



Office of the Clerk/Treasurer
W240 N3065 Pewaukee Road
Pewaukee WI 53072
Phone: 262-691-0770

**COMMON COUNCIL
MEETING NOTICE AND AGENDA
Monday, August 18, 2025
6:30 PM**

Pewaukee City Hall Common Council Chambers
W240N3065 Pewaukee Road, Pewaukee, WI

1. Call to Order and Pledge of Allegiance
2. Public Comment - Please limit your comments to two minutes. If further time for discussion is needed, please contact your District Alderperson prior to the meeting.
3. Miscellaneous Items
Miscellaneous Items
 - 3.1 Proclamation Presentation to donors of the all-inclusive playground and Garrison's Splash Pad project at the Pewaukee Sports Complex [Fuchs/Phalin]
 - 3.2 Discussion and Possible Action to Either Cancel or Reschedule the First Meeting of September Due to Falling on Labor Day [Mayor Bierce]
 - 3.3 Discussion and Possible Action to Approve the Accounts Payable Listing Dated August 18, 2025 [Tarczewski]
4. Plan Commission Reports and Recommendations
 - 4.1 Further Discussion and Possible Action Regarding a Conditional Use Permit for the Purpose of Operating a Retail Tobacco and Vape Shop Located at N20 W22951 Watertown Road, Suite 105 (PWC 0958-982-004) as Requested by Smokeexpress LLC / Cloud 9 (Public Hearing Held on July 7, 2025) [Fuchs]
5. Engineering
 - 5.1 Discussion and possible action regarding support Waukesha County's proposed CTH F (Redford Boulevard) reconstruction projects [Wagner]
 1. **Resolution 25-08-23** Support of Waukesha County for the Pavement Replacement, Intersection Improvements, and Bike/Pedestrian Accommodations on CTH F (Redford Boulevard) between Interstate Highway 94 and Duplainville Road.
 2. **Resolution 25-08-24** Support of Waukesha County for the Pavement Replacement, Intersection Improvements, and Bike/Pedestrian Accommodations on CTH F (Redford Boulevard) between Interstate Highway 94 and Moreland Boulevard.
 - 5.2 Discussion and Possible Action Regarding Quiet Zone Crossings [Wagner]
 1. **Resolution 25-08-25** For The Designation of a Quiet Zone at the CN Railroad Crossing at Weyer Road (692244T)
 2. **Resolution 25-08-26** For The Designation of a Quiet Zone at the CN Railroad Crossing at Watertown Road (692232Y)
 3. **Resolution 25-08-27** For The Designation of a Quiet Zone at the CN Railroad Crossing at Green

Road (692237H)

6. Public Comment - Please limit your comments to two minutes. If further time for discussion is needed, please contact your District Alderperson prior to the meeting.
7. Adjournment

Kelly Tarczewski
Clerk/Treasurer
August 14, 2025

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum at the above stated meeting. No action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the Clerk/Treasurer, Kelly Tarczewski, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

City of Pewaukee Proclamation

A PROCLAMATION IN RECOGNITION OF DONORS OF \$10,000 OR MORE

Whereas, the City of Pewaukee Common Council determined an all-inclusive playground and splash pad to be a desired amenity and benefit to the community that will enhance the quality of life for residents and the surrounding area; and

Whereas, the Pewaukee Sports Complex, being a focal point of the City's Park System, is an ideal location for an all-inclusive playground and splash pad; and

Whereas, through the generous support of numerous individuals and businesses, sufficient funds were raised to assist in the construction of the all-inclusive playground and Garrison's Splash Pad project; and

Whereas, these individuals and organizations show their kindness, commitment to the community, and desire to provide recreational opportunities for children of all abilities to play together; and

Whereas, the City gives special thanks and recognition to those donors contributing \$10,000 or more to this project, including the Wisconsin Department of Natural Resources Land and Water Conservation Fund, Mr. Rick Fuhry, Friends of the Parks of Pewaukee, the Stackner Family Foundation, Bryon Riesch Paralysis Foundation, Froedtert & the Medical College of Wisconsin, Chris and Natalie Kappl, Bubba's, and the Pewaukee Firefighter's Auxiliary; and

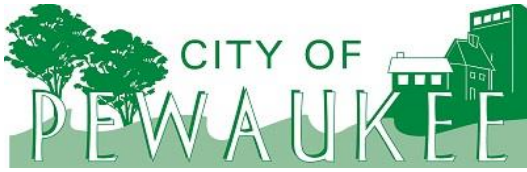
Now, Therefore, Be It Resolved, by the City of Pewaukee, on behalf of all of the Citizens of Pewaukee, Wisconsin, hereby extend sincere gratitude and appreciation to each donor contributing to this meaningful cause; and

Be It Further Resolved, a copy of this Proclamation be presented to each donor, recognizing their valuable support and dedication to our community.

Presented to the City of Pewaukee Common Council this 18th day of August, 2025.

Colleen Brown
Common Council President

Steve Bierce
Mayor



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of June 12, 2025

Date: June 3, 2025

Project Name: SmokeXpress, LLC (DBA Cloud 9) Conditional Use

Project Address/Tax Key No.: N20W22951 Watertown Road, Suite 105 / PWC 0958982004

Applicant: Mohamad Abdelsalam

Property Owner: Pewaukee Retail Partners LLC

Current Zoning: B-6 Mixed Use Business District

2050 Land Use Map Designation: Retail/Service Commercial

Use of Surrounding Properties: Kwik Trip and Accent On Dance Studios to the north, M-2 zoned property to the south, M-1 zoned property to the east, and County Highway F and vacant land to the west.

Project Description and Analysis

The applicant filed a Conditional Use Permit requesting approval of a smoke and vape retail store to occupy existing tenant space located at N20W22951 Watertown Road, Suite 105. The store intends to sell tobacco, vape and CBD related products.

The tenant space has an area of 2,113 square feet. The proposed hours of operations are Monday through Sunday, 9:00 a.m. to 10:00 p.m. According to the applicant, the business will have a combination of four to five full-time and part-time employees. Note there are no beer or liquor sales proposed. The site contains about eighty-two parking spaces, which are shared by all tenants.

The applicant is not proposing any exterior site or building modifications other than signage. It is anticipated that the applicant would propose an illuminated wall sign for the business. The applicant has also indicated that they would like to install window decals advertising certain products. The wall sign and any proposed window signage will require staff review of a Sign Permit Application. The allowance for window signage is below and must be adhered to by the applicant.

Permanent Window Sign shall be placed only on the inside of the window and shall not exceed twenty-five (25) percent of the glass area of the window upon which the sign is displayed. Illuminated window signs shall not be illuminated after the business is closed for the day.

The property is zoned B-6 Mixed Use Business District. Note there is also LC Lowland Conservancy District along the rear or south property line.

The B-6 District allows permitted and conditional uses as allowed within the B-4 and B-5 Districts as well as “Any retail, service or office use that is compatible with those uses listed above as determined by the Plan Commission.”

It can also be noted that the B-6 Mixed Use Business District “is intended to provide for the orderly and attractive grouping of buildings which encompass more than one type of nonindustrial business use which are compatible from a traffic, density and general use standpoint.”

The B-4 District generally permits office use. The district intent states:

“The B-4, Office District is intended to provide for Individual or limited office, professional, and special service uses where the office activity would be compatible with neighborhood residential uses and not necessarily exhibit the intense activity of other business districts.”

The B-5 District generally permits auto sales and services type uses as well as building supply stores, motels and hotels, restaurants, transit stations, and commercial kennels. The B-5 District intent is below for review.

“The B-5, Highway Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer service establishments which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such traffic.”

It can further be noted that 2017 Act 67 made changes regarding Conditional Use Permits (see requirements below). The applicant has provided detailed information related to the proposed business use for Plan Commission and Common Council consideration.

(de) Conditional use permits.

1. In this paragraph:

- a.** “Conditional use” means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
- b.** “Substantial evidence” means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

2.

- a.** If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
- b.** The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.

3. Upon receipt of a conditional use permit application, and following publication in the city of a class 2 notice under ch. [985](#), the city shall hold a public hearing on the application.
4. Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
5. If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. [\(e\) 10](#).

Recommendation

Staff recommends approval of the proposed Conditional Use Permit for SmokeXpress, LLC (DBA Cloud 9) located at N20W22951 Watertown Road, Suite 105, subject to the following conditions:

1. Applicant shall obtain all other governmental approvals, permits, licenses and the like, required for and applicable to the proposed use and sale of tobacco products, including but not limited to the State of Wisconsin Department of Revenue.
2. Hours of operations shall not extend past 10:00 p.m. without an amendment to this Conditional Use Permit.
3. This Conditional Use Permit shall be subject to periodic review to ensure ongoing compliance with applicable City, County and State standards and regulations.
4. Window signage shall be allowed in accordance with Section 340-9.6E. of the Zoning Code. No other lighting, signage, promotional displays, or advertisements shall be affixed to or displayed on the exterior surface of windows or placed within the interior of the store with the intent or for the purpose of being visible through the windows to the exterior of the storefront. All internal lighting, signage, promotional displays, and advertisements must be positioned and directed such that they are not visible through the windows to the exterior.

Business Narrative

Submitted by: SmokeXpress LLC DBA Cloud 9

Location: N20W22951 Watertown Road, Suite 105, Pewaukee, WI 53072

1. Business Overview & Purpose

Cloud 9 Smoke & Vape is a legal and fully compliant specialty retail store focused on the sale of regulated tobacco, vape, and CBD-related products. Unlike previous applicants, we are not a convenience store or mixed-use market. We are transparent in our purpose and intend to serve the community with safe, lawful, and responsible product offerings, comparable to nearby retailers such as Kwik Trip.

Our product selection includes:

- **Vapes & E-Cigarettes:** Only legal, FDA-regulated products—no homemade or illicit substances
- **CBD & Hemp Products:** Fully compliant with the 2018 U.S. Farm Bill, sourced from licensed manufacturers
- **Premium Cigars:** Stored in a **dedicated climate-controlled humidor** (planned for future development)
- **Tobacco & Vape Accessories:** Hookahs, rolling papers, lighters, and other lawful items

We fully support the City of Pewaukee’s **Ordinance No. 10-12**, prohibiting chemical synthetic cannabinoids, and maintain a strict zero-tolerance policy on unregulated or chemical synthetic products. All of our staff will be thoroughly trained in Wisconsin age-verification and compliance procedures.

2. Project Request Summary

SmokeXpress LLC is requesting a **Conditional Use Permit (CUP)** for the legal operation of a smoke and vape shop at **Suite 105, N20W22951 Watertown Road**, in an existing commercial building. This business model is entirely distinct from a convenience store and will adhere strictly to local, signage, and operating regulations.

3. Zoning Compliance – Section 17.0501

We recognize the city’s obligation under Section 17.0501 of the Zoning Ordinance, which prohibits uses that are:

“Hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the neighborhood or community.”

Cloud 9 Smoke & Vape will:

- **Operate legally and transparently** with appropriate licensing
- **Pose no harm or offensive impact** to the neighborhood or environment
- **Maintain a discreet and tasteful storefront**, free of offensive marketing

- **Follow comparable use precedents**, such as the nearby Kwik Trip, which also sells tobacco legally

We respectfully assert that Cloud 9 qualifies under this section and invites fair evaluation as a compliant business.

4. Response to Prior Denial – Addressing Concerns

We have thoroughly reviewed the City of Pewaukee’s April 1, 2024 denial of a previous CUP application. Below is how we differ and directly respond to each issue raised:

- **Lack of Representation at Hearings:** Our team will be fully present and available for all meetings to represent the application, answer questions, and offer clarifications.
 - **Business Misrepresentation:** We are not a cultural or convenience store. We are a transparent, legal smoke and vape retail store, consistent with permitted uses in the area.
 - **Zoning Compliance Evidence:** We are fully prepared to demonstrate that our store meets zoning permitted uses. Our business use is comparable to approved establishments nearby and have included a document which lists the permitted uses of the building upon purchase in 2016 by the owner.
-

5. Site & Building Improvements

Cloud 9 will professionally upgrade the interior and storefront of Suite 105 to ensure full compliance with city standards. Planned improvements include:

- Custom shelving and secure display showcases
- Flooring and lighting enhancements
- A back office and storage space (separate from retail floor)
- A bathroom which was installed in 2024
- Full security system installation, including surveillance cameras and employee-only access controls
- ADA-compliant layout and customer entrance

All work will be conducted by licensed contractors and will adhere to all applicable City of Pewaukee building, safety, and zoning codes.

6. Future Plans

Cloud 9 has a vision for long-term growth and community involvement, including:

- Installation of a climate-controlled humidor for high-end cigar storage
 - Collaborations with local artists for in-store and exterior custom artwork
 - Continued staff education on compliance and customer safety
 - Potential community outreach efforts to promote responsible product use
 - Annual Donations to the city of pewaukee for city initiatives
-

7. Tentative Development Schedule (~May–June 2025)

Phase	Timeframe
Weeks 1	Final buildout quotes and contractor agreements
Weeks 2	Buildout: shelving, humidor installation, security system setup
Week 3-4	Final inspections and compliance checks
Grand Opening	~30 days after permit approval

8. Estimated Project Value

Category	Estimated Cost
Interior Buildout, Labor & Permits	~\$50,000
Inventory (Tobacco, Vape, CBD)	~\$150,000
Fixtures, Signage, Art, Equipment	~\$50,000
Total Project Investment	~\$250,000

9. Conclusion

We want to sincerely thank the City of Pewaukee for its thoughtful and thorough approach in reviewing applications like ours. We understand and respect the careful consideration that goes into permitting businesses of this nature, and we fully appreciate the effort to preserve the standards and character of the community.

SmokeXpress LLC, doing business as Cloud 9, is not only transparent about who we are and what we sell — we take pride in being upfront, honest, and professional. We do not intend to disguise our identity or present ourselves as something we're not. We are a smoke shop for adults, focused strictly on offering regulated, legal products for responsible adult use.

One thing we didn't get a chance to share earlier is that, while many of our products are used recreationally, some are also essential to individuals dealing with chronic health conditions. As a healthcare provider, I've had patients share how difficult it is to find **quality, compliant**

products nearby — especially those managing chronic pain from cancer, anxiety, multiple sclerosis, and other conditions. Many have to travel across town to access these products. We hope to become a reliable, local option for those individuals in our community.

Additionally, we want to highlight our full support for the City’s **Ordinance No. 10-12**, which prohibits the sale of chemical synthetic cannabinoids such as Spice, K2, and other “fake marijuana” products. We have a strict zero-tolerance policy when it comes to unregulated or chemical synthetic substances and will **never** offer them in our store. Our goal is to create a safe, trustworthy space — the go-to shop for legal, regulated products that adults in our community can safely rely on.

