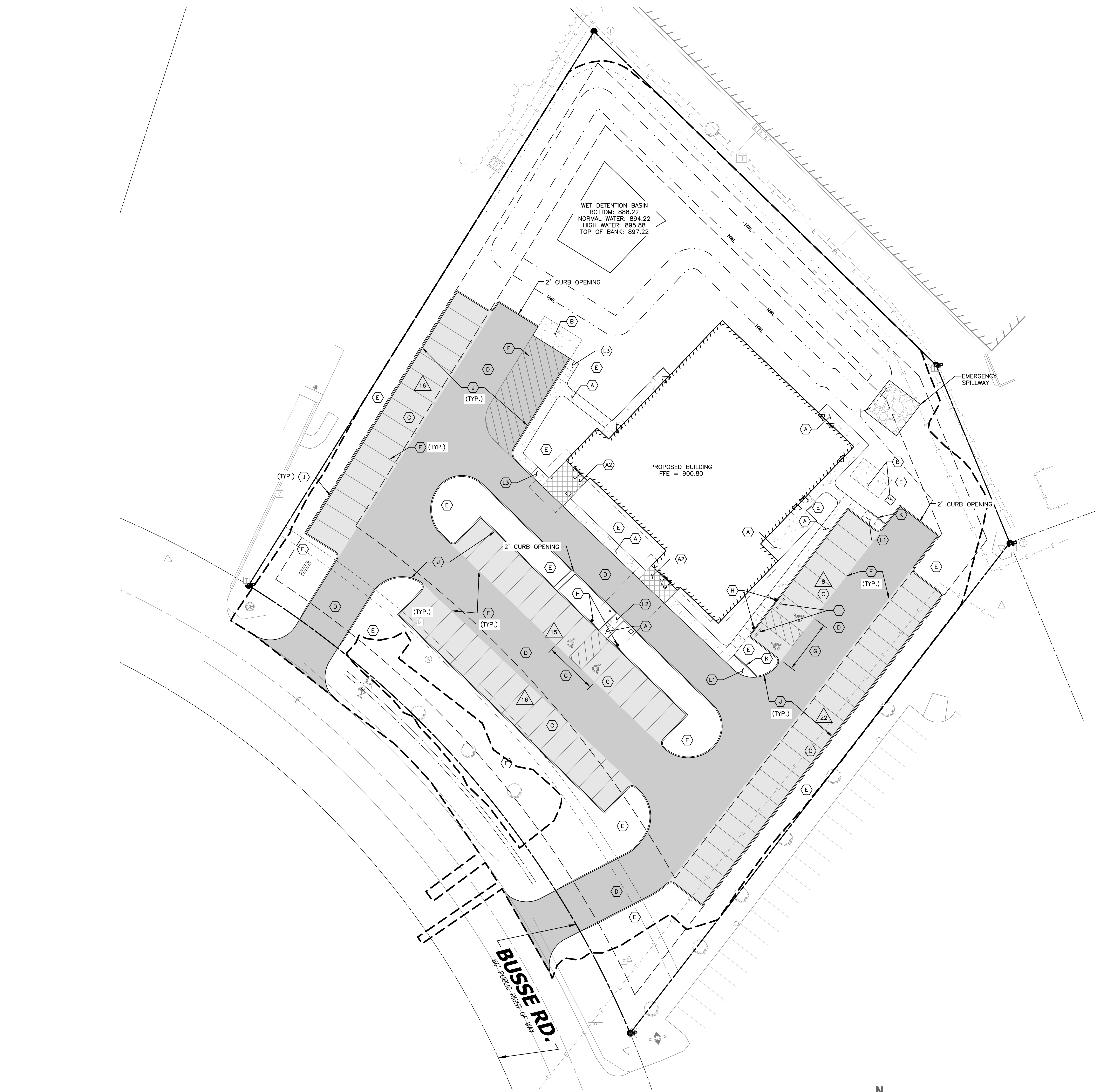
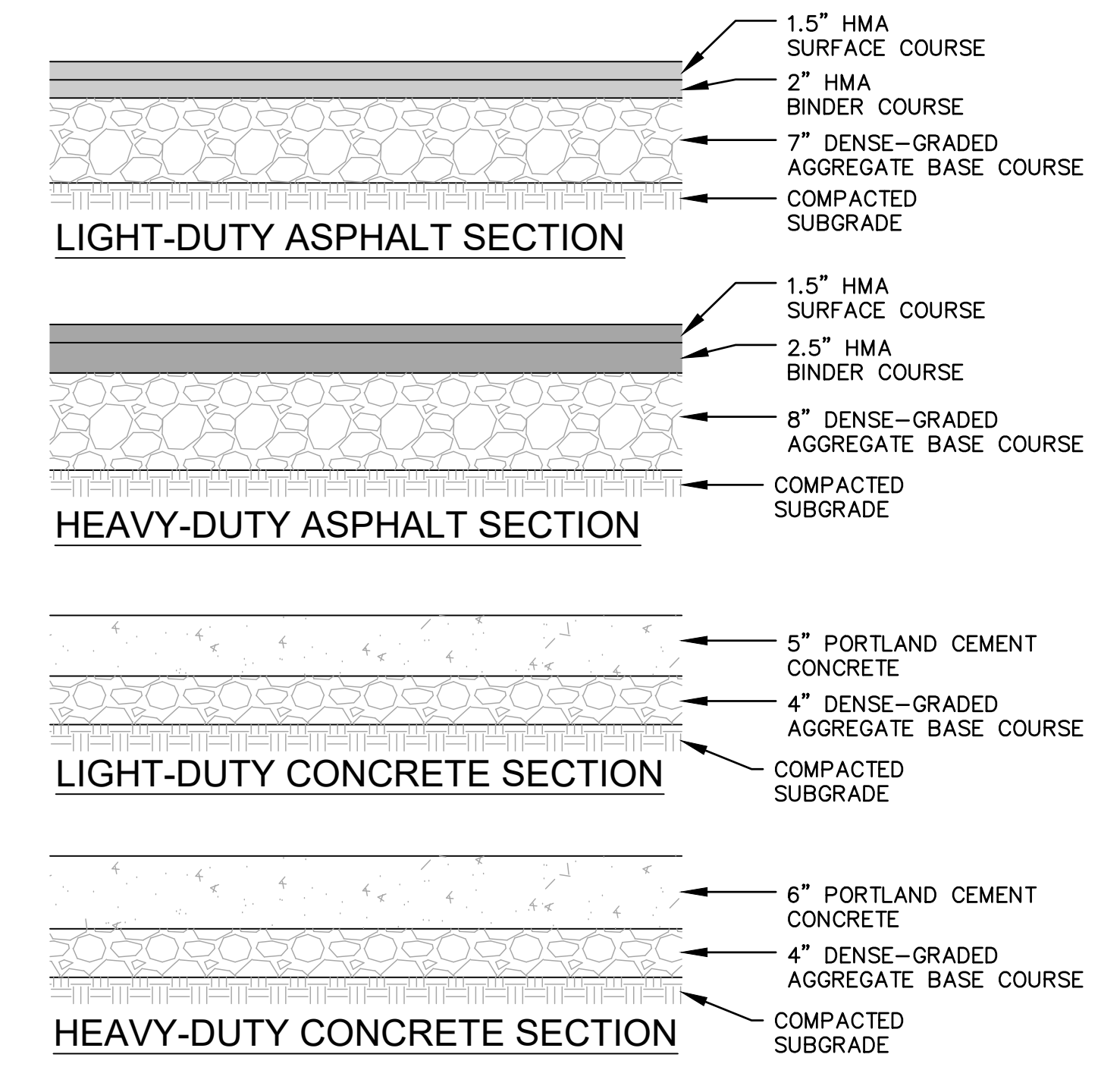
C-301

LEGEND:

- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK (LIGHT-DUTY CONCRETE)
- PROPOSED SCOURED & COLORED CONCRETE SIDEWALK (SEE ARCH PLANS)
- PROPOSED CONCRETE EQUIPMENT PADS (HEAVY-DUTY CONCRETE)
- PROPOSED ASPHALT PAVEMENT (LIGHT-DUTY ASPHALT)
- PROPOSED ASPHALT PAVEMENT (HEAVY-DUTY ASPHALT)
- LANDSCAPE AREA (SEE LANDSCAPE PLAN)
- PROPOSED 4" YELLOW PAVEMENT MARKINGS
- ADA PAVEMENT MARKINGS (SEE DETAILS)
- PROPOSED ADA PARKING SIGN (SEE DETAILS)
- WHEEL STOP
- CURB - TYPE D
- PEDESTRIAN CURB
- ADA SIDEWALK RAMPS - TYPE 4A
- TYPE 5
- TYPE 7B

NOTES:

1. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. PROPOSED BUILDING OUTLINE PROVIDED BY MARASCO & ASSOCIATES, INC., IN FILE NAMED 25-D04 Site.dwg, RECEIVED 07/08/2025. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS. ALL BUILDING INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY.
3. PROPERTY BOUNDARY AND EXISTING TOPOGRAPHIC INFORMATION FROM PLAT OF SURVEY WITH TOPOGRAPHY PREPARED BY CHAPUT LAND SURVEYS, DATED 03/14/2025.
4. SEE LANDSCAPE PLANS FOR LANDSCAPE DETAILS.
5. PAVEMENT DESIGN IN ACCORDANCE WITH GEOTECHNICAL EXPLORATION AND ANALYSIS DATED 05/15/2025 BY GILES ENGINEERING ASSOCIATES, INC.



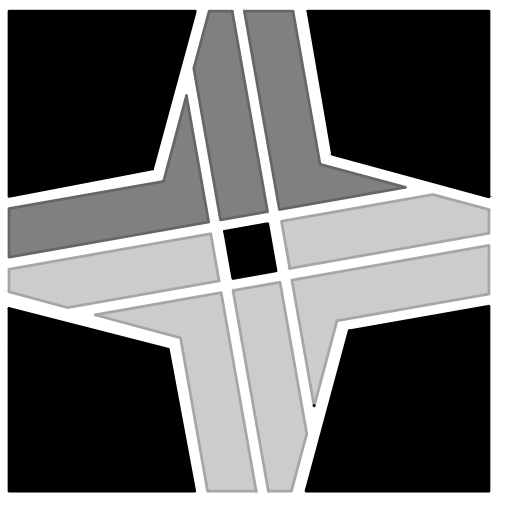


LEGEND:

- RIDGE LINE
- ⇨ EMERGENCY OVERFLOW

NOTES:

1. CONTRACTOR SHALL VERIFY EXISTING GRADES AT ALL MATCH POINTS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOR POSSIBLE REVISIONS.
2. SPOT GRADES AT CURB ARE PROVIDED TO THE FACE OF CURB AT PAVEMENT, UNLESS NOTED OTHERWISE.
3. CURB IS WISDOT TYPE D WITH 6-FOOT CURB HEAD TAPERS, UNLESS OTHERWISE NOTED.
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL GRADING QUANTITIES AND FOR ACTUAL LAND BALANCE. THE CONTRACTOR SHALL IMPORT/EXPORT MATERIAL AS NEEDED TO COMPLETE THE PROJECT.
5. FOR ADA PARKING SPACES, THE MAX SLOPE IN EITHER DIRECTION IS 2.0%. FOR WALKING SURFACES ALONG ACCESSIBLE ROUTES, THE MAX GROSS SLOPE IS 2% AND THE MAX LONGITUDINAL SLOPE IS 5%. THE MAX SLOPE ON A CURB RAMP IS 8.3%.
6. PARCEL IS IN ZONE X HAZARD ZONE AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 55133C0211H EFFECTIVE 10/19/2023 .
7. REFER TO SHEET C-100 FOR BENCHMARK AND TOPOGRAPHIC SURVEY INFORMATION.



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 "LAKE COUNTRY EYE SURGERY CENTER"

SITE & BUILDING PLAN REVIEW

PEWAUKEE, WISCONSIN

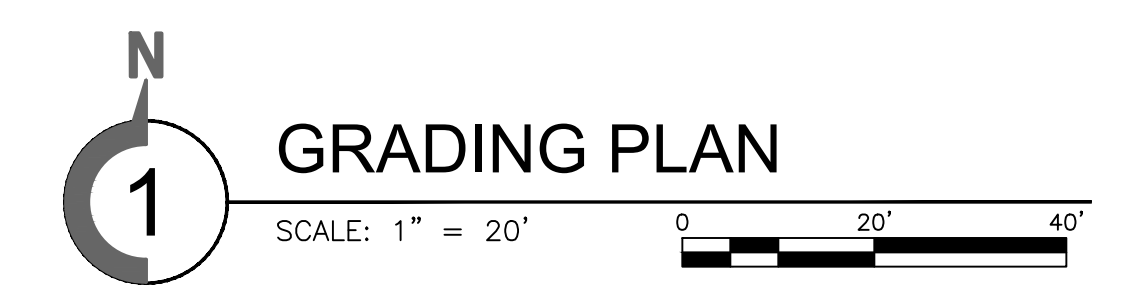
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revision	
draun by	MRC

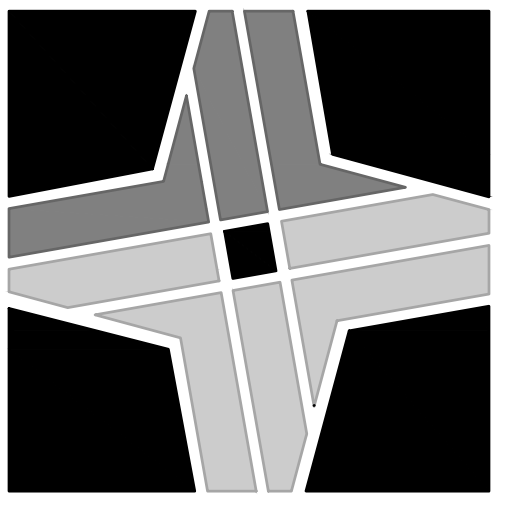
SHEET TITLE

GRADING PLAN

SHEET NUMBER

C-400





LEGEND:

- W---W--- EXISTING WATER MAIN
- G---G--- EXISTING GAS
- FO--- EXISTING FIBER OPTIC CABLE
- C---C--- EXISTING CABLE TV
- W---W--- PROPOSED WATER MAIN
- STO--- PROPOSED STORM SEWER
- SAN--- PROPOSED SANITARY SEWER
- ① PIPE CROSSING (SEE TABLE BELOW)

- NOTES:**
- ELECTRIC, COMMUNICATIONS, AND NATURAL GAS CONNECTIONS AND LAYOUT TO BE COORDINATED WITH MEP, AND FINALIZED FOR CONSTRUCTION DOCUMENTS. COORDINATION OF THESE UTILITIES IS ONGOING.
 - ALL WATER AND SANITARY SERVICES SHOWN ON THIS PLAN ARE PRIVATE UNLESS OTHERWISE NOTED.

STO STRUCTURE TABLE				
STRUCTURE	RIM	NORTHING	EASTING	DESCRIPTION
R01		389,229.16	2,443,453.85	18" AEW
R02	896.24	389,236.89	2,443,438.69	OUTLET CONTROL STRUCTURE
R03		389,247.80	2,443,424.60	18" AEW W/ TRASH RACK
R10		389,303.59	2,443,262.20	15" AEW
R11	898.14	389,271.00	2,443,227.44	4' DIA. CB - TYPE C
R11A	900.35	389,237.75	2,443,270.73	WYE & C.O.
R11B		389,225.88	2,443,288.84	BUILDING CONN. (SEE M.E.P. PLANS)
R11C		389,253.68	2,443,323.44	BUILDING CONN. (SEE M.E.P. PLANS)
R12	898.22	389,210.16	2,443,189.49	4' DIA. CB - TYPE C
R12A		389,192.94	2,443,271.92	BUILDING CONN. (SEE M.E.P. PLANS)
R13	898.34	389,153.30	2,443,210.41	4' DIA. CB - TYPE C
R14	899.06	389,053.66	2,443,314.37	3' DIA. CB - TYPE C
R20		389,312.59	2,443,328.18	15" AEW
R21	898.83	389,188.05	2,443,458.11	4' DIA. CB - TYPE C
R21A		389,269.86	2,443,372.75	6" TAP FOR ROOF DRAIN
R21B		389,266.26	2,443,369.30	BUILDING CONN. (SEE M.E.P. PLANS)
R21C		389,239.43	2,443,404.50	6" TAP FOR ROOF DRAIN
R21D		389,235.83	2,443,401.05	BUILDING CONN. (SEE M.E.P. PLANS)
R22	898.78	389,134.75	2,443,433.25	3' DIA. MH
R22A		389,183.85	2,443,399.73	BUILDING CONN. (SEE M.E.P. PLANS)
R23	898.97	389,064.89	2,443,379.19	3' DIA. CB - TYPE C
R24		389,117.96	2,443,308.47	TEE, BUILDING CONN. (SEE M.E.P. PLANS)
R25		389,139.30	2,443,329.50	BUILDING CONN. (SEE M.E.P. PLANS)
R30	898.91	389,134.25	2,443,112.97	EX. CB
R31		389,100.91	2,443,161.42	12" AEW
R32		388,994.35	2,443,256.86	12" AEW
R33		388,959.23	2,443,279.65	12" AEW

SAN STRUCTURE TABLE				
STRUCTURE	RIM	NORTHING	EASTING	DESCRIPTION
S00	898.37	389,107.66	2,443,203.18	EX. SMH
S01		389,104.25	2,443,205.33	CUT IN 8"x6" WYE
S02		389,108.01	2,443,208.58	45" RISER
S03	899.09	389,149.70	2,443,244.75	SAMPLING MANHOLE
S04		389,190.32	2,443,279.99	45" V. BEND
S05		389,195.15	2,443,284.18	BUILDING CONN. (SEE M.E.P. PLANS)

WAT STRUCTURE TABLE		
STRUCTURE	NORTHING	EASTING
W01	388,989.58	2,443,206.18
W02	389,019.75	2,443,246.99
W03	389,100.45	2,443,356.19
W04	389,188.62	2,443,424.41
W05	389,202.32	2,443,410.13

PIPE CROSSINGS			
Counter	Higher Pipe	Lower Pipe	Separation
1	12" HDPE (STO) BOT. 895.27	6" PVC (SAN) TOP 893.13	2.14
2	6" PVC (WAT) BOT. 891.99	8" PVC (EX. SAN) TOP 887.2±	4.77
3	12" HDPE (STO) BOT. 895.78	6" PVC (WAT) TOP 892.57	3.21
4	6" HDPE (STO) BOT. 896.61	6" PVC (WAT) TOP 892.61	4.00
5	6" HDPE (STO) BOT. 896.74	6" PVC (WAT) TOP 893.09	3.66

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SHEET TITLE

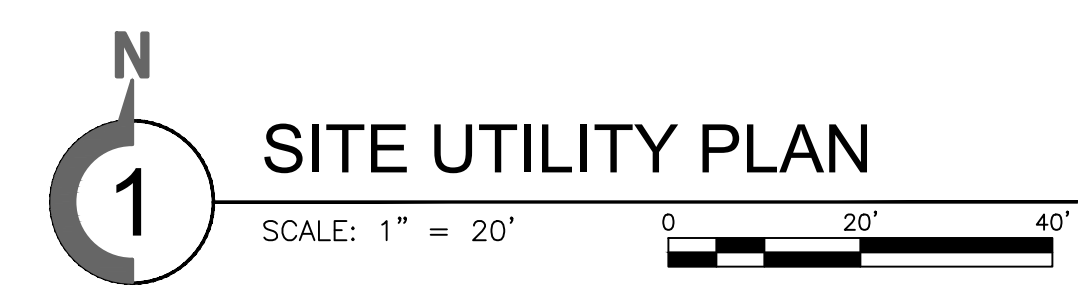
SITE UTILITY PLAN

SHEET NUMBER

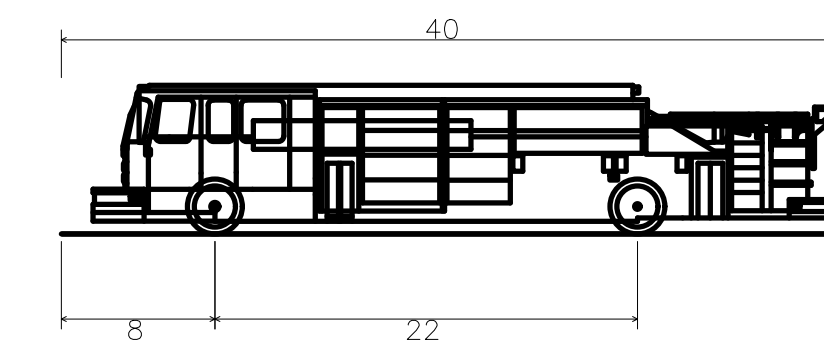
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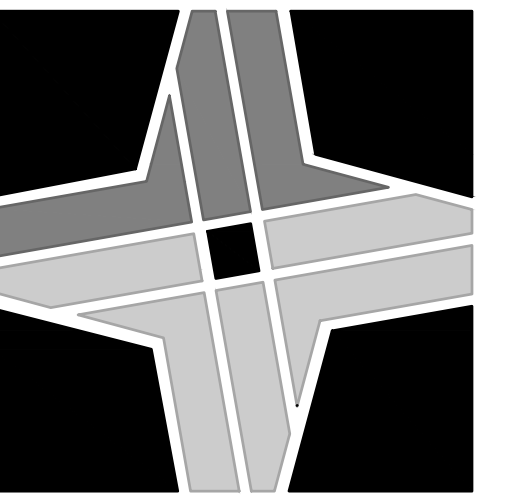
UTILITY DISCLAIMER:
 THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO THE START OF WORK AND FOR SUPPORTING AND PROTECTING ALL EXISTING UTILITIES WHICH MAY BE ENCOUNTERED DURING THE CONSTRUCTION OF THE WORK. PRIOR TO CONNECTING ANY UTILITIES, THE CONTRACTOR SHALL EXCAVATE AND LOCATE EACH UTILITY AT EACH POINT OF CONNECTION TO VERIFY THE EXISTING LOCATION & ELEVATION. ALL DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER FOR POSSIBLE REDESIGN. THE CONTRACTOR SHALL NOT COMMENCE WITH WORK ON ANY UTILITIES UNTIL THE DISCREPANCIES HAVE BEEN RESOLVED TO THE SATISFACTION OF THE ENGINEER. THE ENGINEER AND THE OWNER EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION GIVEN ON THE DRAWINGS WITH REGARD TO EXISTING UTILITIES, AND THE CONTRACTOR SHALL NOT BE ENTITLED TO ANY EXTRA COMPENSATION ON ACCOUNT OF INACCURACY OR INCOMPLETENESS OF SUCH INFORMATION.



SITE UTILITY PLAN



Pumper Fire Truck
 Overall Length 40,000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



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SITE & BUILDING PLAN REVIEW

PEWAUKEE, WISCONSIN

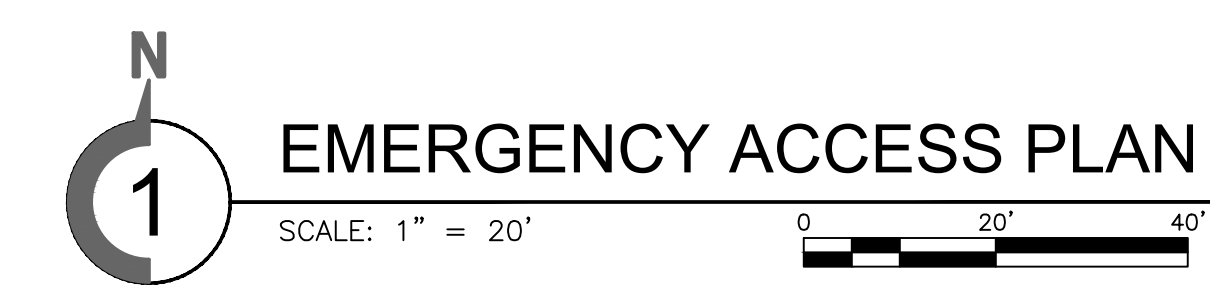
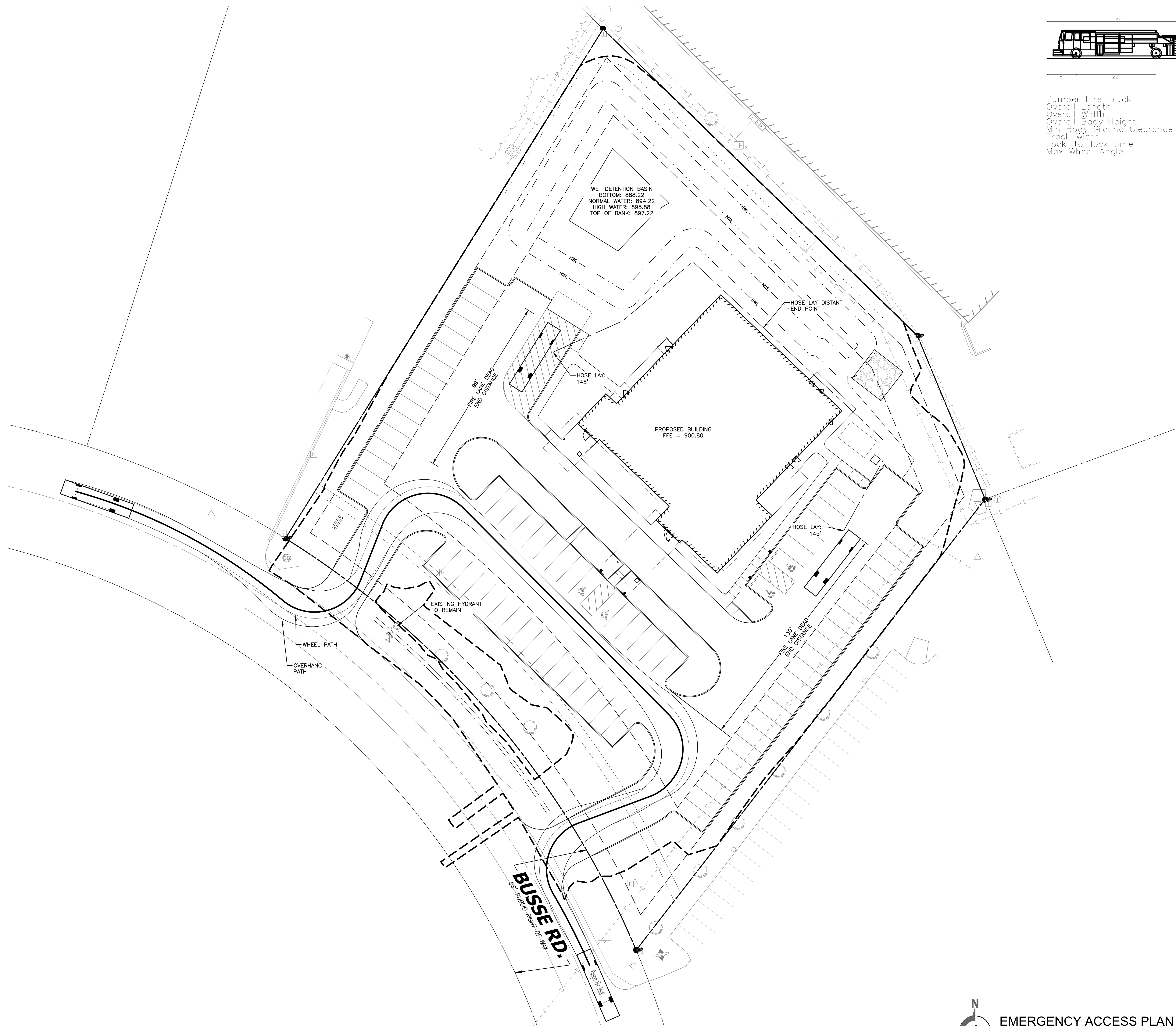
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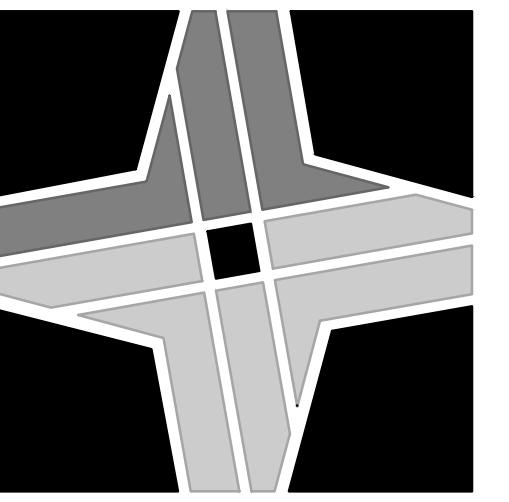
EMERGENCY ACCESS PLAN