We also maintain a zero-tolerance policy for loitering, underage customers, or any conduct that could compromise the safety and reputation of our business or the neighborhood. We aim to be a model retail operation — one that contributes not only through tax revenue and local jobs, but also through annual donations to city projects and initiatives that support Pewaukee’s continued growth and well-being.

We’re fully committed to working with the City and Common Council every step of the way. If there are any concerns about our signage, branding, or presentation, we welcome the feedback and are more than willing to make adjustments to meet the community’s expectations. Our goal is to build confidence and trust in our intentions and operations.

We genuinely hope Cloud 9 can be the only smoke shop in this area — operated with professionalism, transparency, and a deep sense of responsibility. We look forward to continuing this dialogue and thank you again for the opportunity to present our vision.

Sincerely,

SmokeXpress LLC
414-502-4550



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

PETITION FOR CONDITIONAL USE

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin for a Conditional Use Permit for the purpose of: Operating a retail tobacco and vape shop, including the sale of cigarettes, tobacco products, electronic vaping devices, CBD products, accessories, and the like. We will adhere strictly to all local, state, and federal regulations, including age verification laws and licensing requirements.

Legal description of property – Please attach.

Common property description or name: Pewaukee Crossings Retail Center

Property Address: N20W22951 Watertown Rd, Ste 105 Pewaukee, WI 53186 **Tax Key Number(s):** 0958-928-003

Property owner(s) (Full Legal Name): Pewaukee Retail Partners LLC

Owner's Address: 14102 Abbeyfield Ave **City/State/Zip:** Rosemount, TX 75068

Phone: 612-382-3403 **Email:** matt@amkprop.com

Applicant (Full Legal Name):

Name: Mohamad Abdelsalam

Company: SMOKEXPRESS LLC

Address: N20W22951 Watertown Rd, Ste 105

City/State/Zip: Pewaukee, WI 53186

Phone: 708-845-2357

Email: Smokexpresswi@gmail.com

Contact Person (Full Legal Name):

Name: Mohamed Abdelrahim

Company: SMOKEXPRESS LLC

Address: N20W22951 Watertown Rd, Ste 105

City/State/Zip: Pewaukee, WI 53186

Phone: 414-502-4550

Email: Smokexpresswi@gmail.com

Conditional Use submittals must include and be accompanied by the following:

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
 - ☐ \$400.00, plus cost for publication, notice and all attorney fees related to project
- ☐ Five (5) complete collated sets of Application materials to include:
 - ☐ A written project narrative detailing the request, business/use operational information, future development plans, site and building improvements, tentative development schedule, and estimated project value.
 - ☐ Scaled drawings, as may be applicable, including, but not limited to; a site plan, grading/erosion control plan, preliminary storm water management plan, landscape plan, lighting plan, building elevations, colored renderings, sign details and natural resource delineations.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

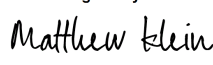
By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

PETITIONER'S/APPLICANT'S SIGNATURE: 

NAME & TITLE (PRINT): Mohamad Abdelsalam Owner of SMOKEEXPRESS LLC

SIGN AND DATED this 25th **day of** March, 2025.

DocuSigned by:

F47ECFDF20654D6...

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): Matthew Klein

SIGN AND DATED this 26th **day of** March, 2025.

PROPERTY OWNER'S SIGNATURE: _____

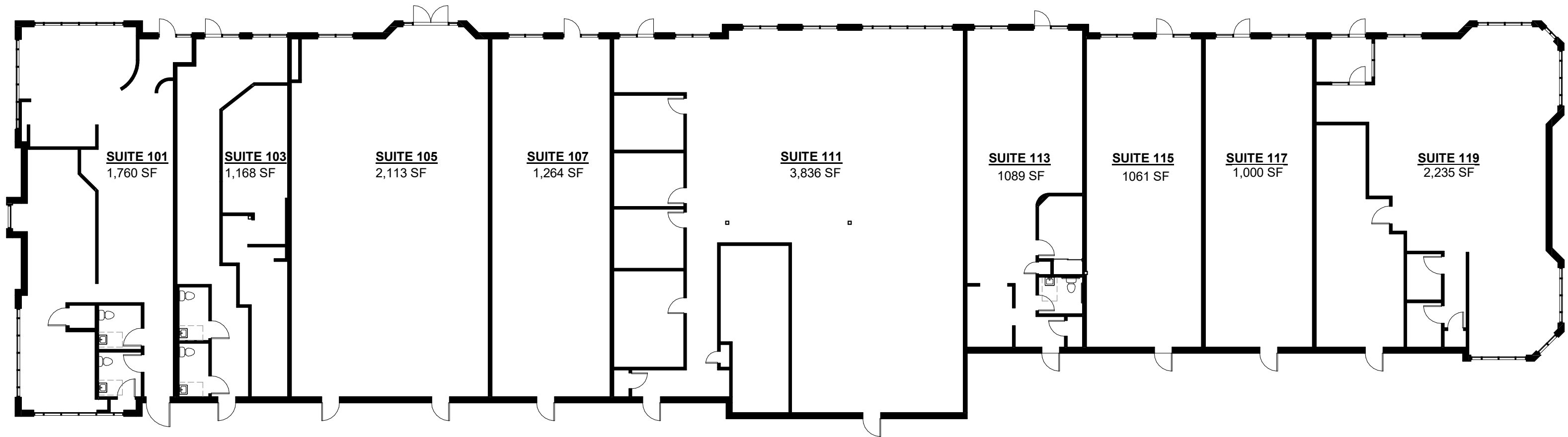
NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

City Staff-

RECEIVED at City Hall by: _____ on _____

Fee paid: \$ _____ Date: _____



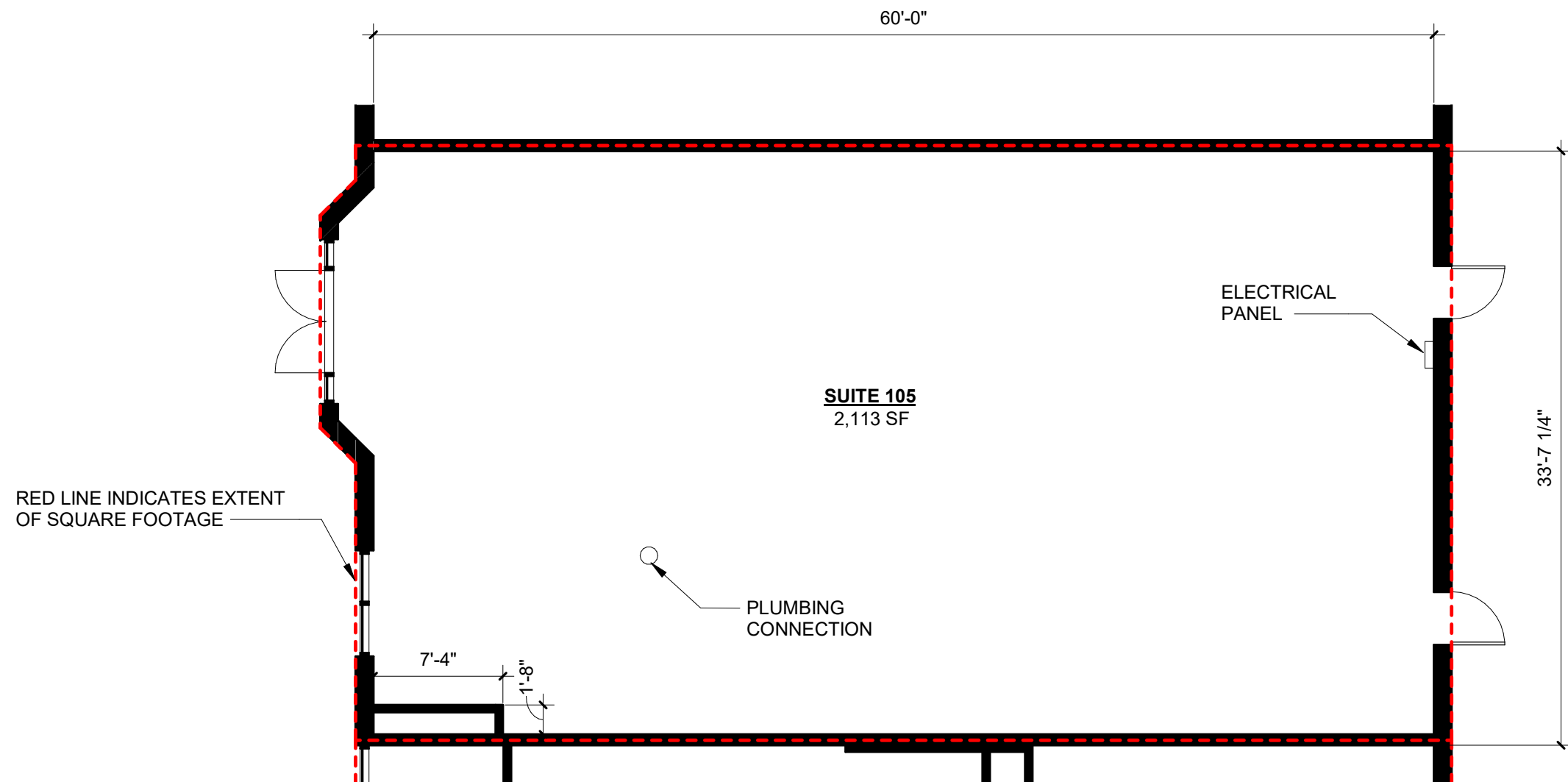
TOTAL SF:
15,526 SF



OVERALL

PEWAUKEE CROSSINGS

1/16" = 1'-0"



SUITE 105

PEWAUKEE CROSSINGS

1/8" = 1'-0"

Part A: Premises/Business Information

1 Legal Business Name (individual name if sole proprietor)

SmokeXpress LLC

2 Business Trade Name or DBA

CLOUD 9

3 FEIN

33-4159145

4 Wisconsin Seller's Permit Number

456-1032003553-04

5 Entity Type (check one)

☐ Sole Proprietor☐ Partnership☒ Limited Liability Company☐ Corporation

6 State of Organization

Wisconsin

7 Date of Organization

3/24/25

8 Wisconsin DFI Registration Number

S159734

9 Premises Address (do not use PO Box)

N20W22951 Watertown Rd., Suite 105

10 City

Pewaukee

11 State

WI

12 Zip Code

53186

13 County

Waukesha

14 Governing Municipality

☒ City☐ Town☐ Village

of Pewaukee

15 Aldermanic District

16 Mailing Address (if different from premises address)

745 W. Grange Ave Apt 204

17 City

Milwaukee

18 State

WI

19 Zip Code

53221

20 Premises Phone

708-845-2357

21 Premises Email

SmokeXpresswi@gmail.com

22 Website

Ø

23 Premises Description - Describe the building or buildings where cigarettes, tobacco products, and electronic vaping devices are to be sold and stored. Describe all rooms including living quarters, if used, for the sales and/or storage of cigarettes, tobacco products, and electronic vaping devices and records. Cigarettes, tobacco products, and electronic vaping devices may be sold and stored ONLY on the premises described in this application. Attach a floor plan if possible.

The business is located at N20W22951 Watertown Rd Ste 105, Pewaukee WI 53186, within a shopping center at Pewaukee Crossings. The Sales area will be at front of store, where tobacco products and electronic vapes are displayed and sold. Inventory will be stored in locked back room of the store, separate from customer access. Records will be kept in a secure office space. No living quarters are present on the premises.

Part B: Questions

1 What products will be sold at this business location? (check all that apply)

☒ Cigarettes☒ Tobacco Products☒ Electronic Vaping Devices

2 How will cigarettes, tobacco, and/or electronic vaping devices be sold? (check all that apply)

☒ Over the counter☐ Vending machine

3 Is the applicant business owned by another business entity?

☐ Yes☒ No

If yes, provide the name(s) and FEIN(s) of the business entity(s) below. Attach additional sheets if necessary.

3a Name of Business Entity:

3b FEIN of Business Entity:

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following titles or positions in the applicant business and any businesses listed in Part B. Question 3: sole proprietor, all officers, directors, and agents of a corporation, all partners of a partnership, and all members and agents of a limited liability company. Attach additional sheets if necessary.

Include Form CTV-101, *Individual Questionnaire*, for each person listed below.

Last Name	First Name	Title	Phone
Abdelsalam	Mohamad	Owner	708-845-2357

Part D: Attestation

One of the following must sign and attest to this application:

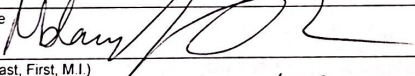
- sole proprietor
- one general partner of a partnership
- one corporate officer
- one managing member of an LLC

READ CAREFULLY BEFORE SIGNING:

I understand and agree to the following:

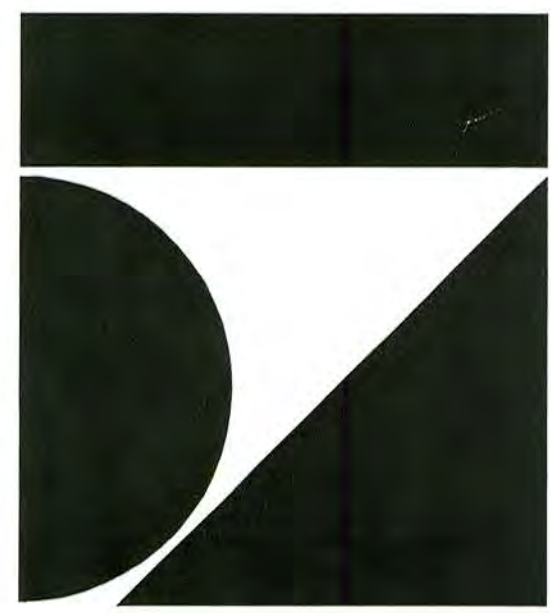
- I will only purchase cigarettes, tobacco, and vapor products from distributors, jobbers, or subjobbers permitted by the Wisconsin Department of Revenue, unless I also hold the proper distributor's permit and pay all applicable excise taxes.
- I will not purchase or exchange products from another retailer, including transferring existing stock to a new owner.
- I will provide tobacco sales training that has been approved by the Wisconsin Department of Health Services to my employees. (<https://witobaccocheck.org>).
- I will not sell single cigarettes.
- I will not sell, give, or otherwise provide cigarettes, tobacco, or any nicotine products to minors.
- I will keep product invoices on the licensed premises for two years and ensure the records are available for inspection by law enforcement. Failure to comply with this will result in criminal penalties, including loss of inventory.
- I will not sell cigarettes or roll-your-own (RYO) tobacco products unless listed on the Wisconsin Department of Justice's directory of certified tobacco manufacturers and brands.