SHEET NUMBER

C-600



EMERGENCY ACCESS PLAN



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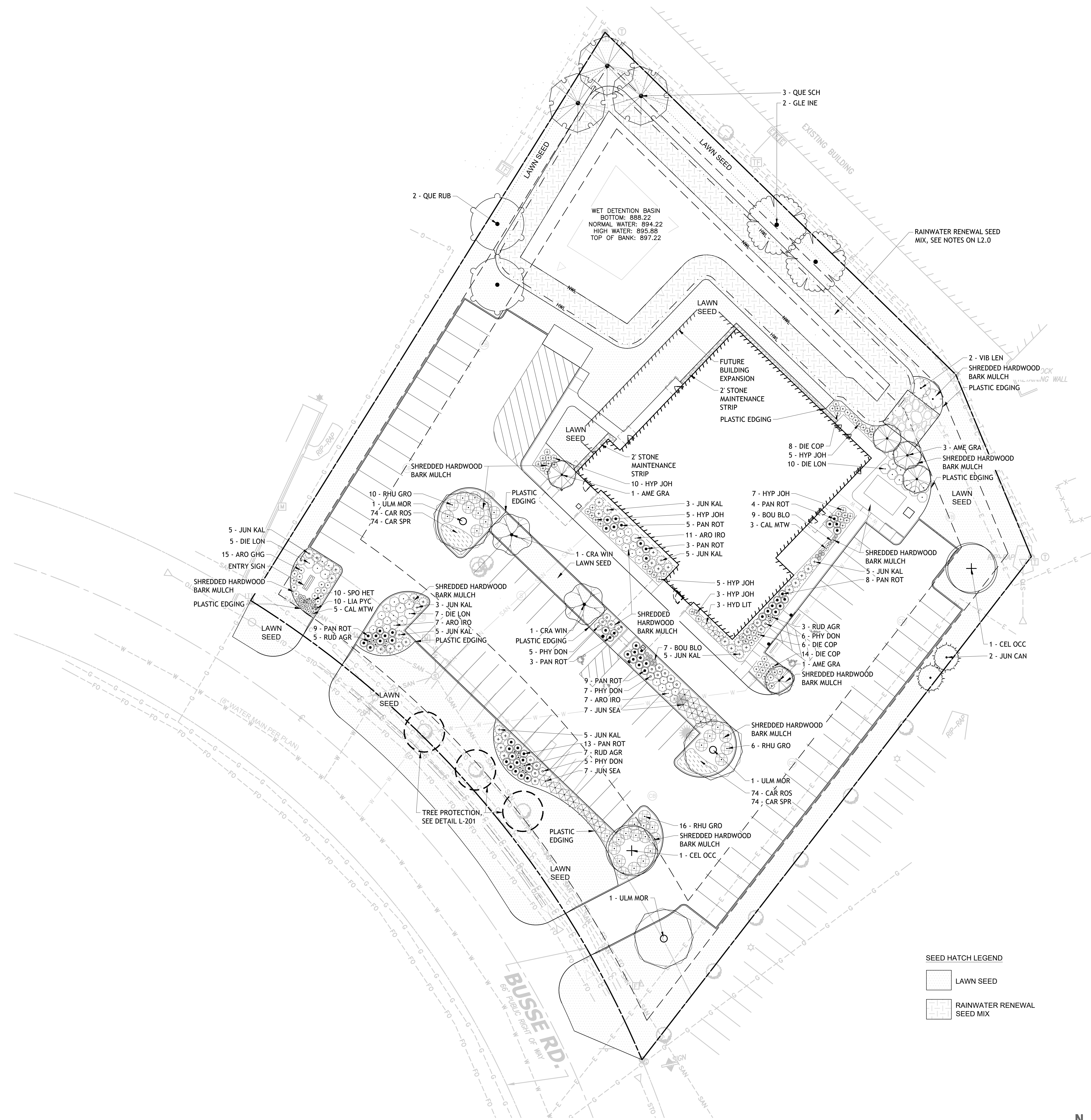
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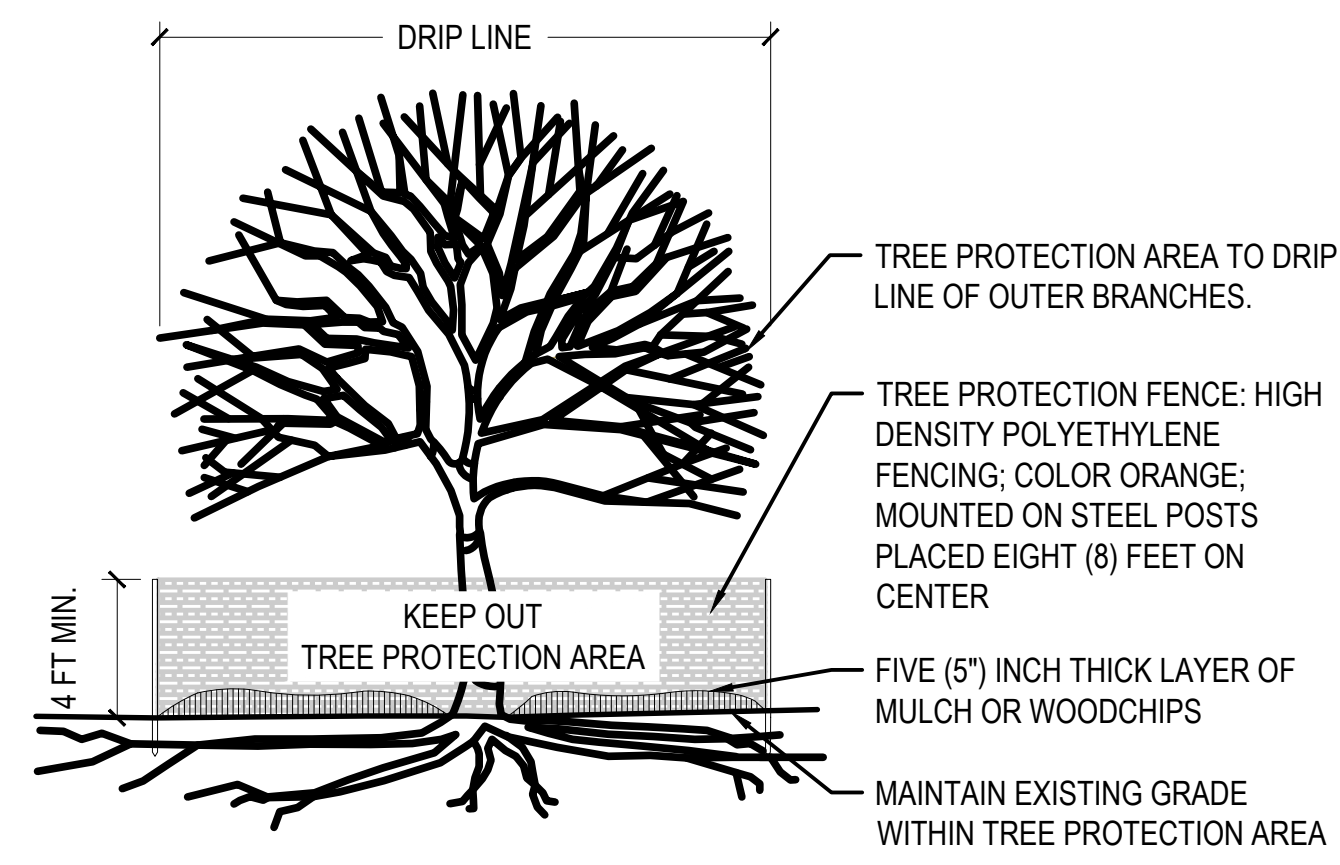
LANDSCAPE PLAN

SHEET NUMBER

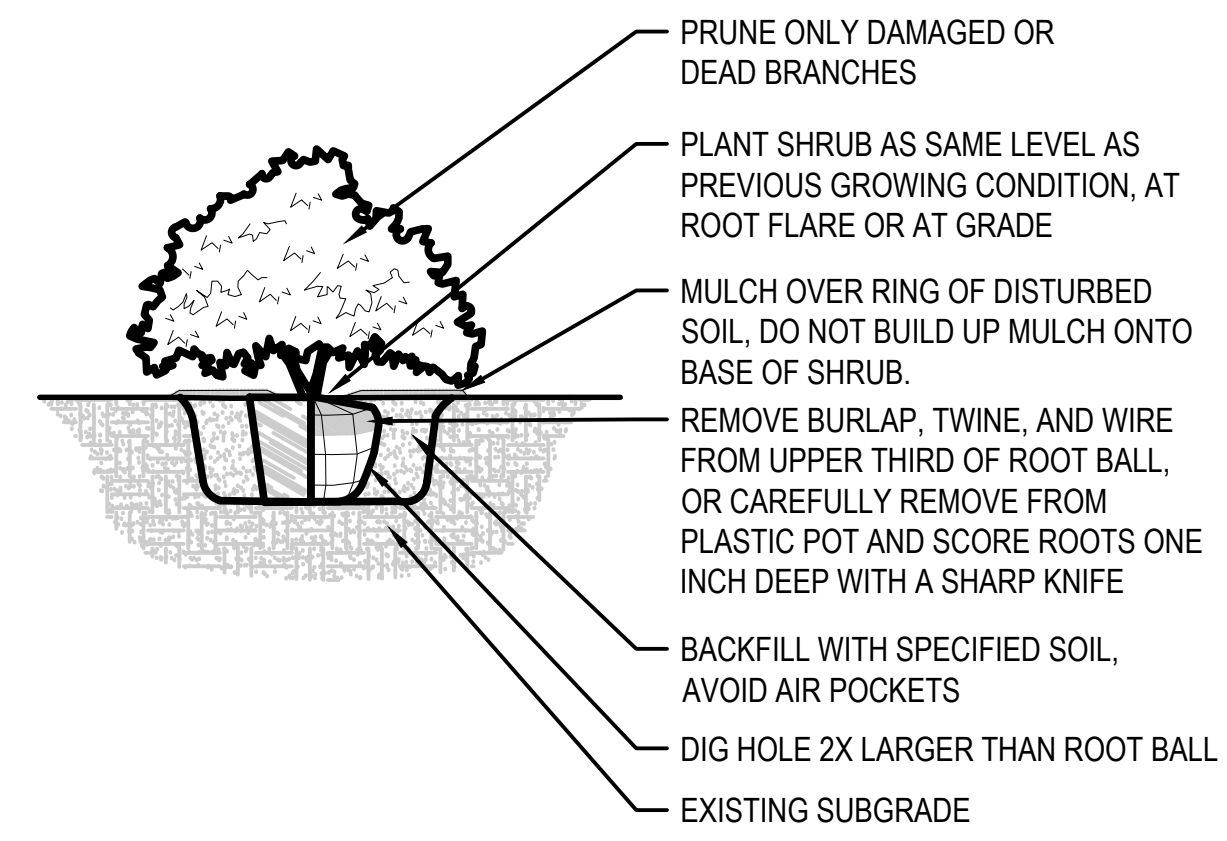
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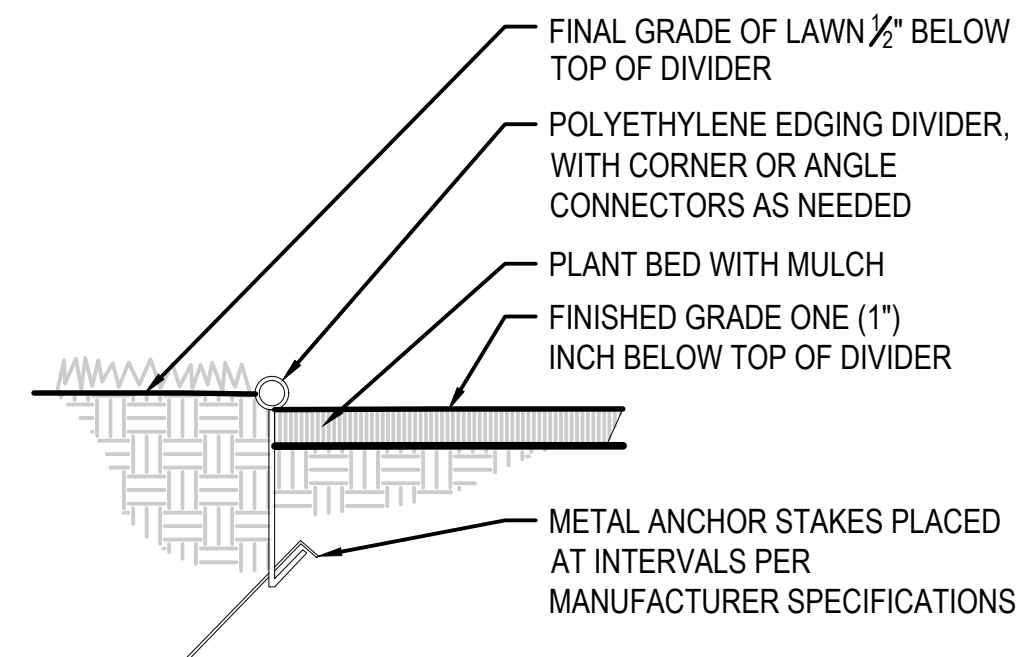
N
1
LANDSCAPE PLAN
SCALE: 1" = 20'



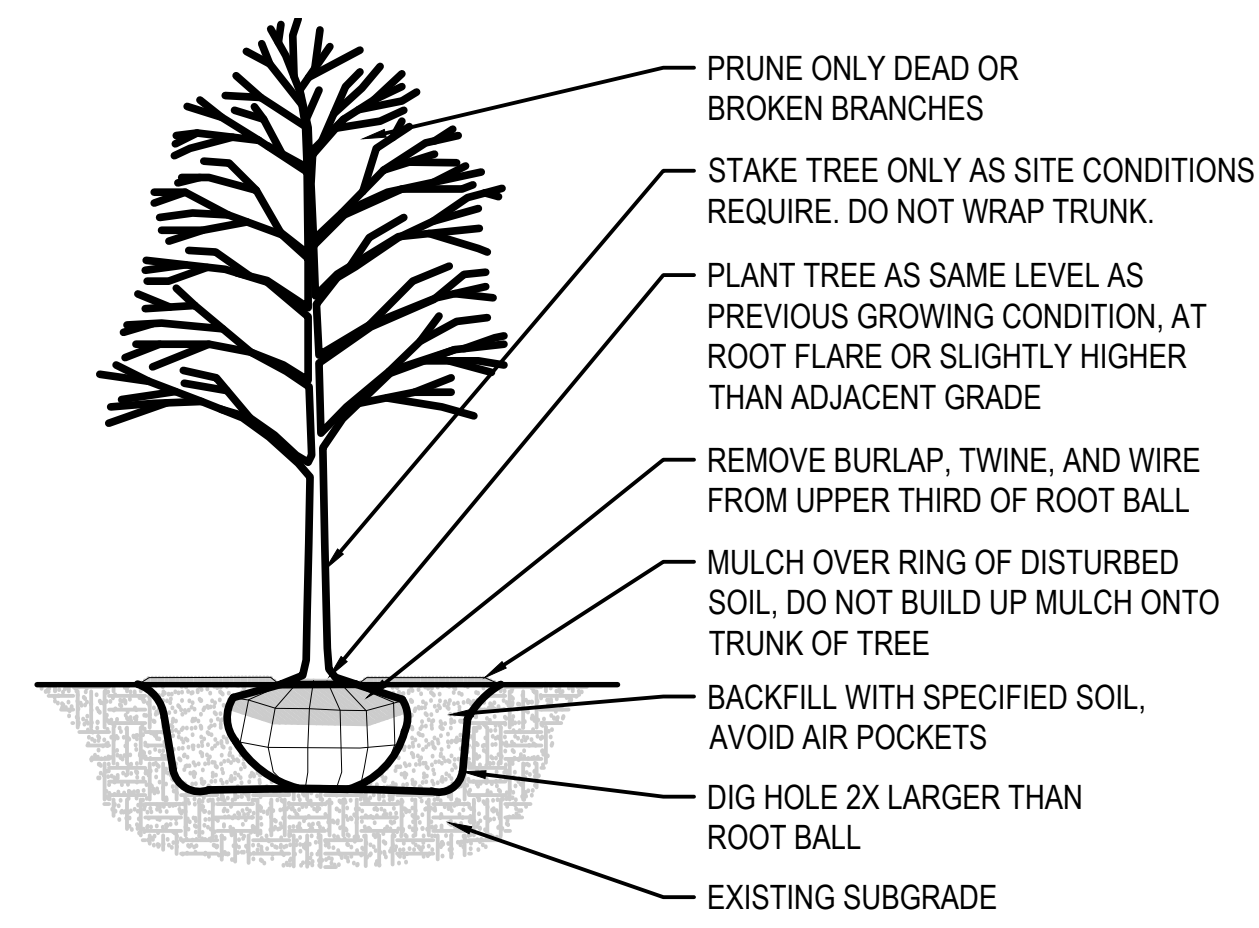
01 TREE PROTECTION
1"=1'-0"



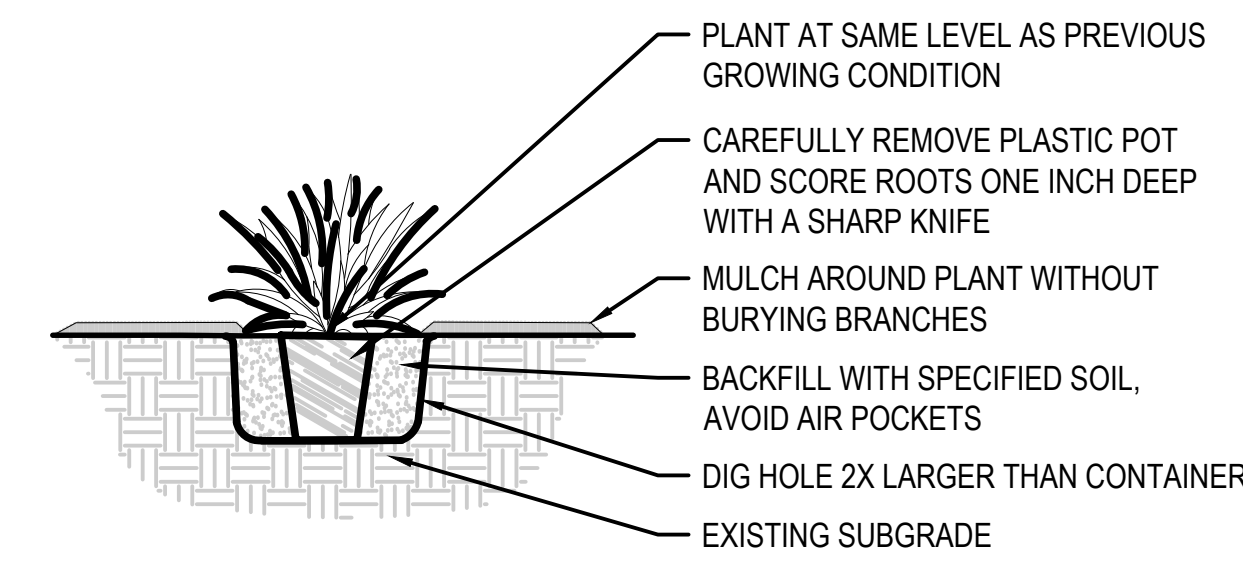
03 SHRUB PLANTING
1"=1'-0"