Further, under penalty provided by law, I state that this application has been truthfully answered to the best of my knowledge. I agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, cannot be assigned to another. Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature		Date	03/28/2025
Name (Last, First, M.I.) Abdelsalam, Mohamad S.			
Title	Owner of Smoke Express LLC	Email	SmokeExpresswi@gmail.com
		Phone	708-845-2357

Part E: For Clerk Use Only

Date application was filed with clerk	Date license issued	Date license expires	License number
License fees	Signature of Clerk/Deputy Clerk		



the Zimmerman Design Group

Architecture Planning Interior & Environmental Design

7707 Harwood Avenue

Milwaukee, WI 53213

414 476 9500

A NEW BUILDING FOR:

PEWAUKEE CROSSINGS

COUNTY HWY "F" & WATERTOWN ROAD

ZDG PROJECT #: 060033.00

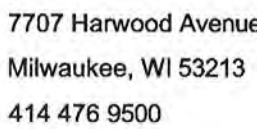
DEPARTMENT OF COMMERCE
DIVISION OF SAFETY AND BUILDINGS
SEE CORRESPONDENCE

Approved
Staff
Design
C.B.I.
C.B.I.

Full Plans w/ CB-1

06.14.06

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11	12	13	14	15
16	17	18	19	20

ALL ARCHITECTURAL DRAWINGS ARE ORGANIZED IN CONJUNCTION WITH THE ADJACENT GRID LAYOUT. DRAWINGS ARE NUMBERED IN SEQUENTIAL ORDER LEFT TO RIGHT, TOP TO BOTTOM BEGINNING WITH THE UPPER LEFT DRAWING.

LAND INFORMATION SERVICES, INC.
9722 W. WATERTOWN PLANK ROAD
WAUWATOSA, WI 53226
(414)302-9515
(414)302-9516 - (FAX)

Floor Plan
 SCALE: $X/X'' = 1'-0''$
 NAME OF DRAWING
 DRAWING IDENTIFICATION
 SCALE
 DRAWING NUMBER

Detail
 DETAIL NUMBER
 DETAIL REFERENCE
 SHEET NUMBER

Section
 WALL SECTION REFERENCE
 BUILDING SECTION REFERENCE

Elevation
 DETAIL NUMBER
 INTERIOR ELEVATION
 SHEET NUMBER
 DETAIL NUMBER
 EXTERIOR ELEVATION
 SHEET NUMBER

Column Grid Line
 COLUMN GRID LINE REFERENCE

Door
 DOOR NUMBER

Room
 ROOM NAME
 ROOM NAME & NUMBER

North Arrow
 NORTH SYMBOL

Revision Tag
 REVISION TAG

Keynote Tag
 KEYNOTE TAG

Wall Type Tag
 WALL TYPE TAG

Window Tag
 WINDOW TAG

Demolition / Equipment Tag
 DEMOLITION / EQUIPMENT TAG

	EARTH		BATT INSULATION
	SAND, PLASTER, GROUT		STEEL
	GRAVEL		GYPSUM WALLBOARD
	CONCRETE		WOOD, FINISHED
	PRECAST CONCRETE		WOOD, BLOCKING
	BRICK		WOOD SHIM
	CONCRETE BLOCK		PLYWOOD
	TERRAZZO		ACOUSTICAL TILE
	METAL STUD PARTITIONS		WOOD STUD PARTITIONS
	RIGID INSULATION		CEMENTITIOUS SHEATHING

PIERCE ENGINEERS, INC.
241 N. BROADWAY, SUITE 500
MILWAUKEE, WI 53202
(414)278-6060
(414)278-6061 - (FAX)

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
2. FINISHED FLOOR HEIGHT IS 100'-0". REFER TO CIVIL PLAN FOR ACTUAL DATUM ELEVATION.
3. ALL WORK OF THE CONTRACTOR SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS, CODES, ORDINANCES, RULES AND REGULATIONS OF THE CITY, COUNTY STATE AND FEDERAL JURISDICTION INCLUDING REQUIREMENTS OF THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
4. THE CONTRACTOR SHALL REPORT IMMEDIATELY, ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN IN THE CONSTRUCTION DOCUMENTS, TO THE ARCHITECT.
5. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE OF THE WORK AND VERIFY GRADE ELEVATIONS, UTILITIES, AND OTHER EXISTING CONDITIONS WHETHER OR NOT SHOWN ON THE DRAWINGS. LOCATE ALL GENERAL SITE REFERENCE DATA FOR PROPERTY LINES AND GRADE ELEVATIONS AND DO THAT WORK WHICH IS NECESSARY TO PREVENT THEIR DISLOCATION OR DESTRUCTION.
6. CONTRACTOR SHALL CLEAR THE CONTRACT WORK AREA ONLY. PROTECT EXISTING UTILITIES, TREES AND/OR NATURAL VEGETATION WHICH IS REQUIRED TO REMAIN.
7. THE CLEARING/FILLING/EXCAVATING OF THIS AREA SHALL BE ACCOMPLISHED IN A MANNER AS TO MINIMIZE THE RUNOFF OF SILT AND SEDIMENT INTO THE STORM DRAINAGE SYSTEM AND ONTO ADJACENT OR DOWNSTREAM PROPERTIES. EROSION CONTROL MEASURES SHALL BE INSTITUTED AS NECESSARY BY THE CONTRACTOR TO ACCOMPLISH THIS EROSION CONTROL. ANY AND ALL EROSION FILL PLANS REQUIRED FOR THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. NO DEBRIS, FERTILIZER MATERIAL, CLEARED VEGETATION OR WASTE MATERIALS SHALL BE DEPOSITED ON ANY OTHER PROPERTY OR INTO ANY DRAINAGE OR STORM DRAINAGE SYSTEMS. THIS INCLUDES THE INTRODUCTION OF SUCH MATERIAL INTO THE CITY STREET AND DRAINAGE SYSTEMS. CLEAN ANY DEBRIS LEFT IN THE STREET AT RESULT OF OPERATIONS IMMEDIATELY.
9. BARRICADE AND STOP WARNING SIGNS AND LIGHTS ADJACENT TO OPEN DEPRESSIONS AND HOLES OCCURRING AS PART OF THE WORK.
10. MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.
11. USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, NEIGHBORS, AND OTHER WORK BEING PERFORMED OR HEAR THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO ACHIEVE DRAINAGE AWAY FROM BUILDINGS. SLOPE 5% OR GREATER, AS MAY BE SHOWN, FOR THE FIRST 10'-0" TOWARDS ADJACENT DRAINAGE FACILITIES.
13. FINISH FLOOR TO BE A MINIMUM 4" ABOVE ADJACENT FINISH GRADE.
14. DO NOT SCALE DRAWINGS.
15. VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT-IN EQUIPMENT PRIOR TO PERFORMING WORK. NO CHANGE ORDERS WILL BE APPROVED FOR CONTRACTOR FAILURE TO DO SO.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
17. REPETITIVE FEATURES IN THE CONSTRUCTION DOCUMENTS ARE OFFEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

VJS
2000 BLUEMOUND ROAD
WAUKESHA, WI 53186
(262)542-9000
(262)542-1371 - (FAX)

#	Title
A0.1	Coversheet
A0.2	Title Sheet
AS.1	Site Plan
A1.1	Floor Plans
A2.1	Reflected Ceiling Plan
A3.1	Roof Plan
A4.1	Exterior Elevations
A5.1	Building Sections
A6.1	Wall Sections & Details
A6.2	Wall Sections & Details
A6.3	Wall Sections & Details
A9.1	Schedules & Door Details
Structural	
S1.0	FOUNDATION PLAN
S2.0	ROOF FRAMING PLAN
S3.0	FOUNDATION DETAILS
S4.0	FRAMING DETAILS
S4.1	FRAMING DETAILS
S4.2	FRAMING DETAILS

SITE SIZE: 179,291 S.F. (4.11 ACRES)
BUILDING ADDITION SIZE: 15,795 s.f.
BUILDING CODE: WISCONSIN ENROLLED COMMERCIAL BUILDING CODE
OCCUPANCY CLASSIFICATION: Group M
CONSTRUCTION TYPE: IIB
SPRINKLERED: YES

SPECTRUM DEVELOPMENT GROUP LLC
6526 RIVER PARKWAY
WAUWATOSA, WI 53213
(414) 258-8500
(414) 607-8811 - (FAX)

Sheet

TITLE SHEET

Project

PEWAUKEE CROSSINGS

Date _____

06.14.06

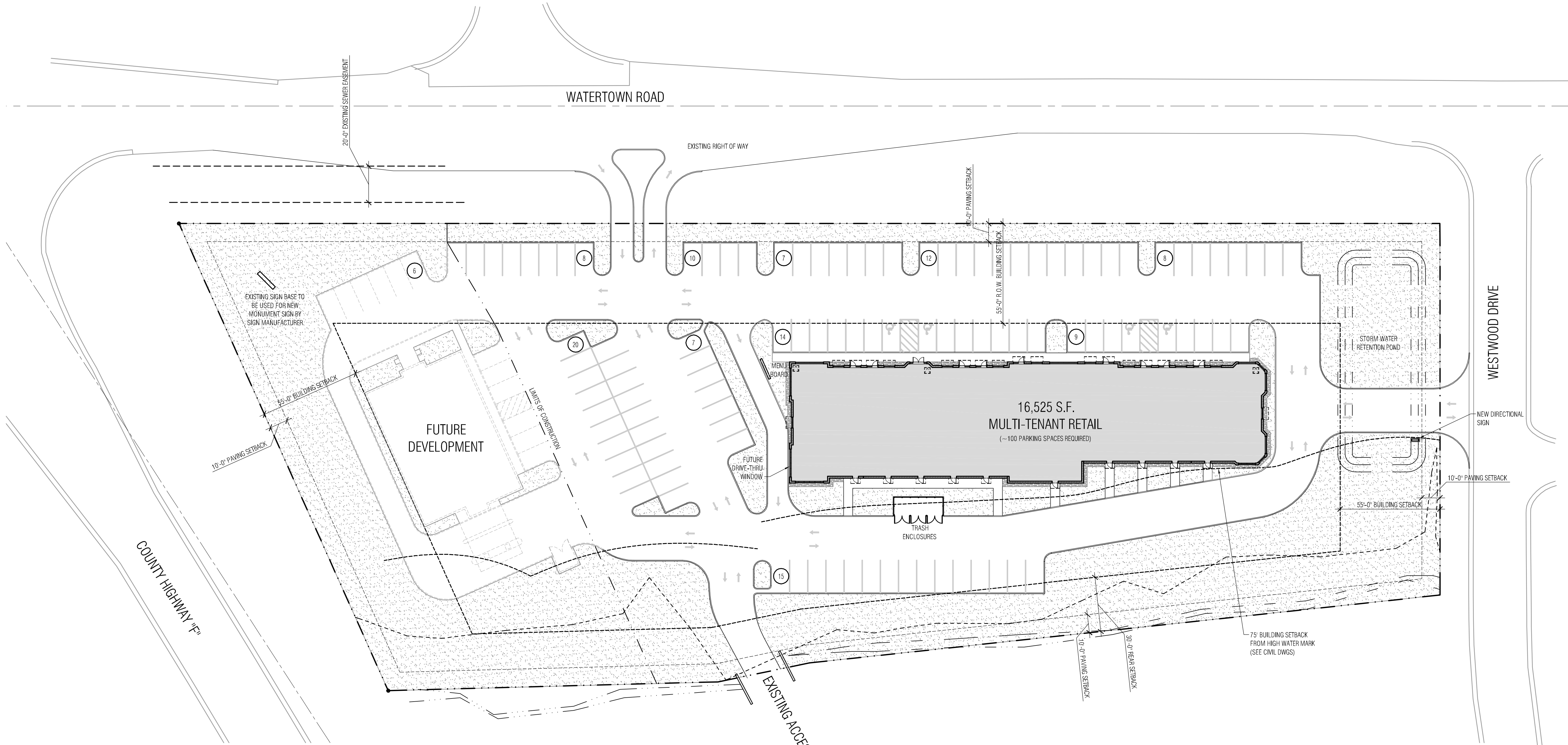
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060033.00

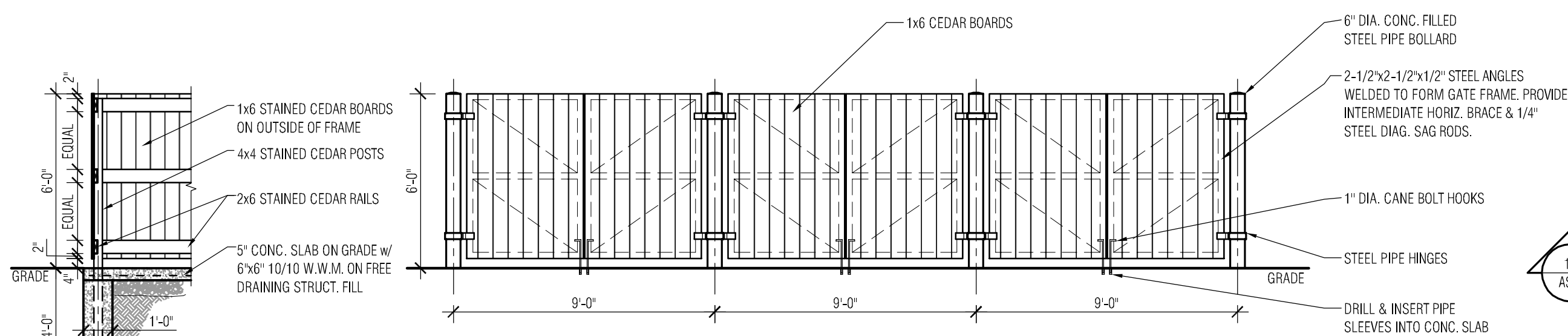
Sheet Number

AO.2

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGES, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

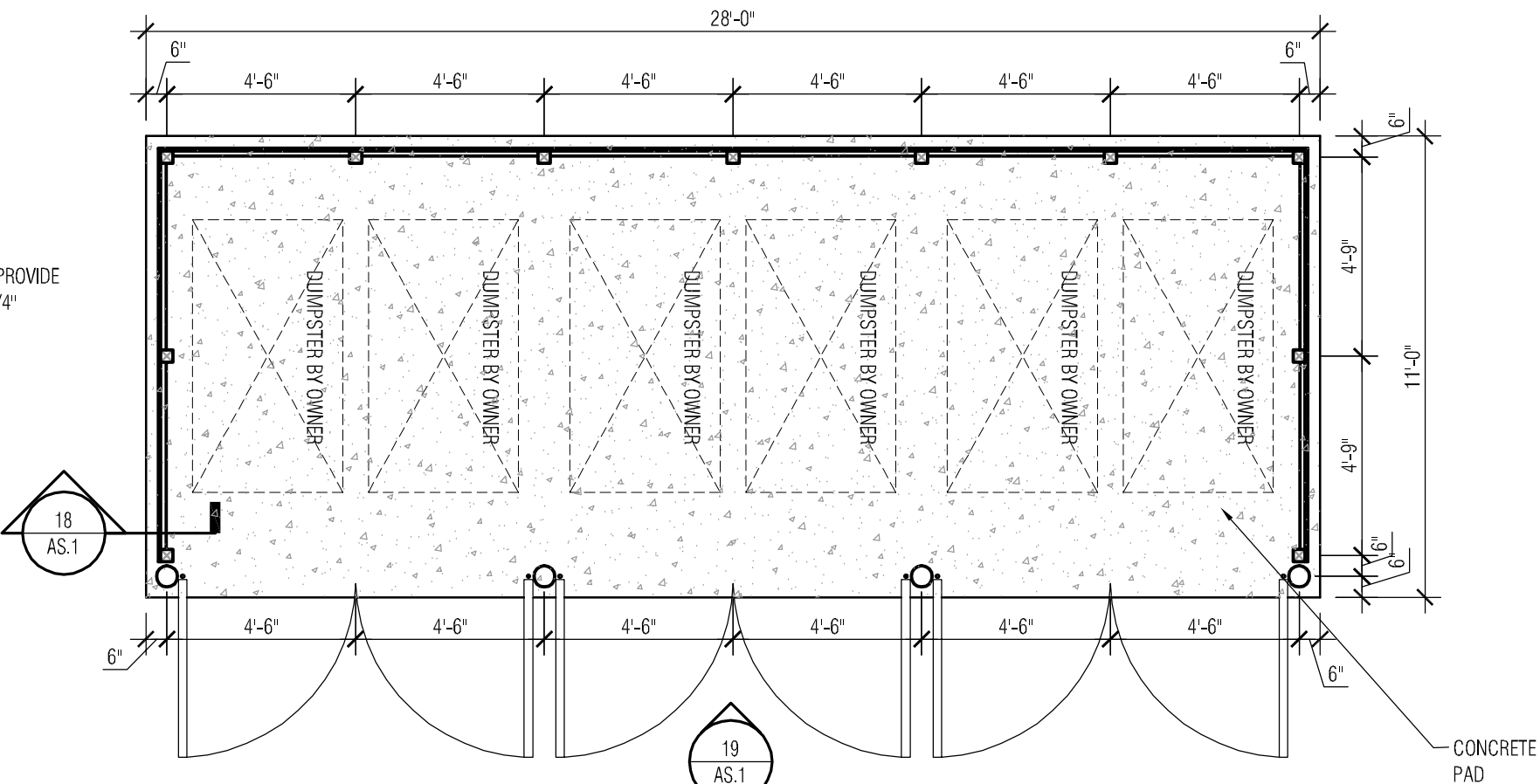


11 Site Plan
SCALE: 1" = 30'-0"



18 TRASH ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"

19 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



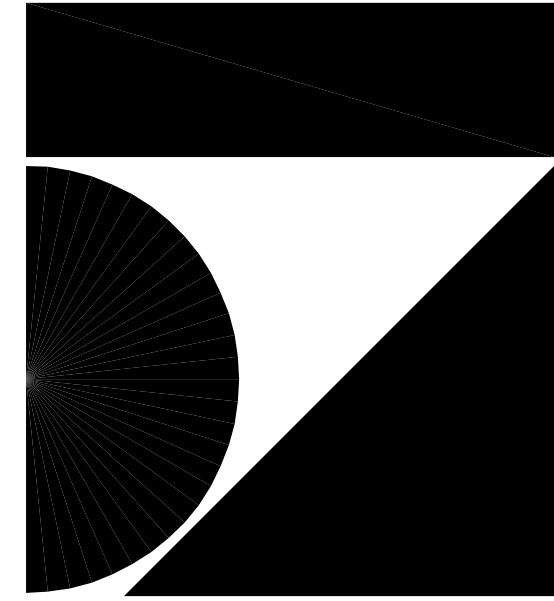
20 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

***NOTE
REFER TO CIVIL DWGS FOR ALL
DIMENSIONS AND SITE DETAILS

SITE INFORMATION
TOTAL SITE AREA:
- 151,164 S.F. (3.47 ACRES)
CURRENT ZONING:
- B-6 MIXED USE (CITY OF PEWAUKEE)
GREEN SPACE:
- 35% REQUIRED
- 42% PROVIDED
BUILDING HEIGHT:
- 40' MAX.
BUILDING SETBACKS:
- 55' FROM RIGHT OF WAY:
- 30' REAR
- 30' SIDE
- 75' FROM HIGH WATER MARK
PARKING SETBACKS:
- 10' FROM ALL PROPERTY LINES
PARKING REQUIREMENTS:
- 116 SPACES PROVIDED (10' x 18')

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Architecture Planning Interior & Environmental Design



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Sheet
SITE PLAN

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
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PEWAUKEE, WI

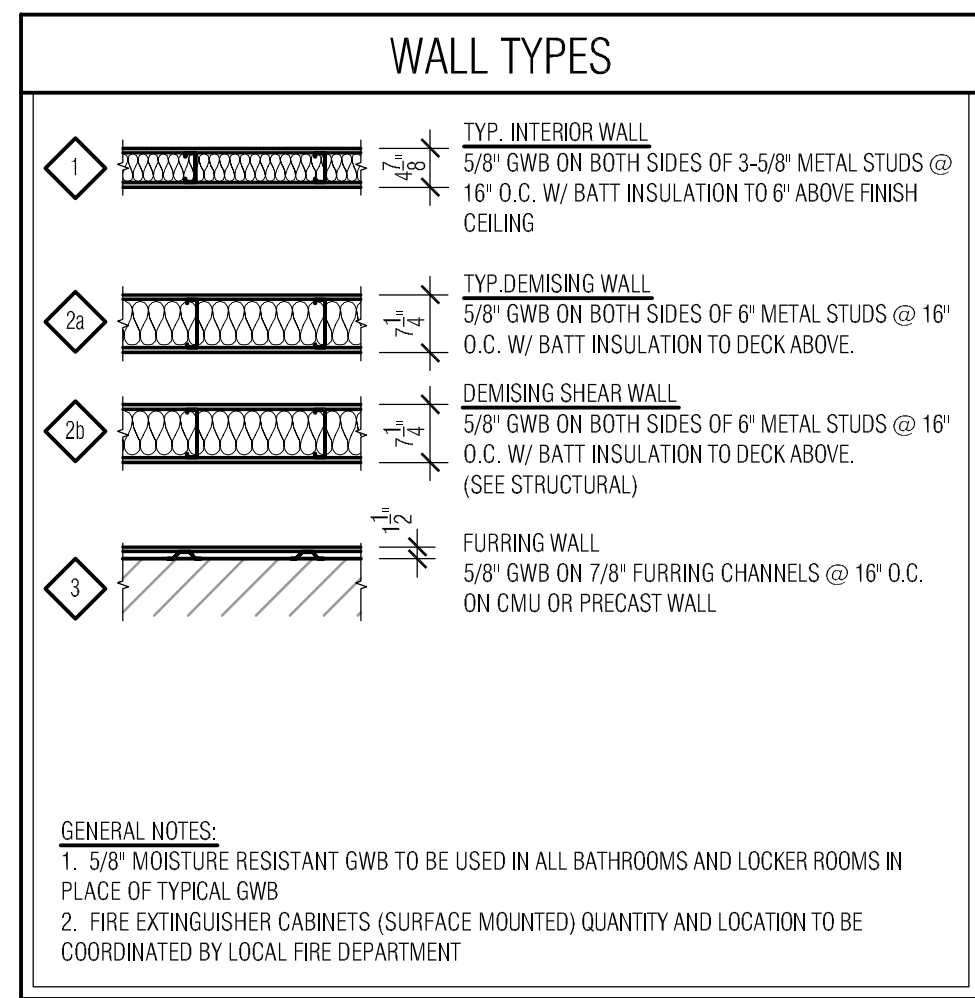
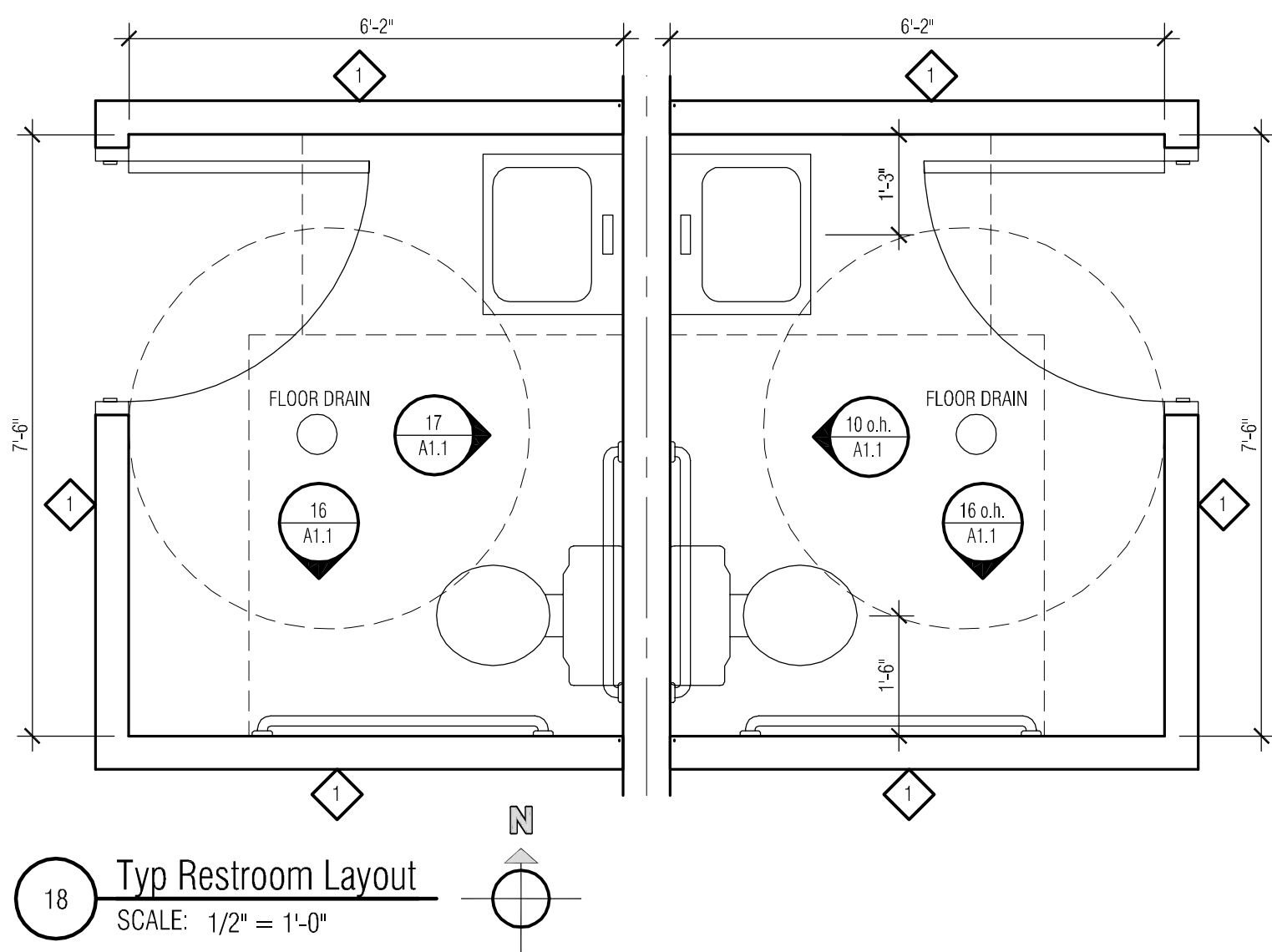
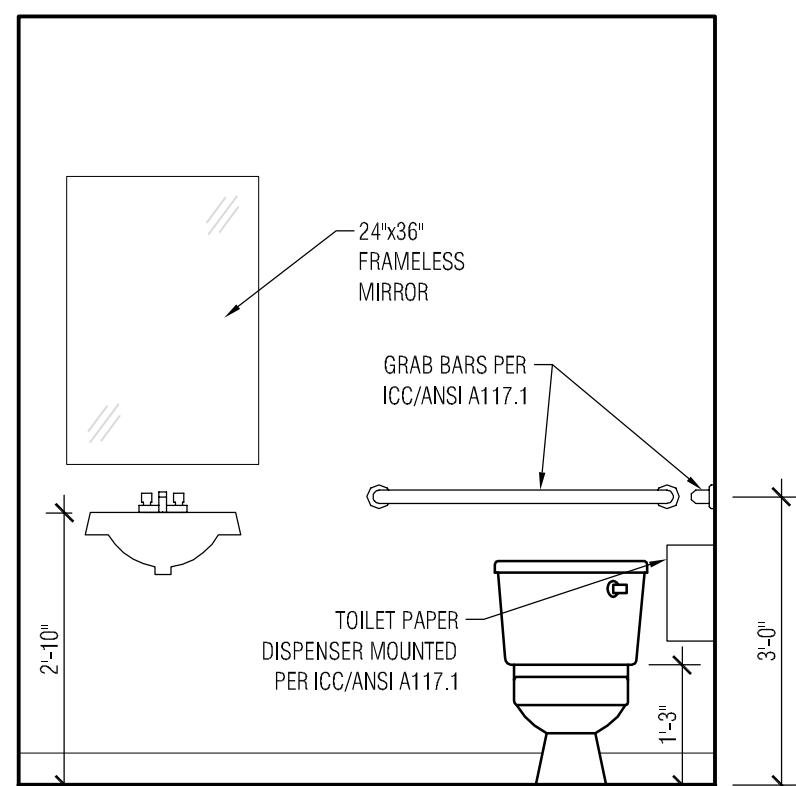
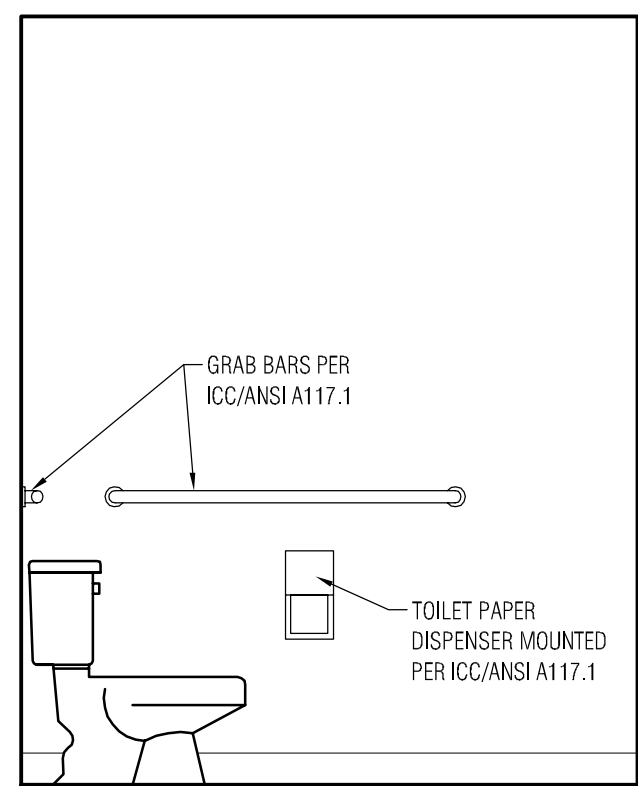
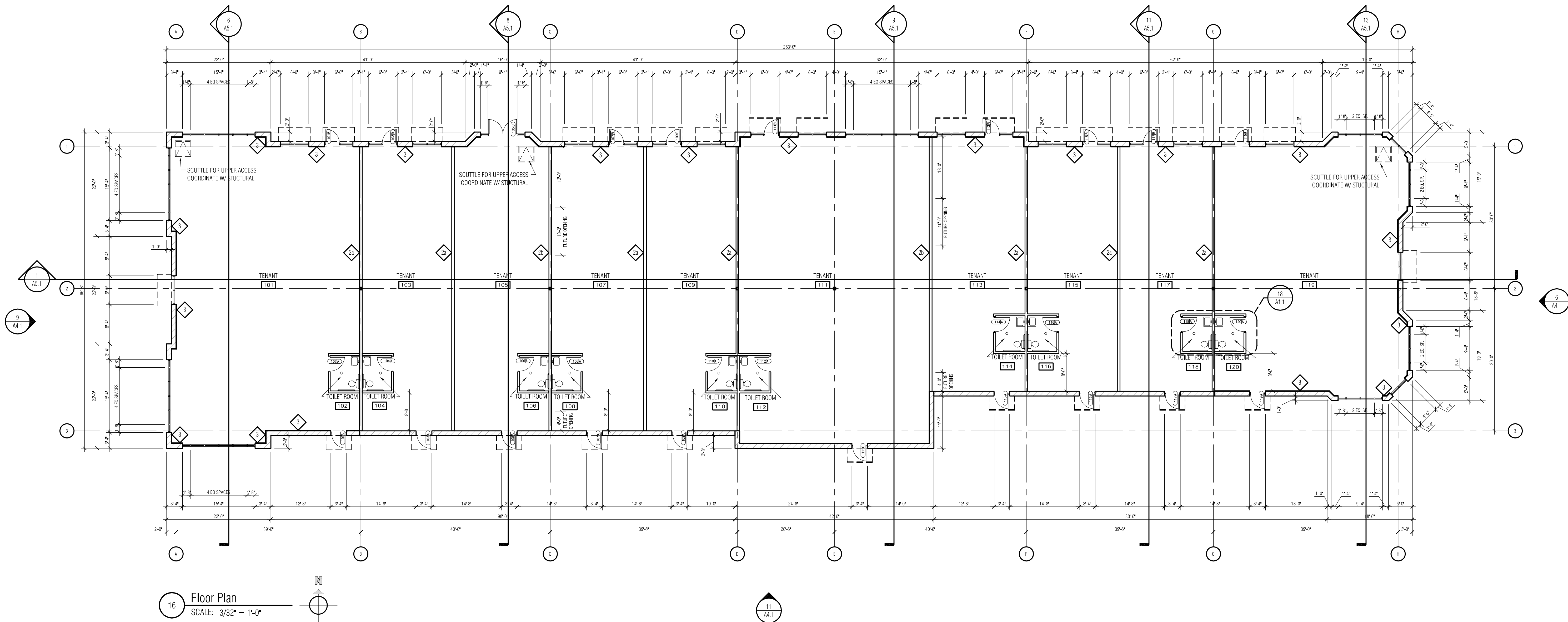
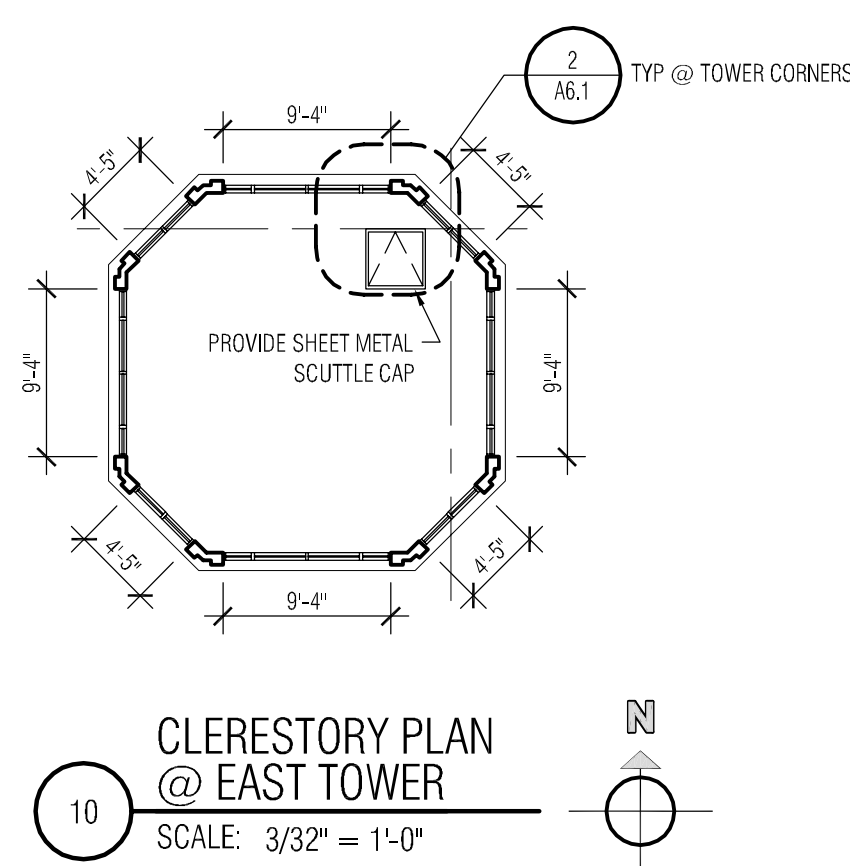
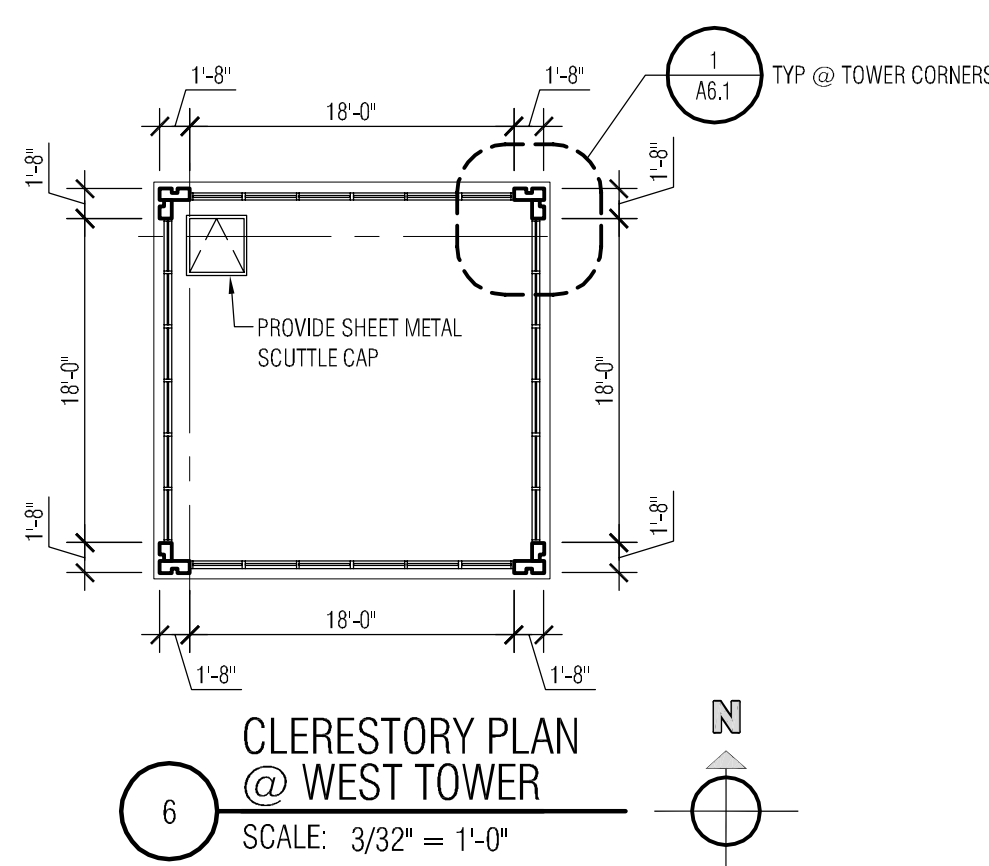
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06.14.06