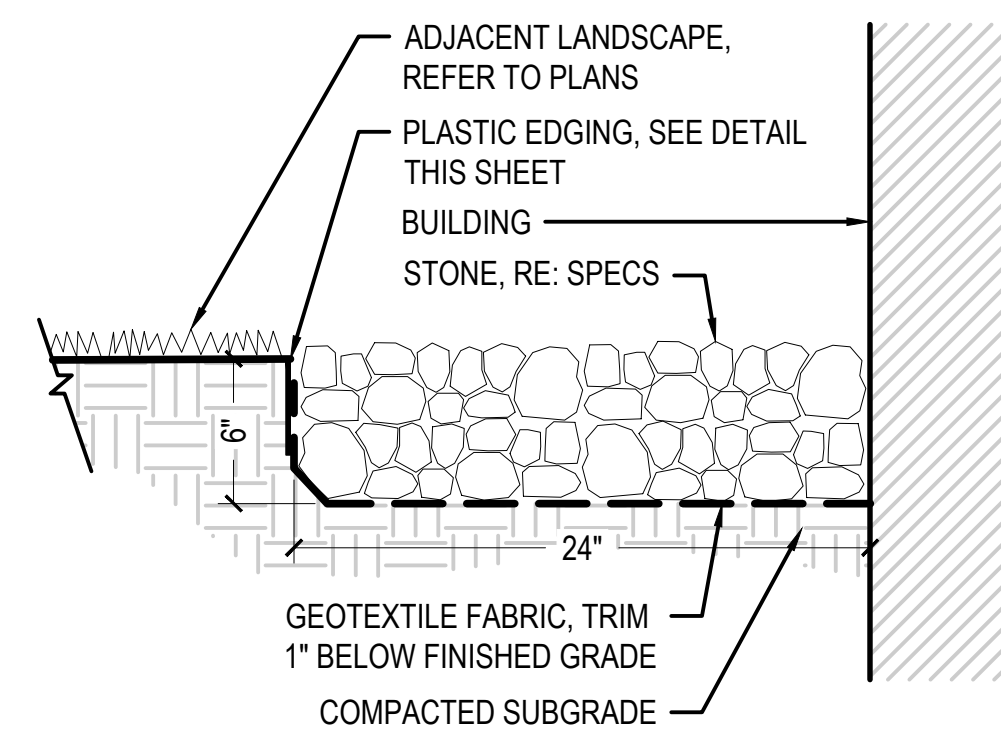
05 PLASTIC EDGING
1"=1'-0"



02 DECIDUOUS TREE PLANTING
1"=1'-0"



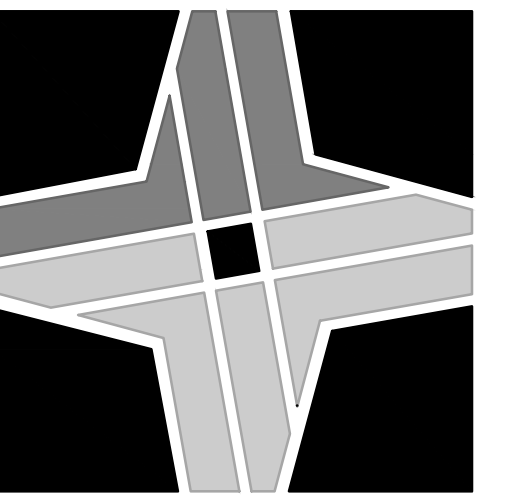
04 PERENNIAL PLANTING
1"=1'-0"



06 STONE MAINTENANCE STRIP
1-1/2"=1'-0"

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	PLANTING SIZE	MATURE HT	MATURE SP	QTY	
TREES								
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	6 FT. Tall Min.	30'	25'	5	
	CEL OCC	Celtis occidentalis / Common Hackberry	B & B	2.5" Min. Cal.	60'	60'	2	
	CRA WIN	Crataegus viridis 'Winter King' / 'Winter King' Hawthorn	B & B	1.5" Min. Cal.	25'	30'	2	
	GLE INE	Gleditsia triacanthos inermis / Thornless Common Honeylocust	B & B	2.5" Min. Cal.	60'	50'	2	
	JUN CAN	Juniperus virginiana 'Canaertii' / Canaerti Juniper	B & B	6 FT. Tall Min.	25'	15'	2	
	QUE RUB	Quercus rubra / Red Oak	B & B	2.5" Min. Cal.	75'	75'	2	
	QUE SCH	Quercus x schuettii / Swamp Bur Oak	B & B	2.5" Min. Cal.	75'	70'	3	
	ULM MOR	Ulmus x 'Morton Accolade' / Accolade Elm	B & B	2.5" Min. Cal.	70'	70'	3	
SHRUBS								
	ARO IRO	Aronia melanocarpa 'Iroquois Beauty' / Black Chokeberry	3 gal	Container	3'	4'	25	
	ARO GHG	Aronia melanocarpa 'UCONN012' / Ground Hug Black Chokeberry	3 gal	Container	1'	3'	15	
	DIE LON	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	Container	4'	5'	22	
	DIE COP	Diervilla lonicera 'Copper' / Copper Low Bush Honeysuckle	3 gal	Container	2.5'	3'	28	
	HYD LIT	Hydrangea quercifolia 'Little Honey' / Oakleaf Hydrangea	3 gal	Container	4'	5'	3	
	HYP JOH	Hypericum kalmianum / Kalm's St. Johnswort	3 gal	Container	3'	3'	35	
	JUN SEA	Juniperus chinensis 'Sea Green' / Sea Green Juniper	3 gal	Container	6'	6'	14	
	JUN KAL	Juniperus x pfitzeriana 'Kallay's Compact' / Kallay's Compact Pfitzer Juniper	3 gal	Container	3'	6'	36	
	PHY DON	Physocarpus opulifolius 'Donna May' / Little Devil™ Dwarf Ninebark	3 gal	Container	4'	4'	23	
	RHU GRO	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal	Container	2'	6'	32	
	VIB LEN	Viburnum lentago / Nannyberry	3 gal	Container	12'	10'	2	
PERENNIALS & GRASSES								
	BOU BLO	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	#1	Container	2.5'	2'	16	
	CAL MTW	Calamintha nepeta 'Montrose White' / Montrose White Lesser Calamint	#1	Container	1.5'	1.5'	8	
	LIA PYC	Liatris pycnostachya / Gayfeather	#1	Container	3'	1'	10	
	PAN ROT	Panicum virgatum 'Rotstrahlbusch' / Rotstrahlbusch Red Switch Grass	#1	Container	4'	4'	54	
	RUD AGR	Rudbeckia 'American Gold Rush' / Sweet Black-eyed Susan	#1	Container	4'	2'	15	
	SPO HET	Sporobolus heterolepis / Prairie Dropseed	#1	Container	3'	2'	10	
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	PLANTING SIZE	MATURE HT	MATURE SP	SPACING	QTY
SHRUB AREAS								
		SEDGE PLUG MIX						286 sf
	CAR ROS	Carex rosea / Rosy Sedge	PLUG	32-CELL FLAT OR EQUIVALENT	1'	1'	50% @ 12" o.c.	148
	CAR SPR	Carex sprengei / Sprengel's Sedge	PLUG	32-CELL FLAT OR EQUIVALENT	2'	1.5'	50% @ 12" o.c.	148



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2033 West Howard Avenue
Milwaukee, WI 53221
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LANDCO2

5032 W. FOREST HOME AVE. #5
MILWAUKEE, WI 53219
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ENGINEERS, INC.

JOB TITLE

MEA FORWARD,
LLC
"LAKE COUNTRY
EYE SURGERY
CENTER"

SITE & BUILDING
PLAN REVIEW

PEWAUKEE,
WISCONSIN

job no. 25-D04
date 11/11/25
revision

drawn by MP & HG

SHEET TITLE

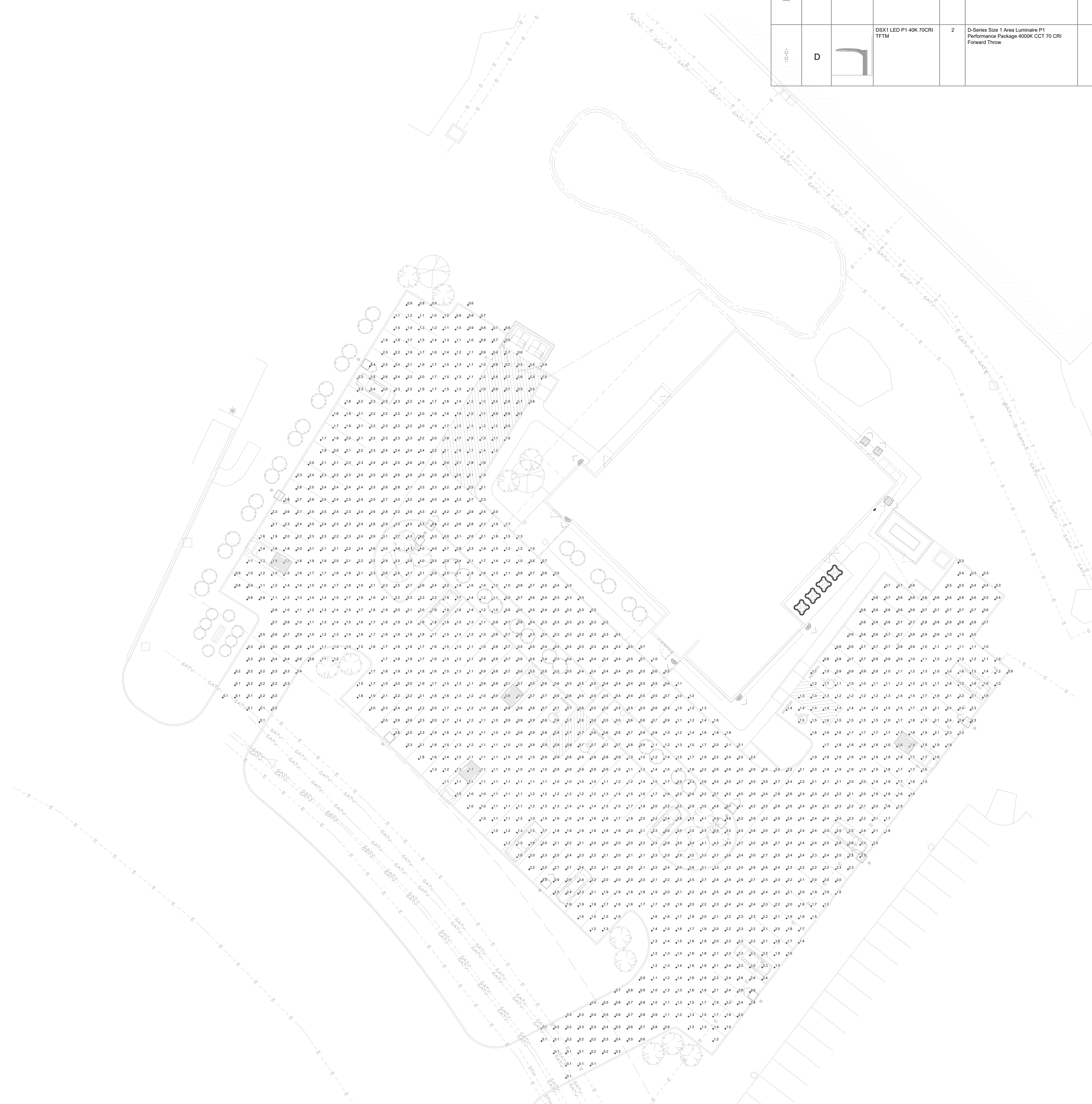
LANDSCAPE
DETAILS &
PLANT
SCHEDULE

SHEET NUMBER

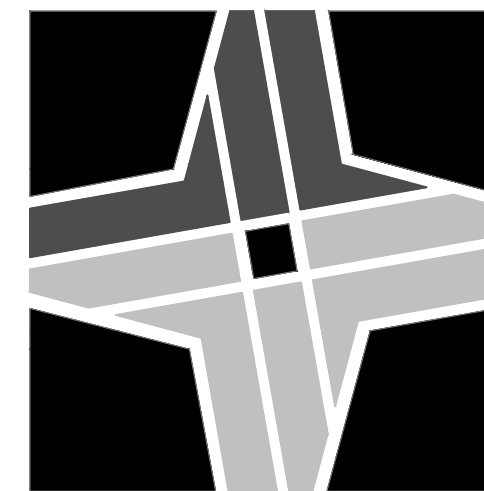
L-201

Symbol	Label	Image	Catalog Number	QTY	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot	Mounting Height
	A		7000WASFPW90150ZLN VS	5	LED WALL SCONCE	LED	1	1435	1	48		7'-6"
	B		DSK1 LED P1 40K 70CRI TFTM	8	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Forward Throw		1	7760	1	50.9		19'-0"
	C		ISC-SA1A-740-U-T3	3	IMPACT ELITE LED CYLINDER LUMINAIRE (1) TO CRI, 4000K, 350mA LIGHTSQUARE WITH 16 LEDs AND TYPE III OPTICS		16	174	1	20.1		9'-0"
	D		DSK1 LED P1 40K 70CRI TFTM	2	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 70 CRI Forward Throw		1	7760	1	101.8		19'-0"

Statistics							
Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg	
Calc Zone #1	+	5.4 fc	0.3 fc	18.0:1	6.0:1	1.8 fc	



A PHOTOMETRY PLAN
E1.1 SCALE: 1/20" = 1'-0"



MARASCO & ASSOCIATES, INC.
HEALTHCARE ARCHITECTS AND CONSULTANTS
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DENVER, COLORADO 80204
PH: (303) 882-2887
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JOB TITLE

MEA FORWARD, LLC
"LAKE COUNTRY EYE SURGERY CENTER"

SITE & BUILDING PLAN REVIEW

PENAUKEE, WISCONSIN

job no. 28-DO4
date 11/11/25
revision
drawn by TB/MH/TH

SHEET TITLE

PHOTOMETRIC SITE PLAN

SHEET NUMBER

E1.2

November 10, 2025

Nick Fuchs
Planner & Community Development Director
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, WI 53072

Re: Lake Country Eye Surgery Center, LLC

Mr. Fuchs:

We received the staff comments for the Site and Building Plan Review dated October 24, 2025. Enclosed with this letter, please find revised plans with revisions addressing the comments. Responses to the comments and how they were addressed are provided below:

1. On the Site Plan, Sheet C-300, please include a site data table consisting of site information such as lot size (square feet and acres), existing and proposed impervious surface, greenspace, required and proposed setbacks, and peak building height.

Response: A table with the required information has been added to the Site Plan (C-300).

2. Please see Sections [340-2.10\(D\)](#), [340-4.22E\(2\)](#), and [340-4.22E.\(3\)](#) to ensure conformance with lot coverage requirements.

Response: The noted sections have been reviewed and the site plan adjusted as needed. Total site coverage does not exceed 60%, the building footprint does not exceed 35% of the site area, and pavement is set back more than 10 feet from the property lines. The light poles have been revised to 19' mounting height.

3. Please be aware that [Section 340-4.22G.\(4\)](#) requires a minimum 30-foot parking setback from the front/street property line. Please revise the site plan accordingly.

Response: The site layout has been revised to provide the required front parking setback.

4. Is there a need for this quantity of parking? Please provide additional information regarding the anticipated parking demand for this use.

Response: The number of parking stalls provided is based on the owner's past operational knowledge and the needs of staff and patients. A breakdown is provided below for Phase I and the full build-out for Phase II.

Phase I

- **3 operating rooms & 2 treatment rooms**
- **12 pre-op & recovery stations**
- **Waiting room capacity = 51 seats**
- **~30 staff and physicians on site at full capacity**
- **~48 patients per day with the potential for 28 patients on site at any given time**
- **3 extra parking stalls for manufacturer/drug reps & corporate managers**

Total Parking required = 61 stalls

Phase II

- **4 operating rooms & 2 treatment rooms**
- **16 pre-op & recovery stations**
- **Waiting room capacity = 51 seats**
- **~36 staff and physicians on site at full capacity**
- **~60 patients per day with the potential for ~36 patients on site at any given time**
- **4 extra parking stalls for manufacturer/drug reps & corporate managers**

Total Parking required = 76 stalls

Total Parking provided = 78 stalls

5. Staff recommends, with the removal of parking within the setback, to reduce parking if possible and install additional plantings in this area.

Response: Based on the supporting information above, parking has not been reduced. Landscape screening has been incorporated in front of the parking along the Busse Road frontage. Due to the existing sanitary sewer easement in this location, planting density is somewhat reduced. It is understood that an agreement will be required with the installation of plantings within the City's utility easement.

6. Please be aware of paving requirements of [Section 340-8.1\(C\)\(1\)](#).

Response: The proposed paving sections exceed the 3-inch minimum specified in the ordinance. Paving will be completed prior to occupancy.