Project Number
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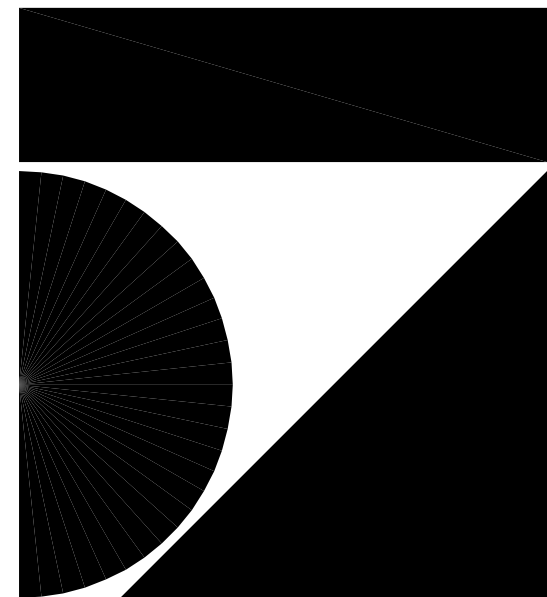
AS.1

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



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FLOOR PLANS

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PEWAUKEE CROSSINGS

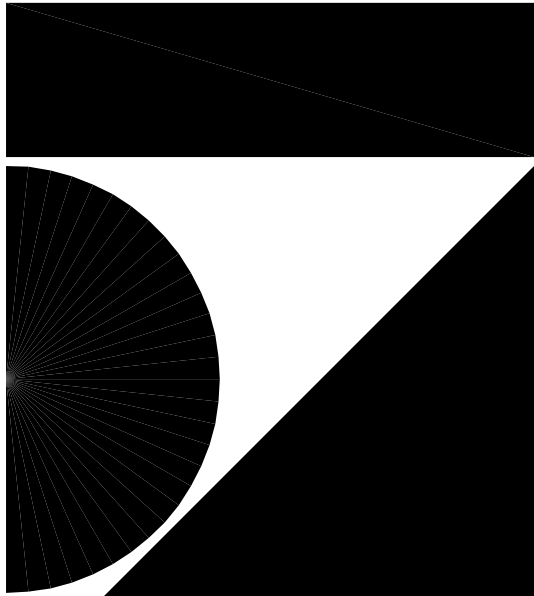
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060033.00

Sheet Number

A1.1



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REFLECTED CEILING PLAN

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date

06.14.06

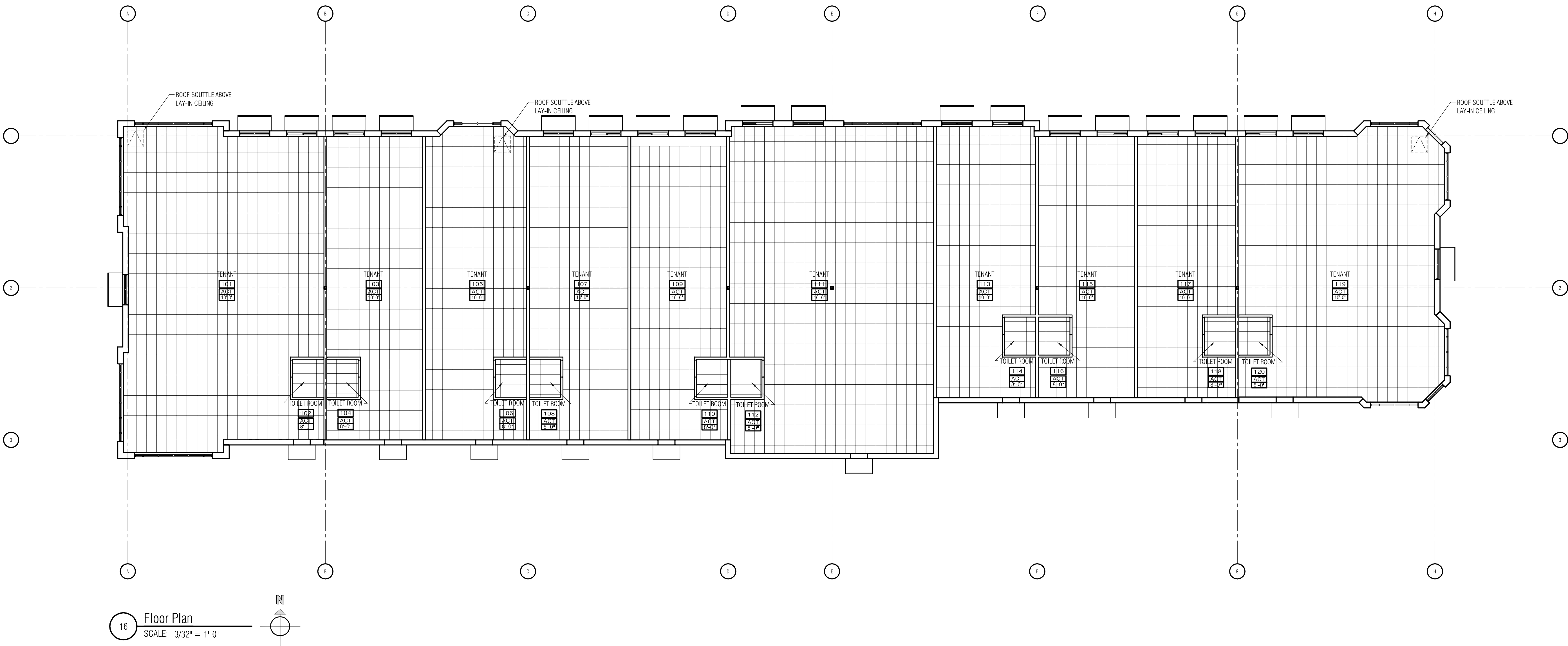
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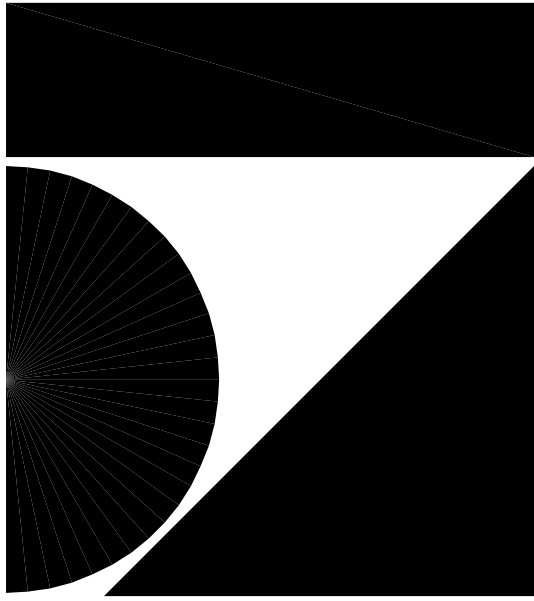
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16 Floor Plan
SCALE: 3/32" = 1'-0"