7. Note that signage will be subject to a separate [Sign Permit](#).

Response: Acknowledged.

8. Why is the footcandle level so much greater for the light in the northeast corner of the site?

Response: The light pole in that area was initially mounted at 10 feet in error. The calculation has since been corrected to reflect the proper mounting height of 19 feet, resulting in an accurate lighting measurement. Please see the revised Photometric Plan.

9. Are the proposed lights dimmable?

Response: Yes, the proposed light fixtures have dimming capabilities. However, the lighting calculations reflect light levels with the fixtures operating at 100% output.

10. What is the maximum height of the light poles and fixtures? Note [Section 340-2.10D.\(6\)\(a\)](#) requires a maximum peak height of 20-feet.

**Response: The maximum height of the light poles and fixtures is as follows:
Pole lights will be mounted at 19'-0"
Wall packs will be mounted at 9'-0"
Wall sconces will be mounted at 7'-6"**

11. Engineering Department comments are as follows:
- a. Engineering Department review of the pond will be required. A complete review, including the computations, will be completed to ensure the pond meets the City's storm water ordinance. Note that a separate submittal to the Engineering Department is needed. This will include 2 Storm Water Management Plans (hard copy) and the electronic versions of the models, 3 copies of the plans (hard copy) and electronic versions (CAD or GIS), and PDF of all.

Response: It is understood that a separate submittal to the Engineering Department is required for the stormwater management pond. This package will be submitted after Plan Commission approval.

- b. A Statement Regarding Easement is required due to the parking lot and landscaping being within the City's sewer easement.

Response: It is understood that an easement agreement is needed due to the proposed improvements within the City's sewer easement. This was discussed at the pre-application meeting. It is requested that the City provide an example document for the Owner's review.

- c. The sanitary sewer lateral must be abandoned as it does not appear to be utilized. Note the new lateral will not be allowed to tap into the manhole and a wye will need to be cut in on the pipe. Additionally, the sampling manhole must have a 10' diameter of unobstructed access and level ground.

Response: The existing lateral will be abandoned with a plug in the sanitary manhole. The new service will connect downstream of the manhole. The sampling manhole is now located in the pavement, at least 10 feet from any abrupt changes in grade.

- d. Please submit a [Business Plan of Operation Application and Notice of Intent to Discharge Wastewater form](#).

Response: A Business Plan of Operation Application and Notice of Intent to Discharge Wastewater are included with this resubmittal package.

- e. The existing water service must be abandoned at the main and the new service must be a tapping tee.

Response: Evidence of an existing water service was not observed on the project site. We are coordinating with the Building Department to determine whether it was abandoned in 2014 when the previous building was demolished, as indicated by the permit issued 11/21/2014. A pressure connection with tee and tapping valve has been specified for the new water service.

- f. A road opening permit with deposit will be required for cutting Busse Road for the connection.

Response: Acknowledged.

- g. Is the building sprinkled?

Response: The building will be fully sprinklered.

12. Please submit 12 sets of plans by November 10th for the November 20th Plan Commission meeting.

Response: Twelve sets of plans accompany this response letter for the November 20th Plan Commission meeting.

If you have any questions, please feel free to contact me directly at 414-930-4407 or at khardin@collinsengr.com.

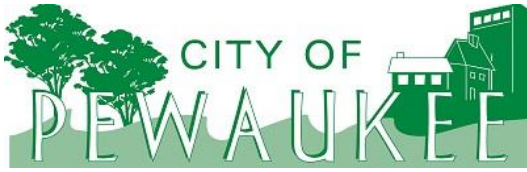
Sincerely,

COLLINS ENGINEERS, INC.



Kerry Hardin, P.E.
Group Manager

cc: Deborah Bernstein, Lake Country Eye Surgery Center, LLC
Conner Kramer, Marasco & Associates, Inc.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 20, 2025

Date: November 12, 2025

Project Name: Lake Country Eye Surgery Center Site & Building Plan Review

Project Address / Tax Key No.: W238N1670 Busse Road / PWC 0954998013

Applicant: Lake Country Eye Surgery Center, LLC

Property Owner: MEA FORWARD LLC

Current Zoning: B-6 Mixed Use Business

2050 Land Use Map Designation: Office Commercial

Use of Surrounding Properties: Industrial to the north, Pilgrim's Rest Cemetery to the south, and office to the east and west

Project Description/Analysis

The applicant filed a Site & Building Plan Review Application for the development of an eye surgery center for property located at W238N1670 Busse Road. The property has an area of approximately 2.23 acres and is currently vacant, except for remnant asphalt from a previous development, which was razed in 2014.

This is a single tenant development consisting of three operating rooms and two laser procedure rooms. Hours of operations are from 6:30 a.m. to 5:00 p.m. Monday through Friday. The facility is closed on the weekends.

The property is zoned B-6 Mixed Use Business District, which allows “[p]rofessional offices of an architect, landscape architect, lawyer, doctor, dentist, clergy, engineer, or other similarly recognized profession” as a permitted principal uses. Staff is recommending the use be allowed as a Permitted Use and subject to staff review and approval of a Business Plan of Operation Application.

The site plan consists of a single story, 10,597 square foot building and 78 parking spaces, including four ADA spaces. Parking spaces are 9' x 20' (180 square feet) in conformance with the Zoning Code minimum required size. The site also complies with the 40% greenspace minimum with about 53.5% of the site being impervious and 46.5% of the site remaining as greenspace and stormwater retention.

A dumpster enclosure is located on the north side of the parking lot and to the west of the building. The enclosure consists of stone veneer to match the building and steel gates. There is also a generator enclosure located near the northeast corner of the building. This will also consist of stone veneer and a steel gate.

The landscape plan includes 21 trees and 235 shrubs. All lighting is compliant with the City's maximum peak height of 20-feet. An agreement shall be provided, for Engineering Department review

and City approval, for the allowance of signage, landscaping, parking, and any other improvements within the sanitary sewer easement located along the front of the property.

A wet detention basin is shown in the northwest corner of the site. Final grading, erosion control, utilities, and storm water management shall be approved by the Engineering Department prior to land disturbance.

The building has a maximum height of 25-feet. Primary building materials include brick and stone veneer and fiber cement panel accents. Rooftop mechanicals are screened by metal panels.

A monument style ground sign and a wall sign on the south elevation are proposed. Details are provided for Plan Commission review. Staff recommends signage be subject to staff review of a Sign Permit, prior to installation.

Recommendation

Staff recommends approval of the Site & Building Plan Review Application for the Lake Country Eye Surgery Center upon property located at W238N1670 Busse Road.

Stormwater Management Practice
Maintenance Agreement

Document Number

THIS INSTRUMENT IS REQUIRED AND RECORDED pursuant to the provisions of §17.0436 of the City of Pewaukee Municipal Code which states, in substance, that man-made material coverage of lots/parcels within proximity to navigable waterways shall be restricted; and

WHEREAS SAID CODE SECTION PROVIDES, in substance, that impervious surfaces may be increased if the parcel owner reaches a written agreement with the City of Pewaukee (henceforth referred to as "City") to mitigate such increased coverage by putting in place mitigation measures; and

WHEREAS SAID CODE SECTION STATES, "... Such mitigation measure requirements shall be recorded in the minutes of a City Plan Commission meeting and shall be recorded by the County Register of Deeds as a property deed restriction for/on the property ...;" and

WHEREAS the owner of the following described Subject Property intends to develop improvements described herein and intends to hereby encumber the Subject Property and improvements with certain restrictions and obligations with respect to the use and maintenance of such property and improvements;

NOW, THEREFORE, the owner of the Subject Property, by this instrument, establishes and imposes the restrictions and mitigation measures set forth herein as covenants running with the land and as binding on the owner and owner's successors and assigns and all subsequent owners and occupants of all or any part of the said Subject Property.

The address and legal description of the Subject Property is set forth in the attached **Exhibit A**.

The attached **Exhibit B** sets forth (1) the total lot area calculation; (2) the existing impervious area calculation; (3) the new impervious area calculation;(4) the agreed upon increased percentage of impervious area allowed by the City of Pewaukee; and (5) the description of the agreed upon mitigation measures to be installed and maintained on the Subject Property.

The attached **Exhibit C** is a copy of the approved minutes of the meeting of the City of Pewaukee Plan Commission at which the required mitigation measures were determined and directed to be made and maintained.

Dated this ____ day of _____, 20__.

(Owner Signature)

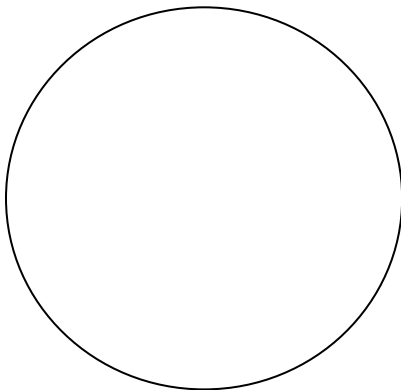
(Owner Signature)

(Print Owner Name Here)

(Print Owner Name Here)

STATE OF WISCONSIN)
SS
COUNTY OF WAUKESHA)

Personally came before me this _____ day of _____, 20____, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.



NOTARY PUBLIC

Print Name of Notary Public

Notary Public, _____ County, Wisconsin

My Commission Expires:

This document was drafted by:

Mark D. Augustine
LandMark Engineering Sciences, Inc.
119 Coolidge Avenue – Suite 100
Waukesha, WI 53186-6602

Name and Return Address:

City of Pewaukee –
Planning & Community Development
W240N3065 Pewaukee Road
Pewaukee, WI 53072

Tax identification Number:
PWC 0894013

Exhibit A – Legal Description

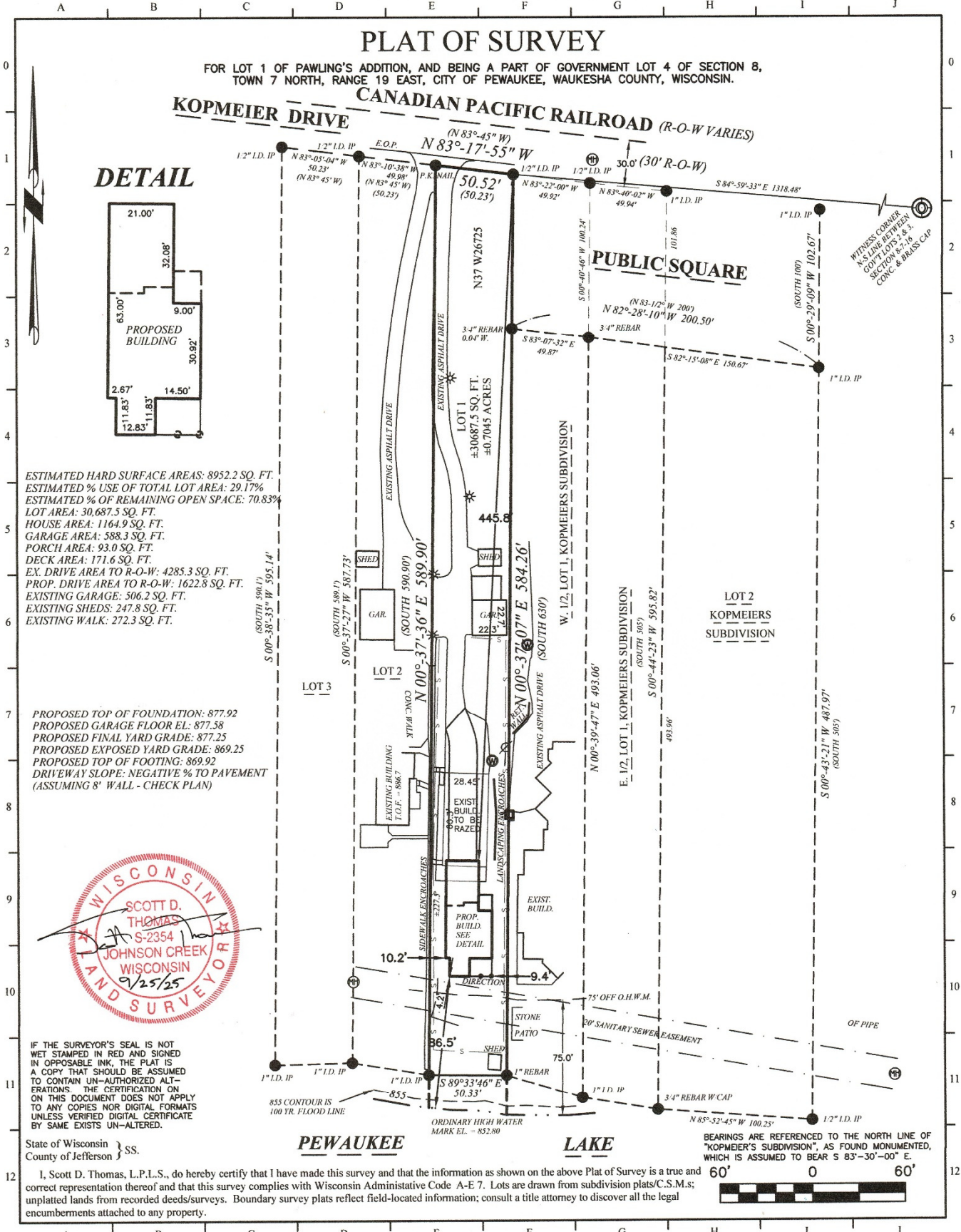
The legal description for the Property for which this Agreement applies is:

LOT 1 OF PAWLING'S ADDITION, AND BEING A PART OF GOVERNMENT LOT 4 OF SECTION B, T.7N., R.19E., CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

Property Address: N37W26725 Kopmeier Drive

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305



For a full-sized version of this figure, please see non-recorded document at City of Pewaukee

Exhibit B – Stormwater Management System Plan

The stormwater mitigation practice covered by this Agreement are depicted in the construction plans, as shown in the following figures below. The practice includes rain garden treatment.

TREATED IMPERVIOUS SURFACE

LAND MARK
ENGINEERING SCIENCES, INC.

119 COOLIDGE AVE., SUITE 100
WAUKESHA, WI 53186
(414) 719-2769
landmark-engineering@live.com

ENGINEER:
MARK AUGUSTINE, PE

DESIGN FOR:
ASPEN HOMES, INC.
325 OAKTON AVENUE, SUITE 202
PEWAUKEE, WI 53072

PROPERTY:
JAMES S. & SUSAN C. TAYLOR
N37W26725 KOPMEIER DRIVE
PEWAUKEE, WI 53072

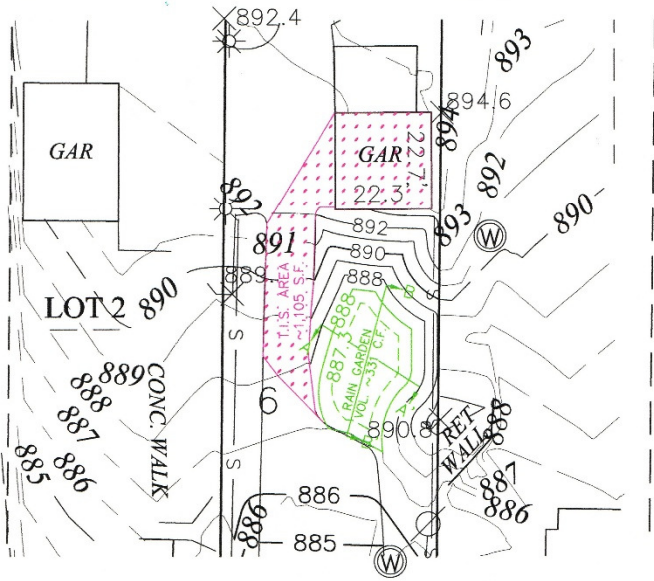
LEGAL DESCRIPTION:

LOT 1 OF PAWLING'S ADDITION, AND BEING A PART OF GOVERNMENT LOT 4 OF SECTION 8, T.7N., R.19E., CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

LEGEND

- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - 1" DIA. IRON PIPE SET, 18" LONG
- FIELD INLET
- - UTILITY BOX
- OVERHEAD UTILITY WIRE
- UTILITY POLE W/ GUY WIRE
- CONCRETE
- ASPHALT
- TREES LOCATED ALONG EAST LOT LINE
- PROPOSED ELEVATION CONTOURS FOR FINAL GRADE

RAIN GARDEN LAYOUT WITH TREATED IMPERVIOUS SURFACE AREA:



NOTES:

- TOTAL PARCEL AREA TO ORDINARY HIGH WATER MARK (OHWM) IS ABOUT 30,687.5 S.F. (0.704 AC).
- PER CITY OF PEWAUKEE ZONING ORDINANCE, SITE IS ALLOWED UP TO 20% (6,138 S.F.) TOTAL BUILDING FOOTPRINT COVERAGE. THE EXISTING DETACHED GARAGE (506 S.F.), EXISTING TWO SHEDS (248 S.F.) AND PROPOSED HOUSE (1,750 S.F.) FOOTPRINTS TOTAL 8,166 (25.04 S.F.).
- PER CITY OF PEWAUKEE ZONING ORDINANCE, A LOT AREA EQUAL TO OR GREATER THAN 10,000 S.F. IS ALLOWED UP TO 7.5% (2,302 S.F.) IMPERVIOUS SURFACE AREA OUTSIDE THE PERMANENT BUILDING FOOTPRINT AREAS BEFORE STORMWATER MITIGATION AND/OR TREATMENT IS REQUIRED. THE PROPOSED DRIVEWAY (5,948 S.F.), WALKWAYS (414 S.F.), PROPOSED DECK (172 S.F.) AND PROPOSED PORCH/STOOP (93 S.F.) TOTAL 21,660 (66.27 S.F.) IMPERVIOUS SURFACE AREA. THIS EXCEEDS THE ALLOWABLE 7.5% AMOUNT.
- PER CITY OF PEWAUKEE, THE TOTAL COMBINED COVERAGE OF PERMANENT STRUCTURE FOOTPRINTS AND PERMANENT IMPERVIOUS SURFACE AREAS OUTSIDE THE STRUCTURES MAY BE UP TO 27.5% (8,439 S.F.) TOTAL IMPERVIOUS SURFACE AREA OF THE SITE MAY BE UP TO 35% IF ACCEPTABLE MITIGATION MEASURES ARE INCORPORATED TO ADDRESS THE ADDITIONAL IMPERVIOUS SURFACE AREA AMOUNT AND IF THE PARCEL OWNER REACHES A WRITTEN AGREEMENT WITH THE CITY OF PEWAUKEE.
- THE PROPOSED TOTAL IMPERVIOUS SURFACE AREA (29.75%) IS MORE THAN THE ALLOWABLE TOTAL IMPERVIOUS SURFACE AREA (27.5%). SO THIS SITE DOES REQUIRE STORMWATER MITIGATION MEASURES. ALSO, THE CITY REQUIRES SOME MITIGATION DUE TO THE NON-STRUCTURAL IMPERVIOUS SURFACE AREA EXCEEDING THE MAXIMUM ALLOWABLE NON-STRUCTURAL IMPERVIOUS SURFACE AREA (7.5%).
- A RAIN GARDEN WILL BE INSTALLED TO MITIGATE DRIVEWAY AND DETACHED GARAGE ROOF RUNOFF VOLUME FROM THE 2-YEAR, 24-HOUR STORM EVENT (2.69 INCHES OF RAINFALL). IN THIS CASE, ABOUT 248 C.F. OF RUNOFF FROM THE 2-YEAR, 24-HOUR STORM EVENT FROM 3.60K (1,105 S.F.) OF THE PROPOSED IMPERVIOUS SURFACE AREA WILL BE MITIGATED VIA INFILTRATION INTO THE RAIN GARDEN WITH A STORAGE CAPACITY OF ABOUT 331 C.F. NOTE THAT THE APPROVED MITIGATION ITEMS, IN THEIR ENTIRETY, MUST BE FOREVER MAINTAINED ON THIS PROPERTY.

CONSTRUCTION INSPECTION SCHEDULE:

THE ENGINEER OF RECORD IS THE INDIVIDUAL THAT HAS STAMPED AND SIGNED THE APPROVED PLAN SET. AS SUCH, THEY AND/OR THEIR DESIGNATED REPRESENTATIVE (HENCEFORTH REFERRED TO JOINTLY AS "EOR") WILL COORDINATE WITH BUILDER TO CONDUCT SITE INSPECTIONS DURING CONSTRUCTION TO ENSURE RAIN GARDEN SYSTEM IS INSTALLED ACCORDING TO THE APPROPRIATE PERFORMANCE SPECIFICATIONS. SYSTEM MUST BE INSPECTED AND MAINTAINED IN SUCH A MANNER AS TO OPERATE AS DESIGNED FOR THE LIFE OF THE RESIDENTIAL STRUCTURE. AT A MINIMUM, SITE INSPECTIONS WILL BE PERFORMED DURING THESE CONSTRUCTION PHASES:

- SOIL AMENDMENTS. EOR WILL CONDUCT VISUAL INSPECTION OF AMENDED NATIVE SOILS WITHIN 2' OF RAIN GARDEN BOTTOM GRADE TO ENSURE AMENDED SOILS HAVE ACCEPTABLE POROSITY CHARACTERISTICS AND ORGANIC MATTER.
- DRIVEWAY INSTALLATION. AS THE RAIN GARDEN DESIGN TREATS RUNOFF FROM THE PROPOSED DRIVEWAY AND 1/2 THE EXISTING GARAGE ROOF, EOR WILL INSPECT THE APPROPRIATE SECTION OF DRIVEWAY INSTALLATION TO VERIFY GRADES MEET DESIGN SPECIFICATIONS.
- GRADING. EOR WILL VISUALLY INSPECT SUBGRADE SOILS PRIOR TO ADDITION OF FINAL TOPSOIL LAYER TO VERIFY SUBSOILS WERE NOT DAMAGED OR DISTURBED TO THE POINT THEIR FUTURE FUNCTIONALITY MAY BE COMPROMISED. AFTER FINAL GRADES ARE ESTABLISHED WITH TOPSOIL LAYER ADDITION, EOR WILL INSPECT TO VERIFY GRADES AND SOILS MEET APPROVED RAIN GARDEN DESIGN FUNCTIONALITY.
- PLANTINGS. EOR WILL VISUALLY INSPECT PLANTINGS TO VERIFY PLANTS ARE SUFFICIENTLY ESTABLISHED FOR SELF-PROPROPAGATION. EOR WILL THEN COMPLETE A CONSTRUCTION CHECKLIST FOR SUBMITTAL TO AND REVIEW BY CITY OF PEWAUKEE STAFF. AFTER CONSTRUCTION VERIFICATION IS ACCEPTED BY CITY OF PEWAUKEE STAFF, AN ADDENDUM TO THE DECLARATION OF RESTRICTIONS SHALL BE RECORDED BY THE SITE OWNER AT THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE. THE ADDENDUM MAY INCLUDE ADDITIONAL EXHIBITS, SUCH AS THE EOR VERIFICATION FORM AND/OR SYSTEM AS-BUILT PLANS. CITY OF PEWAUKEE MAY REQUIRE FUTURE CHANGES TO THIS DECLARATION OF RESTRICTIONS IF PLAN MODIFICATIONS ARE PROPOSED, REVIEWED AND APPROVED BY SAID STAFF.

RAIN GARDEN SYSTEM MAINTENANCE NOTES:

- SURFICIAL +/-1 FOOT OF RAIN GARDEN SOILS SHALL BE CHECKED TO ENSURE MINIMUM ALLOWABLE INFILTRATION RATES ARE ACHIEVABLE. SUBSOILS WITH SANDY LOAM POROSITY OR BETTER ARE RECOMMENDED TO ENSURE 100% RETAINED RUNOFF INFILTRATION WITHIN A MAXIMUM 48 HOUR PERIOD. IF NATIVE SUBSOILS DO NOT MEET RECOMMENDATIONS, SUBSOILS WILL BE AMENDED WITH CLEAN SANDS AND ORGANIC MATTER TO INCREASE SUBSEQUENT SOIL POROSITY. AMENDED RAIN GARDEN SOIL SHOULD HAVE RATIOS APPROXIMATING 30% NATIVE SOILS, 35% WELL-GRADED CLEAN SAND, AND 35% ORGANIC MATTER. AN ALTERNATIVE OPTION IS TO REPLACE THE ENTIRE SURFICIAL +/-1' OF NATIVE SOIL WITH LOAMY SAND TOPPED WITH 0.33' OF ORGANIC SANDY LOAM.
- TO PREVENT RAIN GARDEN SOILS FROM BECOMING CLOGGED WITH FINE SOIL PARTICLES DURING CONSTRUCTION ACTIVITIES, SCHEDULE RAIN GARDEN CONSTRUCTION TO BE PART OF FINAL LANDSCAPING ACTIVITIES COMPLETED.
- RAIN GARDEN PLANTS MUST BE WELL WATERED UNTIL FULLY ESTABLISHED. TO PREVENT WEED PROPAGATION EVEN AFTER PLANTINGS ARE WELL ESTABLISHED, PERIODIC WATERING SHOULD BE CONDUCTED WHENEVER PLANTS APPEAR TO BE WILTING OR OTHERWISE APPEAR WATER-STRESSED.
- RAIN GARDEN INSPECTIONS OF RAIN GARDEN CONDITION AND PERFORMANCE MUST BE COMPLETED BY SITE OWNER ONE (1) YEAR AFTER INSTALLATION, THREE (3) YEARS AFTER INSTALLATION, AND EVERY FIVE (5) YEARS THEREAFTER. AFTER EACH REQUIRED INSPECTION, SITE OWNER OR AGENT MUST SUBMIT AN INSPECTION REPORT TO WAUKESHA COUNTY DEPARTMENT OF PARKS & LAND USE, INCLUDING A COMPLETED WAUKESHA COUNTY RAIN GARDEN INSPECTION CHECKLIST. INSPECTION REPORT SHALL ALSO INCLUDE PHOTOGRAPHS AND A DETAILED ASSESSMENT OF RAIN GARDEN SYSTEM CONDITION. IF APPROPRIATE, ALSO INCLUDE IN INSPECTION REPORT A DESCRIPTION OF PLANNED REMEDIAL ACTIVITIES TO ENSURE RAIN GARDEN SYSTEM CONFORMS SUBSTANTIALLY TO APPROVED PLAN REQUIREMENTS.
- IT IS RECOMMENDED SITE OWNER ALSO CHECK RAIN GARDEN CONDITIONS QUARTERLY TO VERIFY SYSTEM HAS NOT BEEN CLOGGED BY DEBRIS NOR DOES IT DISCHARGE RUNOFF DURING RAINFALL EVENTS OF 0.5 IN/HR OR LESS. ANY OBSERVED SYSTEM DEFICIENCIES MUST IMMEDIATELY BE CORRECTED AND/OR REPAIRED.
- SITE OWNER IS RESPONSIBLE FOR COMPLETING ANY REPAIRS AND MAINTENANCE NEEDED OR AS ORDERED BY THE CITY OF PEWAUKEE TO ENSURE PROPER CONTINUED FUNCTION OF THE RAIN GARDEN SYSTEM.

RAIN GARDEN SYSTEM DESIGN NOTES:

- THE PROPOSED TOTAL IMPERVIOUS SURFACE AREA ("ISA") OF 29.75% EXCEEDS THE ALLOWABLE ISA WITHOUT MITIGATION OF 27.5%. ALSO, THE PROPOSED NON-STRUCTURAL ISA EXCEEDS THE ALLOWABLE NON-STRUCTURAL ISA OF 7.5%.
- THE 2-YEAR, 24-HOUR STORM EVENT WILL PRODUCE 2.69 INCHES OF WATER. THE PROPOSED ISA RUNOFF DIRECTED THROUGH THE RAIN GARDEN IS ~1,105 S.F. (3.60%). THE CALCULATED RUNOFF AMOUNT GENERATED FROM THIS ISA IS ASSUMED TO BE 100% OF THE 2-YEAR STORM EVENT RAINFALL ON THESE ISA; I.E., 1,105 S.F. * 2.69 IN/(12 IN/FT) = 248 C.F.
- THE RAIN GARDEN DIMENSIONS PROVIDE AN AVAILABLE STORAGE VOLUME CAPACITY OF ~331 C.F. THIS EXCEEDS THE RUNOFF VOLUME PROPOSED TO BE TREATED THROUGH THE RAIN GARDEN SYSTEM.

APPROVED RAIN GARDEN NATIVE PLANTINGS LIST:

Common Name	Scientific Name	Soil Type			Light Preference		Bloom Time	Height (feet)
		Clay	Loam	Sand	Full Sun	Semi-Shady		
Blue Flag Iris	Iris versicolor	X			X	X	June-July	2-3
Bottlebrush Sedge	Carex comosa	X	X	X	X	X	May-June	2.4
Butterflyweed	Asclepias tuberosa				X		June-Aug	2.3
Calico Aster	Aster lateriflorus	X	X	X		X	Sept-Oct	2-3
Cream False Indigo	Baptisia bracteata			X	X		May-June	1-2
Crooked Stem Aster	Aster prenanthoides	X	X	X		X	Aug-Oct	1-3
Culver's Root	Veronicastrum virginicum	X	X		X	X	July-Aug	3-6
Fireweed	Epiobium angustifolium		X	X			July-Sept	2-6
Fox Sedge	Carex vulpinoidea	X	X	X	X	X	May-June	1-3
Foxglove beardtongue	Penstemon digitalis	X	X	X	X	X	June-July	2-3
Golden Alexander	Zizia aurea	X	X	X	X	X	May-July	1-3
Great Blue Lobelia	Lobelia siphilitica	X	X		X		July-Sept	1-4
Hoary Vervain	Verbena stricta			X	X		July-Sept	2-4
Innweed	Vernonia fasciculata	X	X		X		July-Sept	4-6
Jack in the Pulpit	Arisaema triphyllum	X	X	X		X	April-May	1-2
Jacob's Ladder	Polemonium reptans		X			X	May-June	1-2
Joe Pye Weed	Eupatorium maculatum	X	X		X		Aug-Sept	4-6
Little Bluestem	Schizachyrium scoparium			X	X		Aug-Sept	2-3
Mountain Mint	Pycnanthemum virginianum	X	X		X		July-Sept	1-3
New England Aster	Aster novae-angliae	X	X		X		Aug-Oct	3-6
Nodding Onion	Allium cernuum	X	X	X	X	X	July-Aug	1-2
Northern Sea Oats	Chasmanthium latifolium		X			X	Aug-Oct	2-4
Obedient Plant	Physostegia virginiana	X			X		Aug-Sept	1-2
Ohio Goldenrod	Solidago ohioensis	X	X		X		Aug-Sept	2-3
Ohio Spiderwort	Tradescantia ohlensis			X	X		June-July	2-4
Pale Purple Coneflower	Echinacea pallida			X	X		June-July	3-5
Prairie Blazing Star	Liatris pycnostachya	X	X		X		July-Aug	3-5
Prairie Dropseed	Sporobolus heterolepis		X	X	X		Aug-Sept	2-4
Purple Coneflower	Echinacea purpurea		X	X	X		July-Sept	3-4
Rattlesnake Master	Eryngium yuccifolium		X	X	X		Aug-Sept	3-5
Red Baneberry*	Actaea rubra	X	X	X		X	June	1-2
Rough Blazing Star	Liatris aspera		X	X			Aug-Sept	2-5
Showy Goldenrod	Solidago speciosa		X	X	X		Aug-Sept	1-3
Smooth Blue Aster	Aster laevis			X	X		Aug-Oct	2-4
Smooth Phlox	Phlox glaberrima	X	X	X		X	July-Aug	2-4
Solomon's Seal	Polygonatum biflorum	X	X	X		X	May-June	1-3
Swamp Milkweed	Asclepias incarnata	X	X		X		June-July	3-5
Sweet Black Eyed Susan	Rudbeckia subtomentosa	X	X	X	X	X	Aug-Oct	4-6
Sweet Joe Pye Weed	Eupatorium purpureum	X	X	X		X	Aug-Sept	4-6
Virginia Bluebell	Mertensia virginica	X	X	X		X	April-May	1-2
Virginia Wild Rye	Elymus virginicus	X	X	X		X	July-Aug	4-5
White False Indigo	Baptisia alba	X	X		X		June-July	3-5
Wild Bergamot	Monarda fistulosa	X	X	X	X		July-Sept	2-5
Wild Geranium	Geranium maculatum		X	X		X	May-June	1-2
Wild Petunia	Ruellia humilis		X	X			June-Aug	1-2
Wild Quinine	Parthenium integrifolium	X	X	X		X	June-Sept	3-5
Wild Senna	Cassia hebecarpa	X	X	X		X	July-Aug	4-6
Yellow Coneflower	Ratibida pinnata	X	X	X	X		July-Sept	3-6
Zig Zag Goldenrod	Solidago flexicaulis	X	X	X		X	Aug-Sept	2-4

CROSS SECTIONS

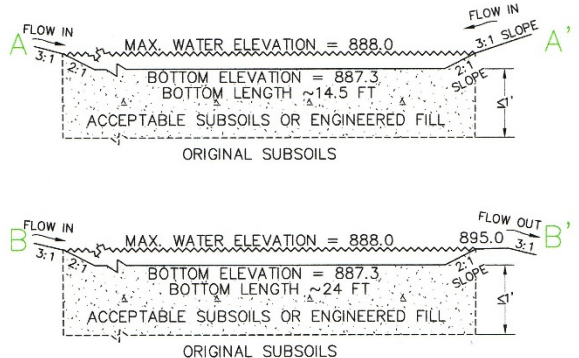


Figure 2

MAINTENANCE PLAN

LANDMARK
ENGINEERING SCIENCES, INC.