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ROOF PLAN

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
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PEWAUKEE, WI

Date

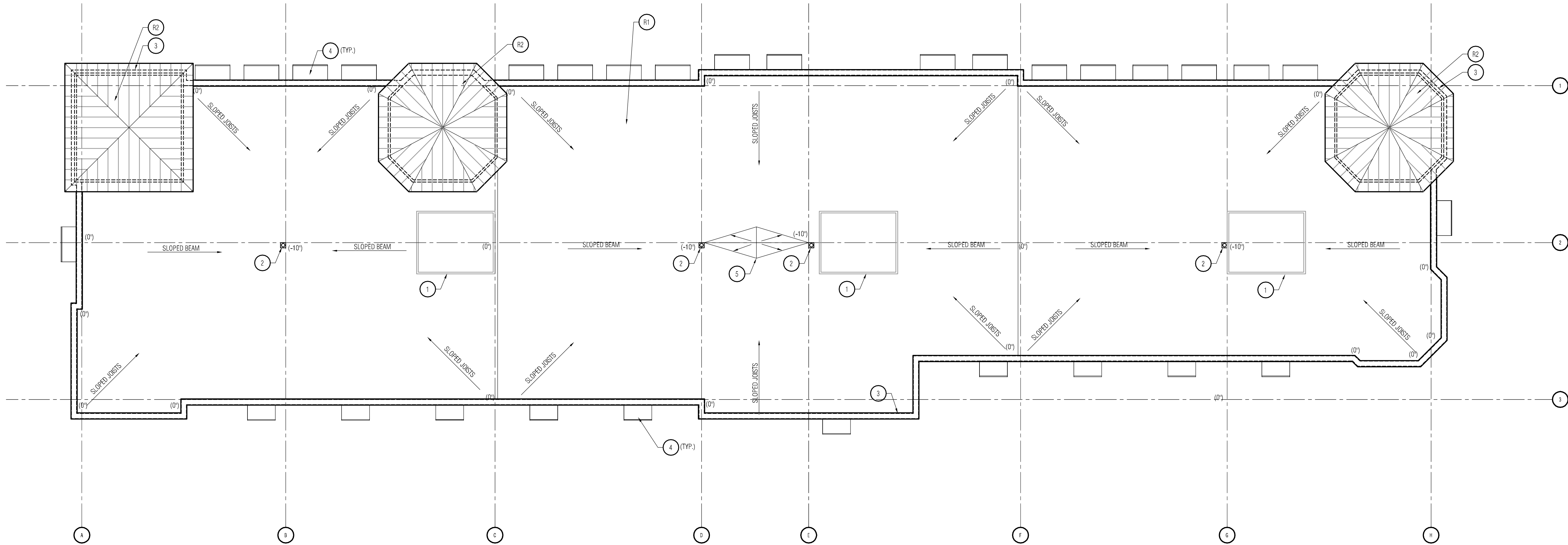
06.14.06

Project Number

060033.00

Sheet Number

A3.1



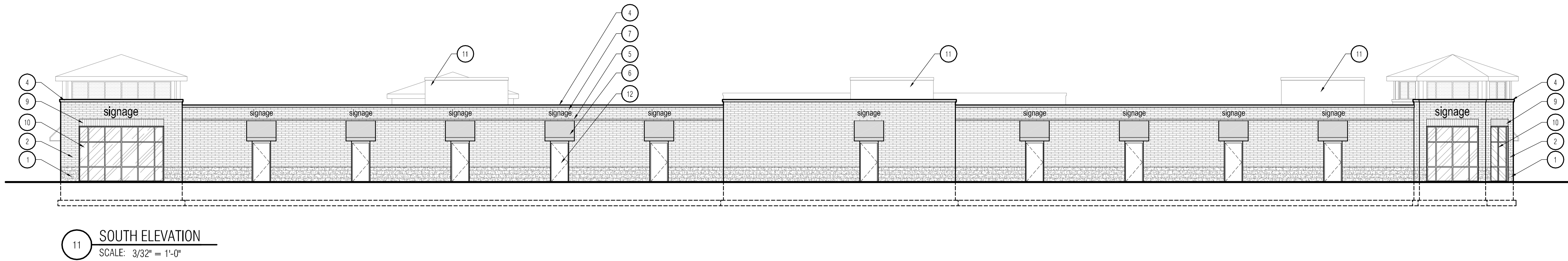
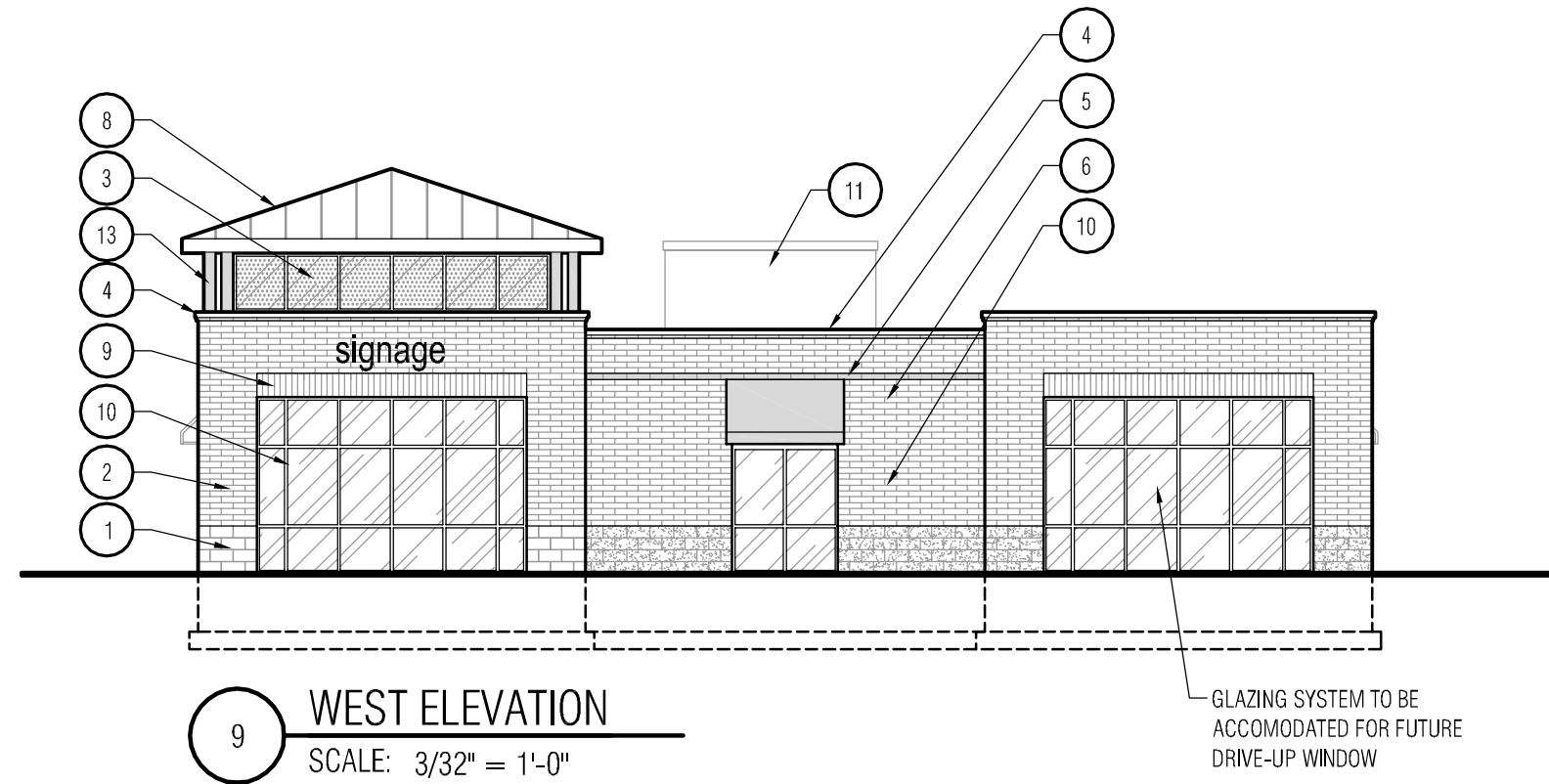
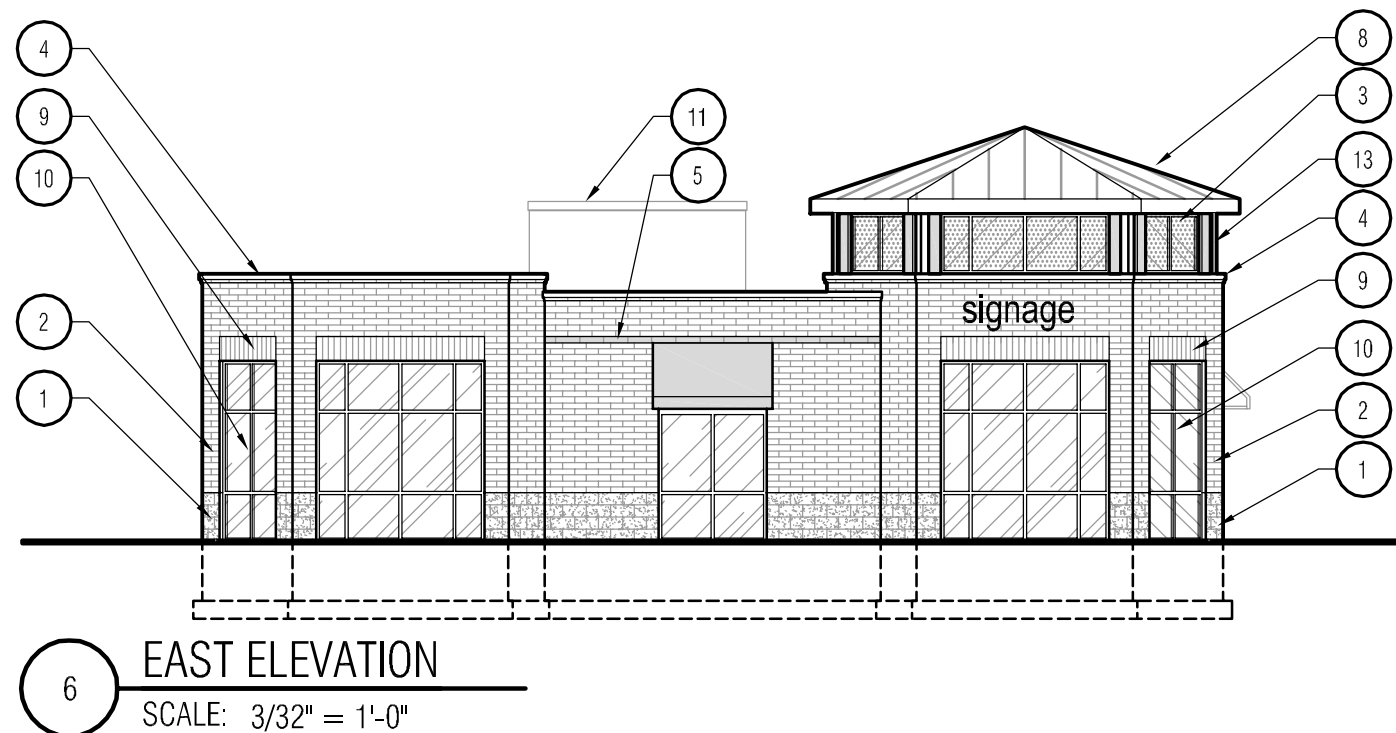
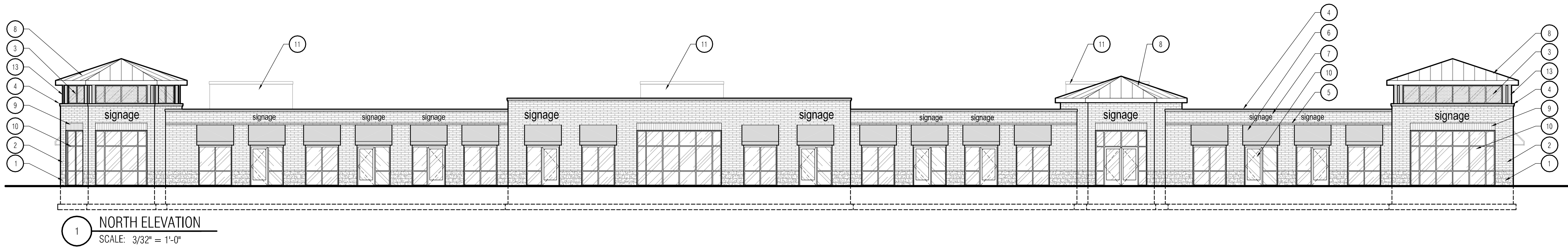
16 Roof Plan
SCALE: 3/32" = 1'-0"

ROOF PLAN KEYNOTES

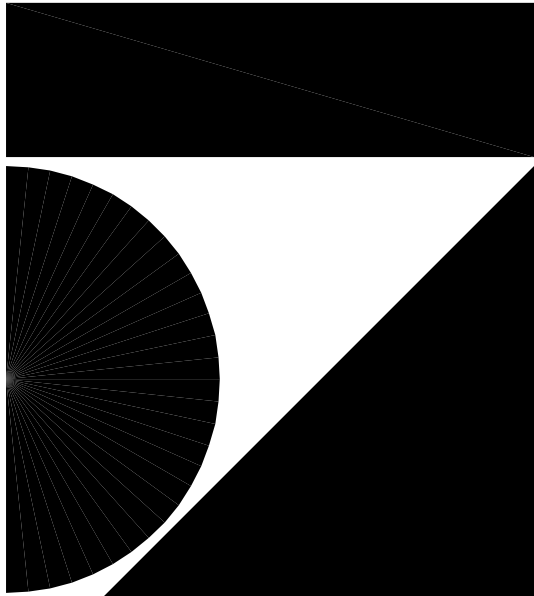
**FOR ALL ELEVATION MARKS (0') REFERS TO JOIST BEARING (SEE STRUCTURAL)