119 COOLIDGE AVE., SUITE 100
WAUKESHA, WI 53186
(414) 719-2769
landmark-engineering@live.com

ENGINEER:
MARK AUGUSTINE, PE

DESIGN FOR:
ASPEN HOMES, INC.
325 OAKTON AVENUE, SUITE 202
PEWAUKEE, WI 53072

PROPERTY:
JAMES S. & SUSAN C. TAYLOR
N37W26725 KOPMEIER DRIVE
PEWAUKEE, WI 53072

Narrative. This exhibit explains the basic function of the storm water practice listed in Exhibit B and prescribes the minimum maintenance requirements to remain compliant with this Agreement. The maintenance activities listed below are aimed to ensure these practices continue serving their intended functions in perpetuity. The list of activities indicates the minimum type of maintenance that can be expected for this particular site. Any failure of a storm water practice that is caused by a lack of maintenance will subject the Owner(s) to enforcement of the provisions listed on page 1 of this Agreement by the City of Pewaukee.

Treated Impervious Surface System. The Owner, or their agents, or the subsequent owner of the property shall fully comply with the treated impervious surface (the "TIS") System Plan with a Long-Term Maintenance Schedule, Exhibit A, Exhibit B, and Exhibit C, prepared by Landmark Engineering Services, Inc. (henceforth referred to as the "Plans"). The owner shall comply with the details, specifications, and notes on the Plans. Full-size copies of the Plans are also located in the office of the City of Pewaukee Planning and Zoning Department. If modifications to the Plans are required, review and approval of such modifications are required by the staff at the City of Pewaukee.

Minimum Maintenance Requirements. To ensure the proper function of the rain garden, the following list of maintenance activities are recommended:

1. A minimum of 70% soil cover made up of native grasses, sedges, or forbs must be maintained on the rain garden bottom to ensure infiltration rates. Periodic burning or mowing is recommended to enhance establishment of the native plants (which may take 2-3 years) and maintain the minimum native cover. To reduce competition from cool season grasses (bluegrass, fescues, quack, etc.) and other weeds:
 - a. For the first year, cut to a 6" height three times – once each in June, July and early August. To prevent damage to the native plants, do not mowed below a 6" height. Remove excessive accumulation of clippings to avoid smothering next year's seedlings.
 - b. After the first year, mowing may only be needed in early June each year to help control the spread of cool season plants. The mowing should also be raised to 10-12" to avoid damage to the warm season plants.
 - c. Burning may also be used to manage weeds in 2-5 years intervals. Late spring burns (late April – early May) provide maximum stimulus to warm season plants and work well to control cool season grasses. Burn when the cool season grasses are growing and the warm season plants are just barely starting to grow to get maximum control of cool season species.
 - d. Any major bare areas or areas taken over by nonnative species must be replanted. To clear area of weeds and cool season grasses, treat with an herbicide that contains glyphosphate in accordance with manufacture's instructions. Plant with plugs of loamy soil, full sun exposure preference native species (see list on Exhibit B). Cover with a light layer of mulch and newspaper.
2. Invasive plant and animal species shall be managed in compliance with Wisconsin Administrative Code Chapter NR 40. This may require eradication of invasive species in some cases.
3. The rain garden and all components (grass swales, infalls, outfalls, etc.) should be inspected after each heavy rain, but at a minimum of once per year. If the rain garden is not draining properly (within 72 hours), further inspection may be required by persons with expertise in storm water management and/or soils.
 - a. If soil testing shows that the soil surface has become crusted, sealed or compacted, some deep tillage should be performed, loosening the soil and improving infiltration rates. Tilling may be performed manually or with a mini-excavator. Minimize disturbance of established vegetation.
 - b. If sedimentation is determined to be causing the failure, the accumulated sediment must be removed and the area replanted in accordance with the notes above.
 - c. If inspection of the rain garden shows that groundwater is regularly near the surface, additional design features may need to be considered, such as subsurface drainage or conversion to a wetland treatment system.
4. Any eroding areas must be repaired immediately to prevent premature sediment build-up in the rain garden. Erosion matting is recommended for repairing grassed areas.
5. Heavy equipment and vehicles must be kept off of the bottom and side slopes of rain gardens to prevent soil compaction. Soil compaction will reduce infiltration rates and may cause failure of the garden, resulting in ponding and possible growth of wetland plants.
6. No trees are to be planted or allowed to grow on the earthen berms or the bottom of the rain garden. On the berms, tree root systems can reduce soil compaction and cause berm failure. On the rain garden bottom, trees may shade out the native grasses. The rain garden must be inspected annually and any woody vegetation removed.
7. Grass swales leading to the rain garden shall be preserved to allow free flowing of surface runoff in accordance with approved grading plans. No buildings or other structures are allowed in these areas. No grading or filling is allowed that may interrupt flows in any way.
8. No grading or filling of the rain garden or berms other than for sediment removal is allowed.
9. Periodically mowing the grass swales will encourage rigorous grass cover and allow better erosion inspections.
10. Any other repair or maintenance needed to ensure the continued function of the rain garden as ordered by the City of Pewaukee under the provisions listed on page 1 of this Agreement.

Addendums to Restrictions. The Engineer of Record (EOR) for the TIS system design must conduct system inspections during construction, then prepare a verification of the system's construction. After construction verification has been accepted by City of Pewaukee staff for the TIS system, an addendum to this Declaration of Restrictions shall be recorded by the Owner. The addendum may include several additional exhibits, including the construction verification letter and/or as-built plans of the TIS system. City of Pewaukee may require future changes to this Declaration of Restrictions if modifications to the Plans are proposed, reviewed and approved by City of Pewaukee staff.



Exhibit C
Copy of Approved Meeting Minutes from City of Pewaukee Plan Commission

LETTER OF TRANSMITTAL

LANDMARK

ENGINEERING SCIENCES, INC.

119 Coolidge Avenue - Suite 100, Waukesha, WI 53186-6602

Telephone: 414-719-2769

Email: LandMark-Engineering@live.com

To: Magdelene Wagner, P.E.
City of Pewaukee – Assistant Engineer
W240N3065 Pewaukee Road
Pewaukee, WI 53072

C: Andy Backus – Aspen Homes, Inc.

Date: November 11, 2025

Project No.: 4303.00 - Taylor Property

Description: *Mitigation Plan Narrative*
N37W26725 Kopmeier Drive
Pewaukee, WI 53072

WE ARE SENDING YOU the following items via: U. S. Mail Overnight Hand Deliver Other:
 Fax 11 pages E-Mail wagner@pewaukee.wi.us & andy@aspenhomesinc.com

Copies/Qty.	Date	Description
1	11 NOV 2025	Mitigation Plan Narrative (with attachments)

THESE ARE TRANSMITTED as checked: For Approval For Your Use For Review & Comment
 As Requested Other:

Message:

Attached is the narrative summarizing the revised mitigation plan recommendations for the referenced lot, as requested.

If you have any questions or comments on the *Mitigation Plan Narrative*, please call. Thank you.

Copy to: file

Signed: 

If enclosures are not as noted, kindly notify us at once.

LANDMARK

ENGINEERING SCIENCES, INC.

119 COOLIDGE AVENUE - SUITE 100, WAUKESHA, WISCONSIN 53186-6602

TELEPHONE: 414-719-2769

EMAIL: LandMark-Engineering@live.com

Mitigation Plan Narrative

Project: Taylor Property – Replacement Residence **Project No.:** 4303.00
Location(s): N37W26725 Kopmeier Drive, Pewaukee, WI **Owner(s):** James & Susan Taylor
Client: Aspen Homes, Inc. **Applicant:** Andy Backus – Aspen Homes

BACKGROUND:

Mr. & Mrs. Taylor, as the owners of the property referenced above, are proposing to construct a new single-family house to replace the existing house, as well as constructing an attached garage. The lot size is 30,687.5 s.f. to the ordinary high water mark (“OHWM”) and the total combined impervious surface area proposed after construction of the new buildings and driveway will be 9,131 s.f. (29.75%). The allowable non-structural impervious surface area for this lot is 2,302 s.f. (7.5%) and the allowable total impervious surface area without stormwater mitigation is 8,439 s.f. (27.5%), based on the current City of Pewaukee ordinances. However, the proposed non-structural impervious surface area is 6,627 s.f. (21.60%) and the proposed total impervious surface area is 9,131 s.f. (29.75%). Because of this, stormwater mitigation is incorporated to treat runoff from approximately 1,105 s.f. (3.60%) of impervious surface area via a rain garden.

The proposed Mitigation Plan must treat/maintain on site runoff volume for a 2-year, 24-hour rainfall event from the proposed treated impervious surface area. The following are the calculations associated with this Mitigation Plan:

- Total lot size to OHWM: 30,687.5 s.f.
- Standard allowable total impervious surface area: 8,439 s.f. = 27.5%
- Standard allowable non-structural impervious surface area: 2,302 s.f. = 7.5%
- Total proposed impervious surface area (existing + added): 9,131 s.f. = 29.75%
- Proposed non-structural impervious surface area (existing + added): 6,627 s.f. = 21.60%
- Proposed treated impervious surface area: 1,105 s.f. = 3.60%
- Runoff volume from 2-yr, 24-hr rainfall event of 2.69”: 248 c.f. = 1,105 s.f.*2.69”/day

The Mitigation Plan proposes installing a decorative landscape feature which incorporates a rain garden design to satisfy the required runoff water storage/infiltration.

1. The rain garden system will be located on the downslope (south) side of the existing detached garage and a portion of the existing driveway to capture the runoff from 1,105 s.f. of impervious surface area. As calculated, this 24-hour runoff water volume is equal to 1,105 s.f.*2.69”/day = 248 c.f.
2. System’s design infiltration rate is ~14.5 c.f./hr (infiltration rate of 0.50”/hr for native, sandy loam over a bottom of trench area of ~348 s.f.) and design temporary storage capacity is ~331 c.f. (rain garden is 0.7’

deep x (646 s.f. + 348 s.f.) ÷ 2 ave. area). The rain garden will be able to infiltrate the 2-year, 24-hour storm event runoff volume within about 15 hours. Thus, this system has sufficient storage and infiltration capacity to meet design requirements.

Additional details and specifications for the Mitigation Plan can be seen in the attached documents. Implementing this Mitigation Plan is intended to meet the City of Pewaukee's stormwater mitigation requirements for the proposed project.

Respectfully,

LANDMARK ENGINEERING SCIENCES, INC.

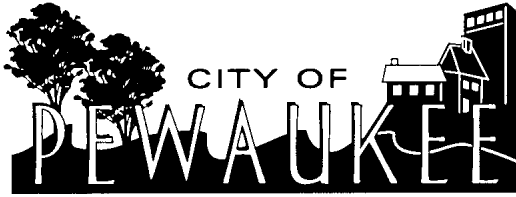


Mark D. Augustine, PE, PLS, CHMM
President

encl: Maintenance Agreement Document
Plat of Survey
Treated Impervious Surface Plan
Maintenance Plan



C:\Documents\Landmark\4303 - Aspen Homes_Taylor (Pewaukee-TIS)\TIS\4303 - Mitigation Plan Narrative (20251111).Docx



Department of Public Works
Engineering Division
W240N3065 Pewaukee Road
Pewaukee, WI 53072
(262) 691-0804 Fax: (262) 691-5720

Memorandum

To: File

From: Magdelene J. Wagner, P.E.

Subject: Taylor Residence – N37W26725 Kopmeier Drive
Mitigation Plan

Date: November 11, 2025

Required Action: The mitigation plan and Plan Commission minutes are recorded at Waukesha County and a recorded copy provided to the City for their records and the final calculations reviewed by the City Engineer.

Background:

According to Ordinance 340-4.36. D., any home within 300 feet of the lake has a maximum building coverage of permanent structures of 20% of the total parcel area. In addition, it has a maximum of 7.5% of permanent impervious surfaces outside of the structures. If a lot is proposed to be over this 27.5%, a maximum of 35% total impervious area is allowed with mitigation practices as approved by the Plan Commission.

The Taylor property is located at N37W26725 Kopmeier Drive and has a lot size of 30,687 SF. The allowable permanent structure is 6,137 SF (20%) and the allowable permanent impervious surface is 2,302 SF (7.5%) for a total allowable impervious area of 8,439 SF (27.5%). Taylor is requesting approval for 9,131 SF (29.75%) total impervious area which consists of 2,504 SF (8.16%) for permanent structures and 6,627 SF (21.6%) for permanent impervious surfaces.

The Taylor property is mitigating this additional impervious area (692 SF) with a 646 SF at 8.4" deep rain garden which will receive drainage from the existing garage and a portion of the driveway totaling 1,105 SF of impervious area.

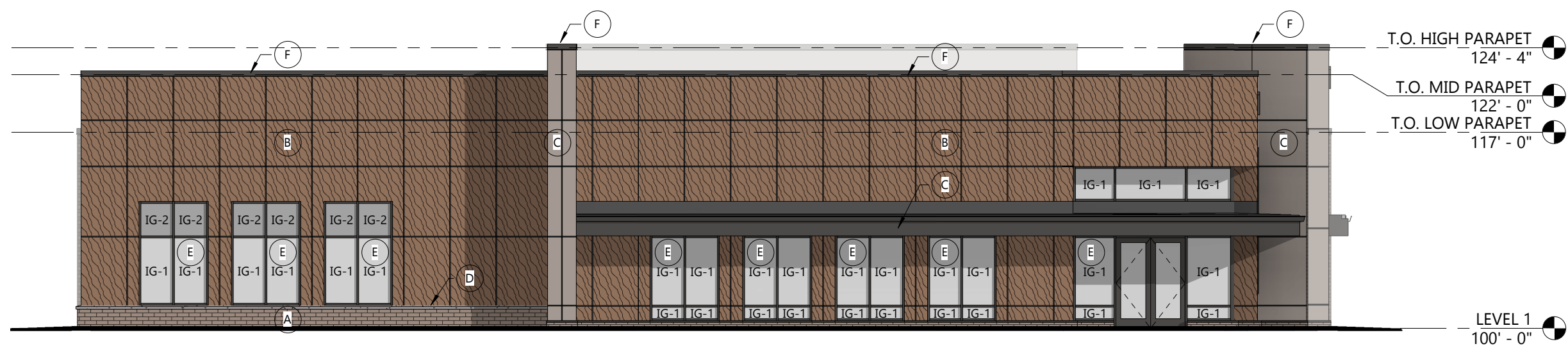
The rain garden is adequately sized to provide the required mitigation.

We approve the mitigation plan contingent on the following:

1. The mitigation plan narrative, plan, and the Plan Commission minutes are recorded at Waukesha County (City provided a recorded copy) as required in the ordinance using the Recording Template previously provided to the owner.