- R1** ROOF SYSTEM #1
LOOSE LAID BALLASTED SINGLE-PLY MEMBRANE ROOFING ON 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
- R2** ROOF SYSTEM #2
STANDING SEAM METAL ROOF PANELS ON FIRE RESISTANT EXTERIOR GRADE SHEATHING ON 6" METAL STUD FRAMING (SEE STRUCTURAL)
- 1** MECHANICAL SCREENS - 6'-0" HIGH HORIZONTAL RIB METAL PANEL (PAINTED TO MATCH BRICK) ATTACHED TO TUBE STEEL STRUCTURE (SEE STRUCTURAL)
- 2** ROOF DRAIN
- 3** WALL PROFILE BELOW
- 4** AWNING BELOW
- 5** TAPERED INSULATION CRICKET

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ELEVATION KEYNOTES	
1	SPLIT-FACE CMU
2	DECADE 90 MASONRY UNITS
3	ALUMINUM STOREFRONT GLAZING W/ FROSTED GLAZING
4	PREFINISHED METAL COPING
5	ACCENT BAND OF DECADE 90 MASONRY UNITS
6	VINYL FABRIC AWNINGS
7	CHANNEL LETTER SIGNAGE W/ INTERNAL ILLUMINATION
8	PREFINISHED STANDING SEAM METAL ROOFING SYSTEM
9	SOLDIER BRICK COURSE LINTEL
10	INSULATED ALUMINUM STOREFRONT GLAZING
11	ROOF TOP UNIT SCREEN PANEL PAINTED TO MATCH BRICK
12	INSULATED HOLLOW METAL DOOR AND FRAME
13	PAINTED TUBE STEEL AND BREAK METAL CLOSURES AT ALL CORNERS OF TOWERS



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EXTERIOR ELEVATIONS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
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PEWAUKEE, WI

Date

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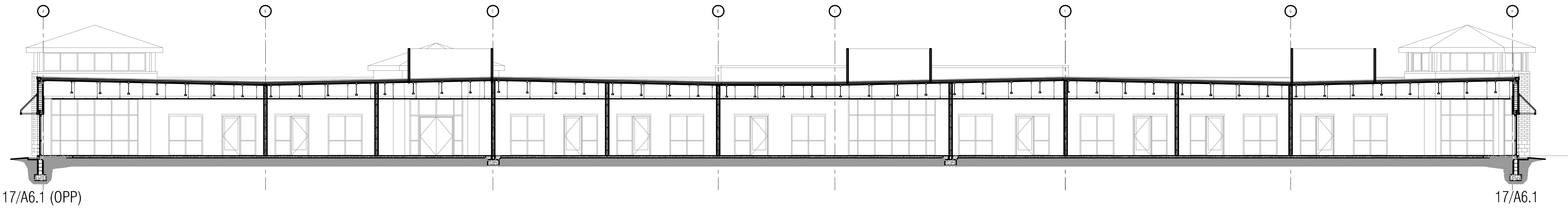
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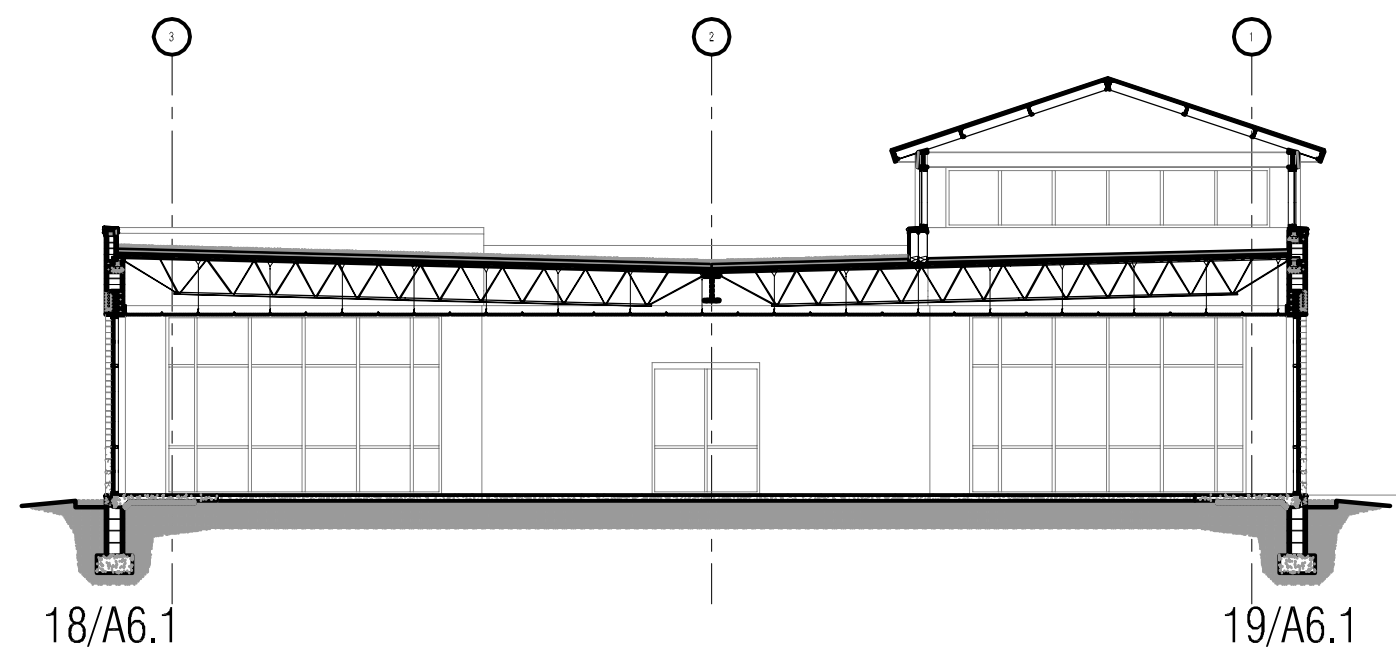
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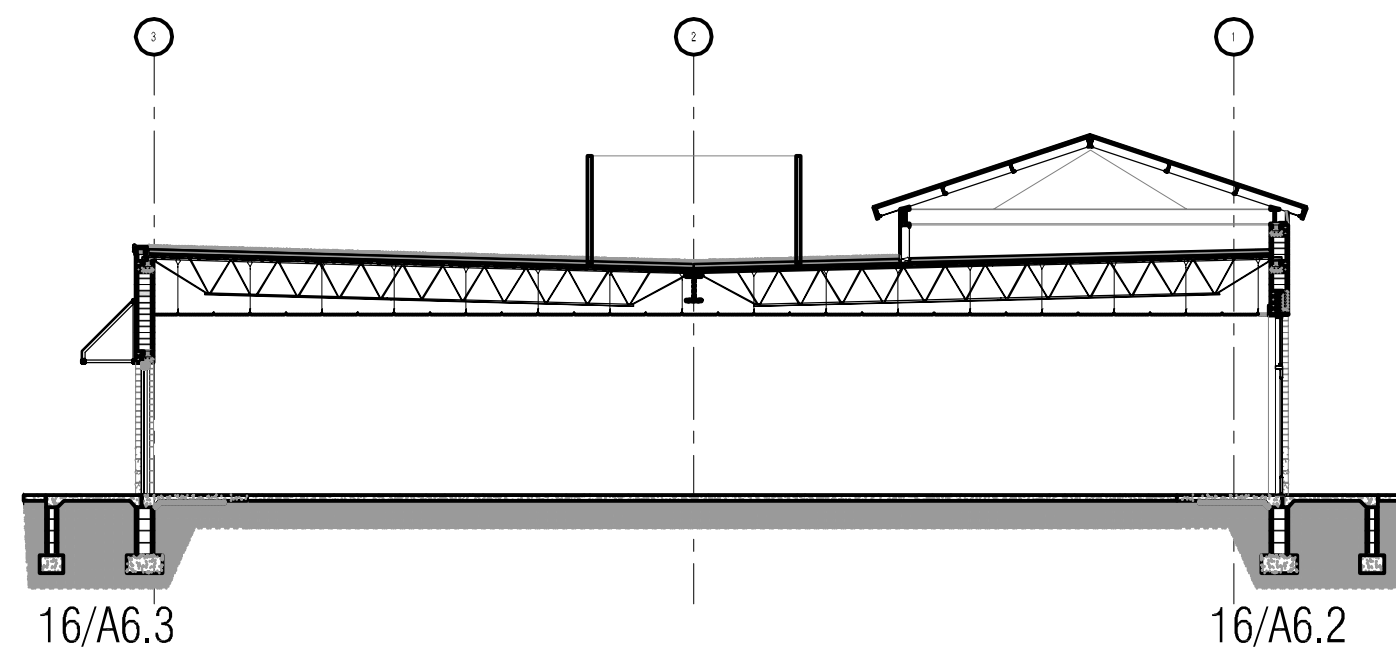
THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



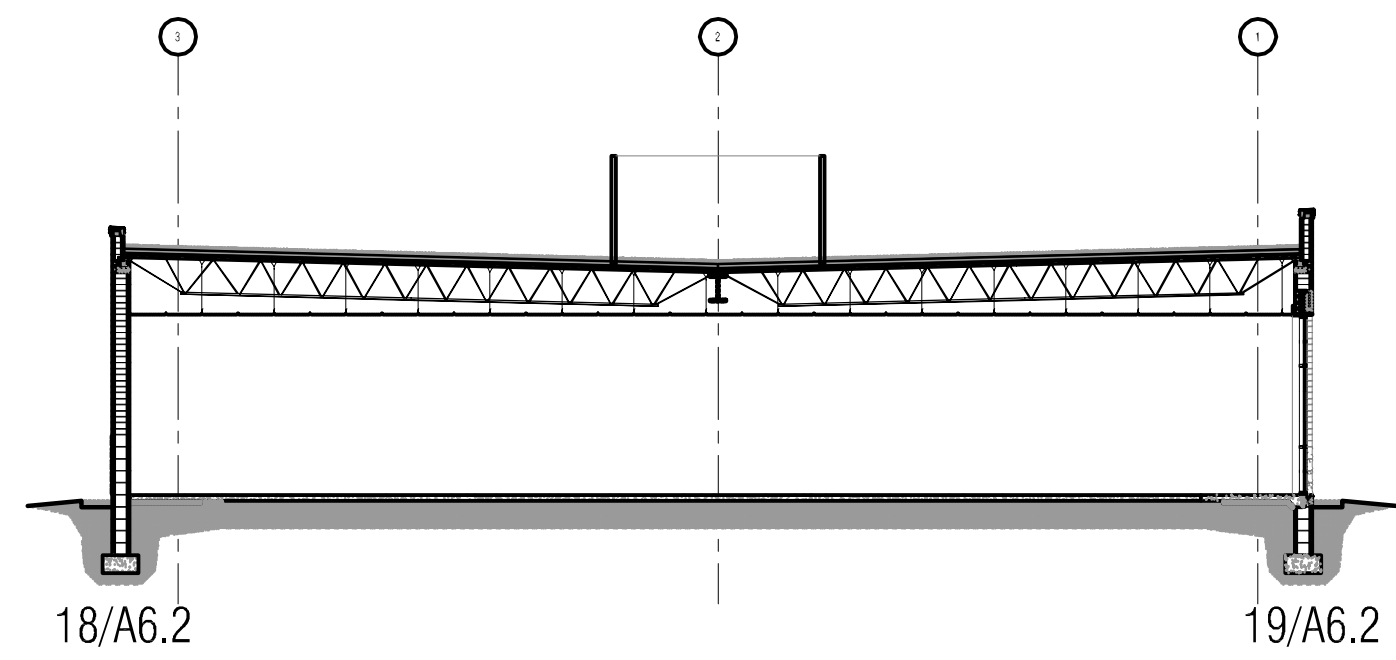
1 EAST/WEST BUILDING SECTION LOOKING NORTH
SCALE: 3/32" = 1'-0"



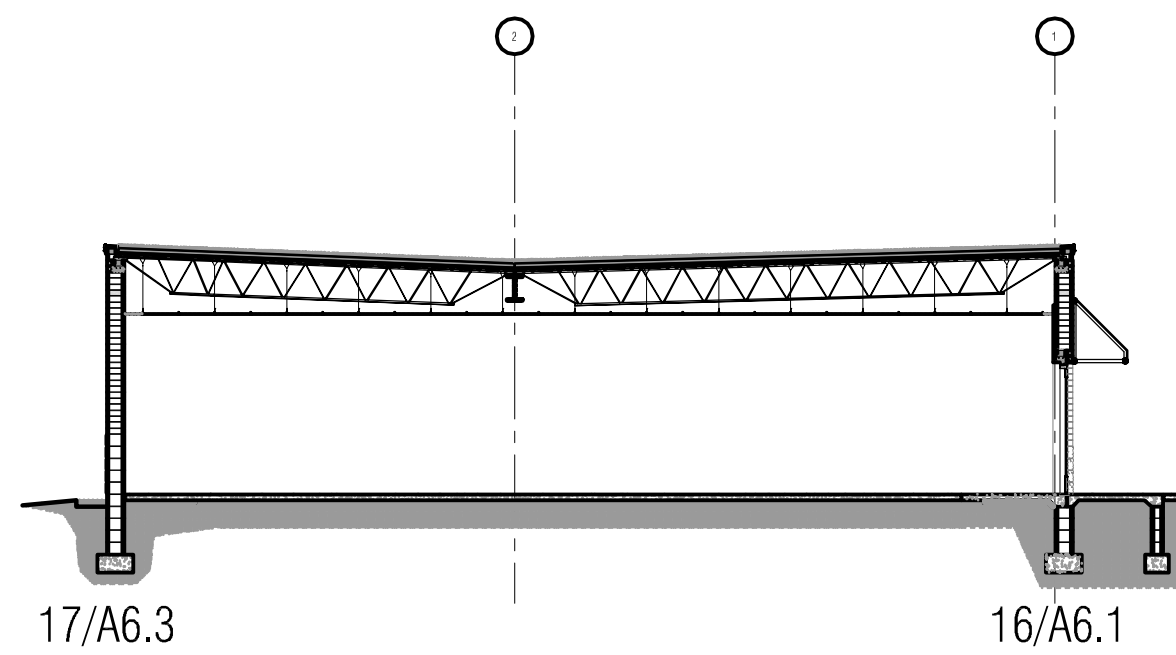
6 NORTH/SOUTH BUILDING SECTION @ WEST TOWER
SCALE: 3/32" = 1'-0"