KEYED EXTERIOR ELEVATIONS - CITY	
TAG #	DESCRIPTION
A	MASONRY UNITS
B	WOOD GRAIN - PHENOLIC PANEL
C	SOLID COLOR METAL PANEL
D	MASONRY SILL
E	THERMALLY BROKEN ALUMINUM STOREFRONT SYSTEM
F	PREFINISHED ALUMINUM COPING
G	PROPOSED TENANT SIGNAGE LOCATION

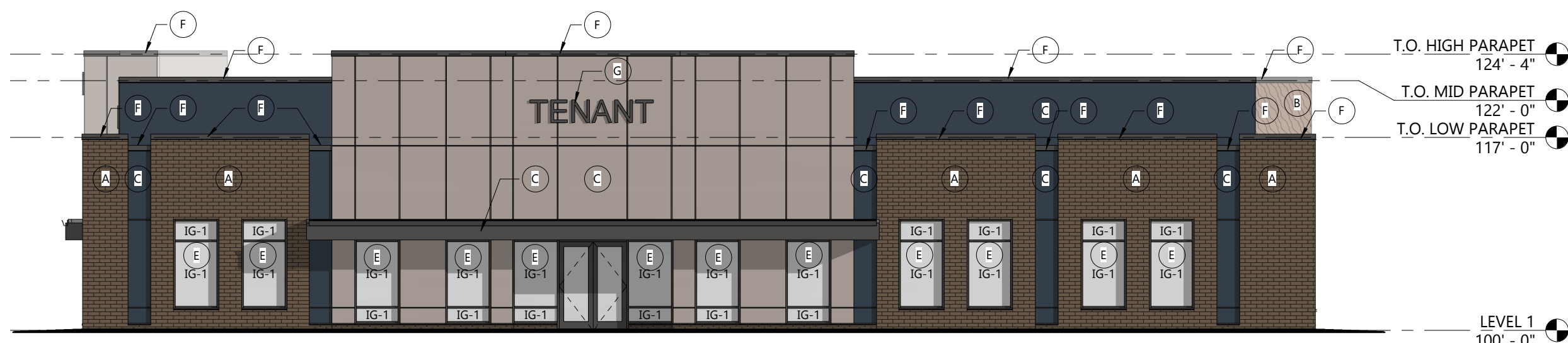
GLAZING KEY	
IG-1 & IG-1T	INSULATED CLEAR VISION GLAZING
IG-2 & IG-2T	INSULATED SPANDREL GLAZING



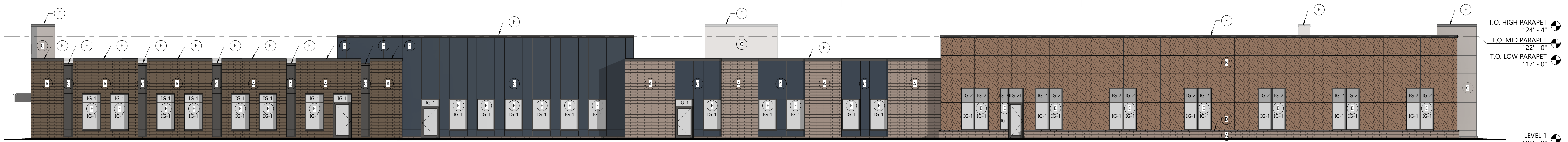
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"



PERSPECTIVE LOOKING NORTHWEST



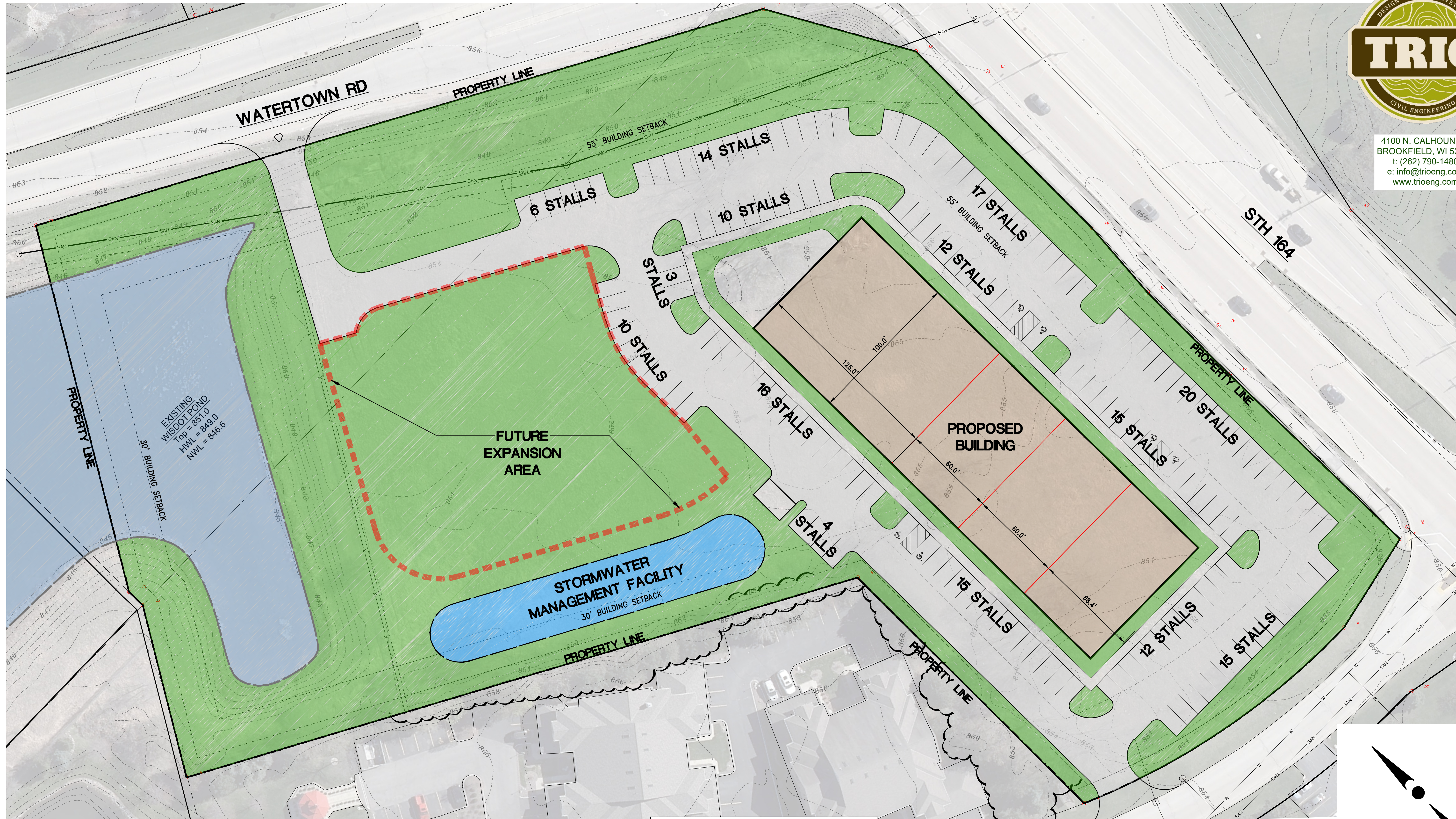
PERSPECTIVE LOOKING WEST



PERSPECTIVE LOOKING SOUTHWEST



4100 N. CALHOUN RD
 BROOKFIELD, WI 53005
 t: (262) 790-1480
 e: info@trioeng.com
 www.trioeng.com

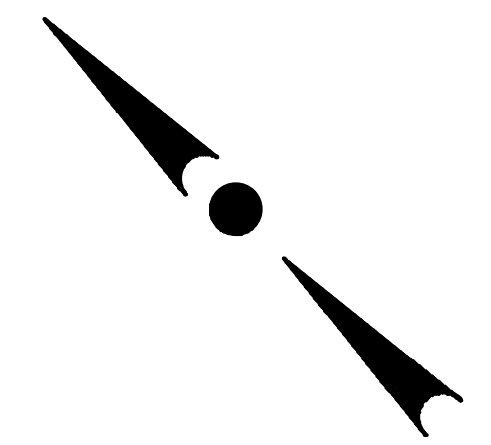


CONCEPT SITE PLAN #4

PEWAUKEE - STH 164 & WATERTOWN ROAD

CITY OF PEWAUKEE, WI

SITE DATA TABLE	
LOT AREA	= 6.5 acres (282,425 s.f.)
ZONING	= B-6
OPEN SPACE	= 145,014 s.f. (62.0%)
BUILDING AREA	= 30,500 s.f. (10.8%)
SURFACE PARKING	
PARKING STALLS	= 169 STALLS



0 15 30 60

Scale: 1" = 30' (22"x34")

Scale: 1" = 60' (11"x17")

DATE: 10-21-2025

X:\2025\25-42-1269_Pewaukee & Watertown Road - Pewaukee Drawings\Concepts\2025-10-21_ICAP_CONCEPT_PLAN_4.dwg



October 20,2025

Nick Fuchs
Planner & Community Development Director
City of Pewaukee

SUBJECT: Site Plan Review Submittal
W240N2687 Pewaukee Rd.
Pewaukee, WI 53072

Project Location:

The vacant 6.484-acre lot commonly known as W240N2687 Pewaukee Rd (Parcel ID: PWC 0924995). The legal description of the site is LOT 1 CERT SURV 7545 VOL 64/202 REC AS DOC# 2008170 PT SE1/4 & NE1/4 SEC 15 & PT NE1/4 SEC 22 T7N R19E :: EX DOC# 3092187 :: DOC# 4227761 (the "Property"). The Property is an undeveloped lot along the HWY 164 corridor between I-94 to the south and Capitol Drive to the north. The Property is surrounded by a multitude of uses including residential, senior living, and professional offices. The Applicant currently has a contractual agreement with the owner to purchase the Property for the purpose of developing the Project (defined below).

Project Description:

ICAP Development (the "Applicant") seeks to construct a multi-tenant, multi-service medical office building on the Property (the "Project"). The single-story building will have an anchor tenant that is a regional medical provider in the Milwaukee Area, and the building will be designed to accommodate an additional 3-5 medical office users. The Project may also include a future expansion that may include a second building, as conceptually shown on the site plan.

The proposed Project may provide the full spectrum of healthcare services including (a) medical offices, medical clinics and uses related to the provision of medical services, including without limitation, dental care, optical care, physical therapy, physical fitness and health centers, occupational therapy, clinical uses, labs, diagnostic testing, outpatient departments of a hospital, specialty care, primary care, urgent care, mental and behavioral health services, and a day hospital (b) community and social service uses, including without limitation, counseling, therapy, child advocacy services and foster care services, (c) general offices, and (d) any accompanying ancillary uses reasonably related to medical uses, social service uses, or general office uses (including, without limitation, retail sales of prosthetics and/or other products that are related to the medical use).

Scope of Project:

The proposed Project includes the following improvements to the Property:

- An approximately 35,000sq. ft. multi-tenant medical office building.
- A 159-stall parking lot.
- An onsite storm water retention pond.
- A future phase of an approximately 20,000 SF medical office building.
- The exterior of the proposed building consists of a mixture of materials including masonry, architectural panels and glass which is meant to complement the surrounding buildings along this corridor. Additionally, brick detailing, roofline changes, and window features add further interest to the building design.

Included in this submittal are the following documents for reference:

- (i) Site Plans showing all proposed improvements to the Property.
- (ii) The exterior elevations for the proposed building.
- (iii) Renderings of the proposed building.

Zoning & Use:

The Property is currently zoned B-6, Mixed-Use Business. The intended use is a multi-tenant medical office building consisting of a combination of medical office and traditional offices for supporting medical office functions. The proposed Project appears to be a mixture of several uses permitted under the existing zoning of B-6, which is dedicated to non-industrial business use, of which, professional offices of a doctor, dentist, or other similarly recognized profession is a permitted principal use.

The Property will be improved with an onsite storm water management system which will be designed to meet all governmental standards.

A summary of the site requirements and proposed Project conditions is outlined below:

Requirement	Standard in B-6 Zoning	Project
Minimum Lot Width	160'	450'
Minimum Lot Depth	N/A	N/A
Minimum Lot Size	2 Acres	6.5 Acres
Minimum Front Setback	30'	85'
Street Side Setback	55'	115'
Interior Side Setback	30'	50'
Rear Setback	30'	60'
Maximum Building Height	45'	25'
Max Impervious Surface	60%	48.70%
Minimum Parking Stalls*	147	159
*Minimum parking per code is 7 stalls per 1 doctor. Project assumes 1 doctor per 1,500 SF for a total of 21 doctors.		

Traffic:

The Project contemplates two access points, one from Watertown Road and one from River Park Drive. The access point on the north from Watertown Road will be located along the far west edge of the property in an effort to remain as far away from the controlled intersection of Watertown Road and State Highway 164 as reasonably possible. The access point on the south end of the Property will be from the exiting River Park Drive.

Environmental Considerations:

No Natural Resource Feature Areas were identified. Additionally, no Recognized Environmental Conditions were identified during Applicant’s investigation.


Schedule:

Applicant desires to begin development on the Property immediately upon receiving all site and building approvals from the City of Pewaukee and other authorities having jurisdiction. The Project is estimated to be fully open and operational by mid-2027.

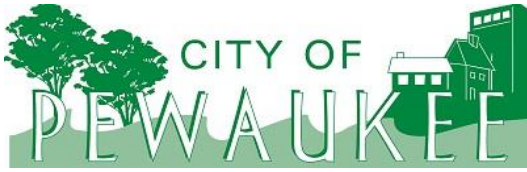
Request:

ICAP Development is very excited to present the proposed Project to the City of Pewaukee Planning Staff and respectfully requests review of the Project and Building.

Respectfully Submitted,



Brian R Adamson
ICAP Development LLC



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of November 20, 2025

Date: November 10, 2025

Project Name: ICAP Development Conceptual Review

Project Address/Tax Key No.: W240N2687 Watertown Rd/PWC 0924995

Applicant: Brian Adamson, ICAP Development LLC

Property Owner: ENVENTURE GROUP LLC

Current Zoning: B-6 Mixed Use Business District

2050 Land Use Map Designation: Retail/Service Commercial and Floodplains, Lowland & Upland Conservancy

Use of Surrounding Properties: Single-family residential and multi-family residential to the West, River Park Drive and multi-family residential to the south, HWY 164 to the east, and Watertown Plank Rd./ HWY M to the north.

Project Description/Analysis

The applicant submitted a Conceptual Review Application for a multi-tenant commercial development located at W240N2687 Watertown Road.

The 5.4-acre property is currently vacant and zoned B-6 Mixed Use Business District. The property is located on the southwest corner of Watertown Plank Road and Pewaukee Road (Hwy 164). The proposed development consists of a 35,000 square foot multi-tenant building for the initial phase of the project. Access includes ingress/egress from River Park Drive as well as Watertown Road. The building materials are shown as a mix of masonry, phenolic panels¹, and metal panels.

A future phase is noted within the project narrative and shown as an expansion area on the conceptual site plan. According to the applicant, the future phase would consist of a second, approximately 20,000 square foot building, and maintain compliance with the City's forty percent minimum greenspace requirement.

The applicant describes anticipated uses as multi-service medical offices and clinics. The B-6 District allows Permitted uses as listed within the B-4 and B-5 districts if there is no outside storage of equipment, materials, or vehicles. The B-6 District also allows, as a Conditional Use, those uses listed in the B-4 and B-5 districts with outside storage as well as "[a]ny retail, service or office use that is compatible with those uses listed above as determined by the Plan Commission." Individual uses will

¹ Phenolic panels are a flat panel based on thermosetting resins, homogenously reinforced with wood fibers and manufactured under high pressure and temperature. Using special techniques, the panels have an integrated, decorative surface with pigmented resins. The resultant properties make the product particularly suitable for a wide range of exterior applications. Phenolic panels are resistant to weather and sun and because it is closed pore, it does not attract dirt. Cleaning is easy and inexpensive. ("Phenolic Panels," accessed November 10, 2025, <http://www.architecturalpanelsystems.com/phenolic-panels/>).

be subject to Business Plan of Operation of Conditional Use Permit applications depending upon the specific use and allowance within the B-6 District.

The development does not require a change in zoning or an amendment to the Comprehensive Master Plan. A Site & Building Plan Review Application will be required for Plan Commission review of the site design and building architecture.

Recommendation

No action required.

It is recommended that sufficient feedback be provided to allow the applicant to determine whether to proceed or not with the required applications and plans.