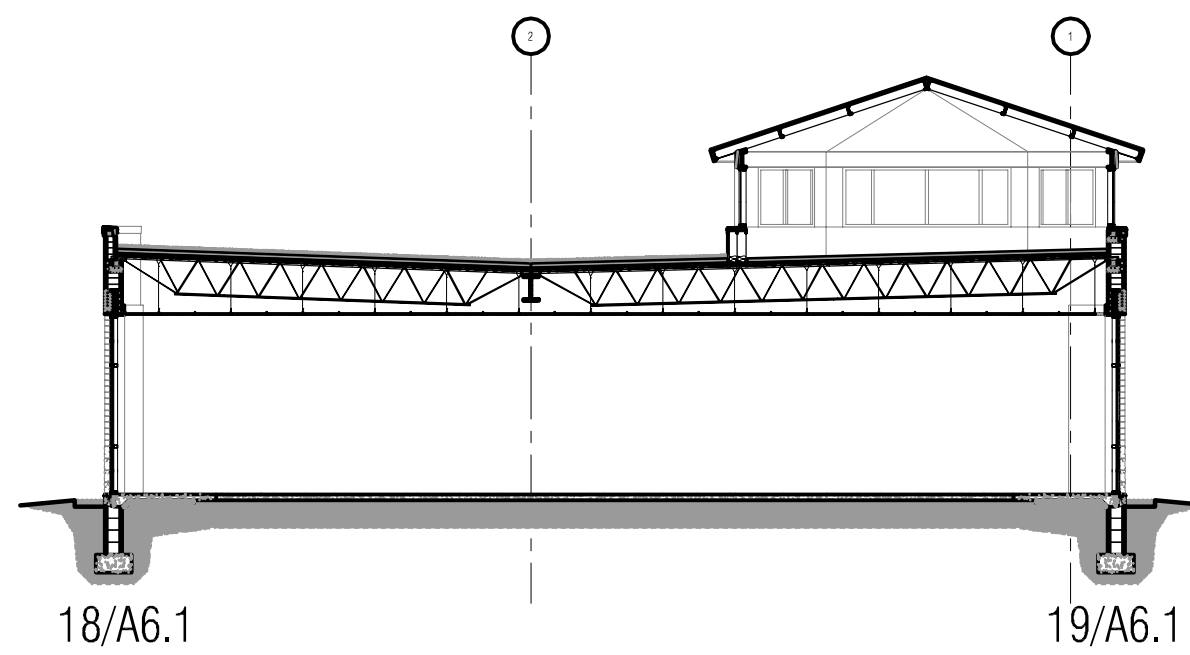
8 NORTH/SOUTH BUILDING SECTION
SCALE: 3/32" = 1'-0"



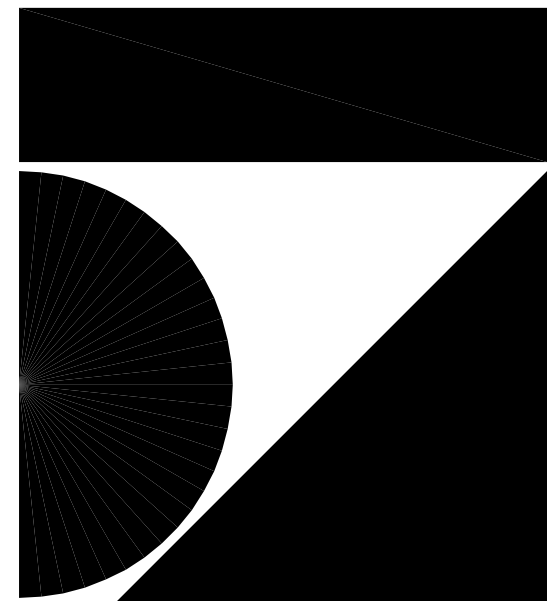
9 NORTH/SOUTH BUILDING SECTION
SCALE: 3/32" = 1'-0"



11 NORTH/SOUTH BUILDING SECTION
SCALE: 3/32" = 1'-0"



13 NORTH/SOUTH BUILDING SECTION @ EAST TOWER
SCALE: 3/32" = 1'-0"



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BUILDING SECTIONS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
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PEWAUKEE, WI

Date

06.14.06

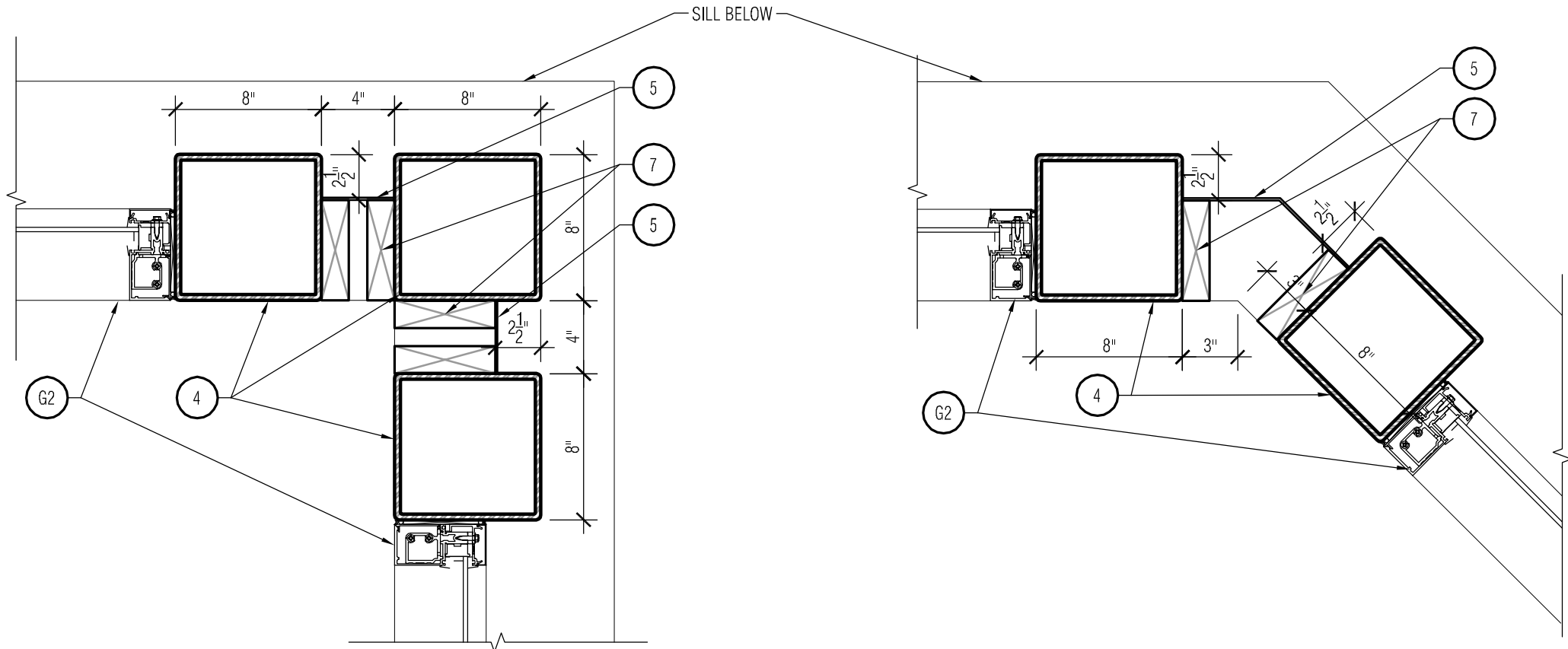
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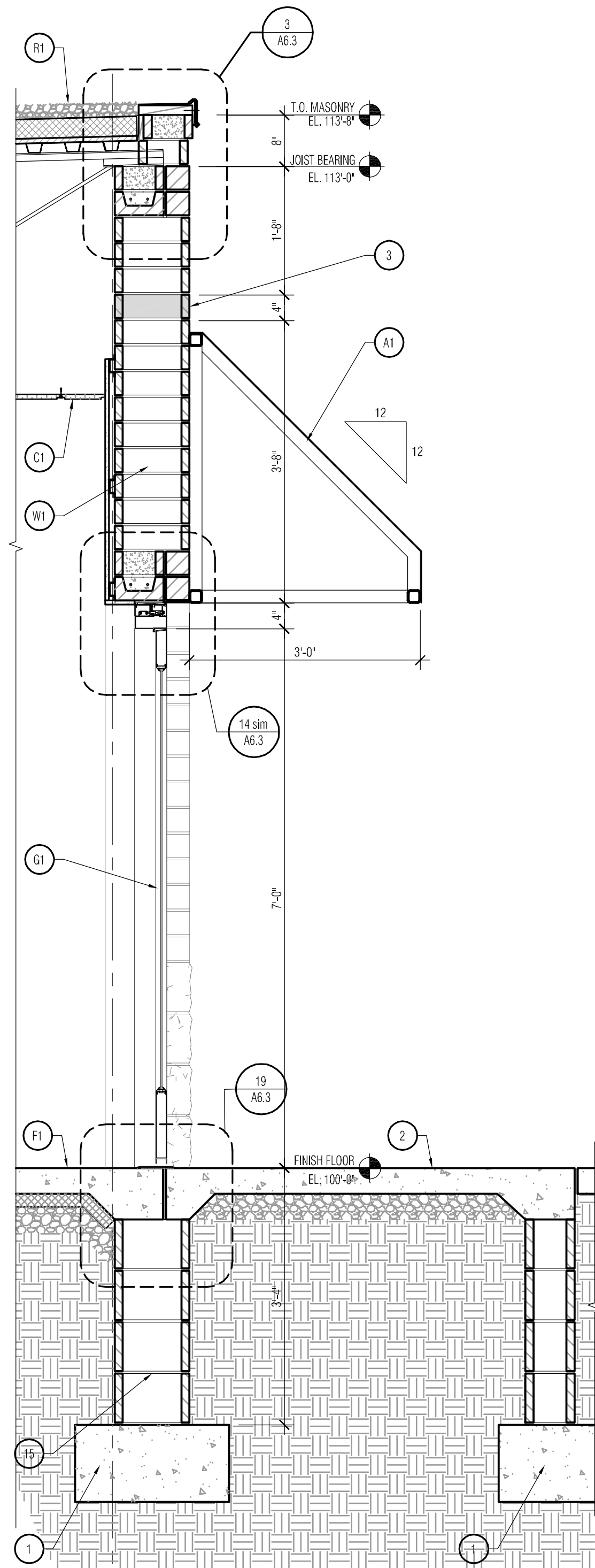
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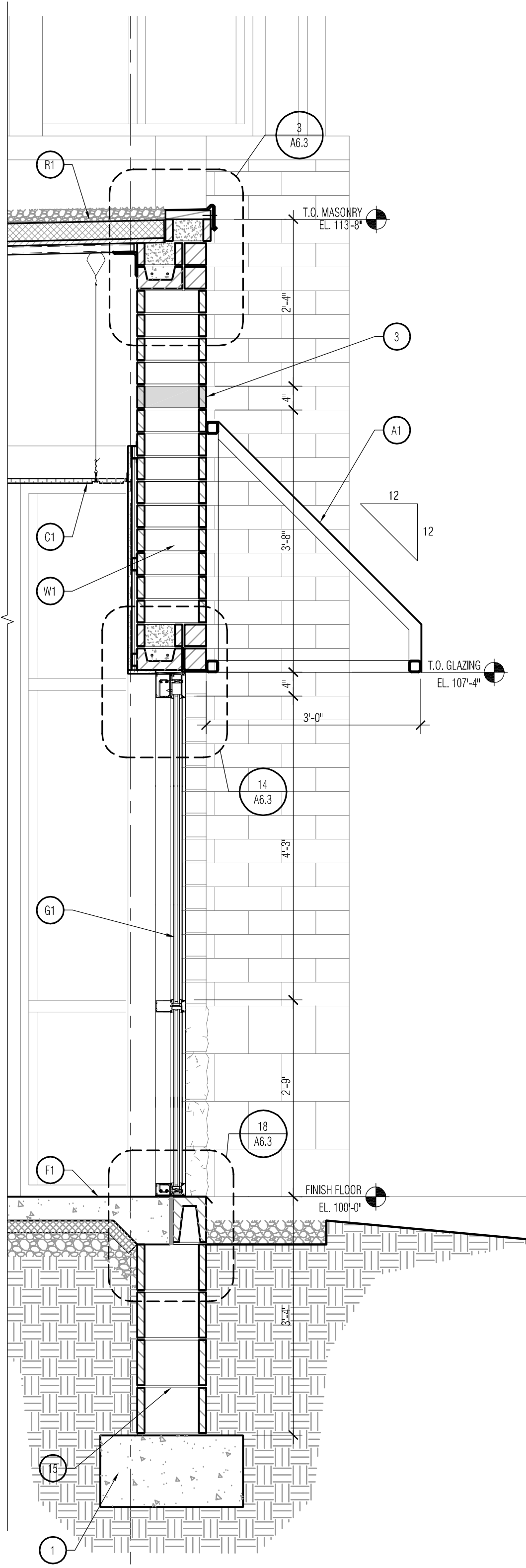


1 Tower Corner Detail
SCALE: 1-1/2" = 1'-0"

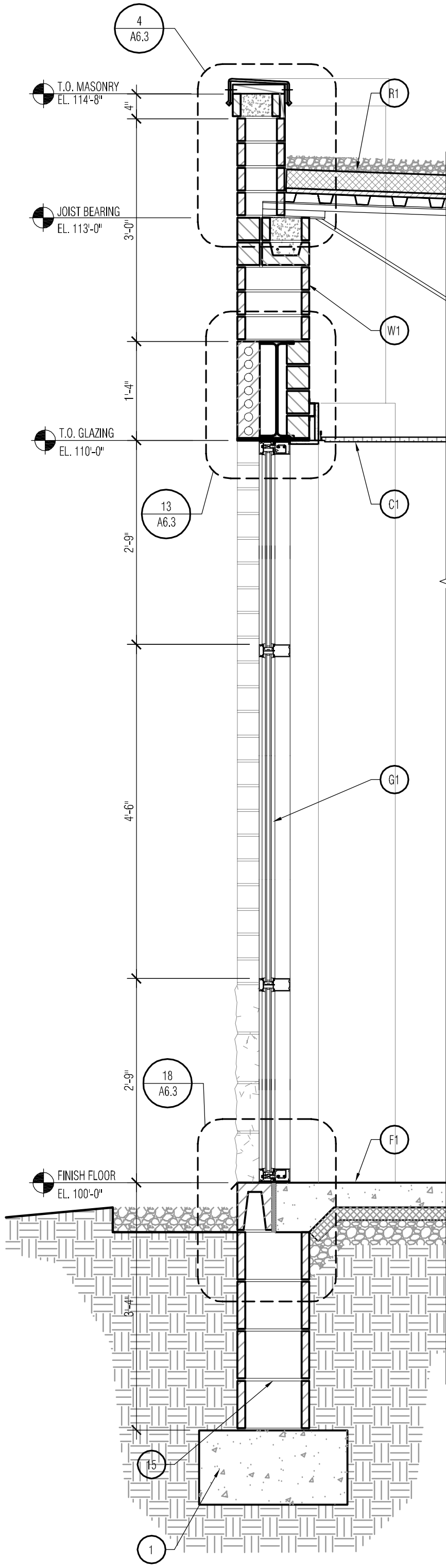


16 Wall Section @ Typ Front Entry
SCALE: 3/4" = 1'-0"

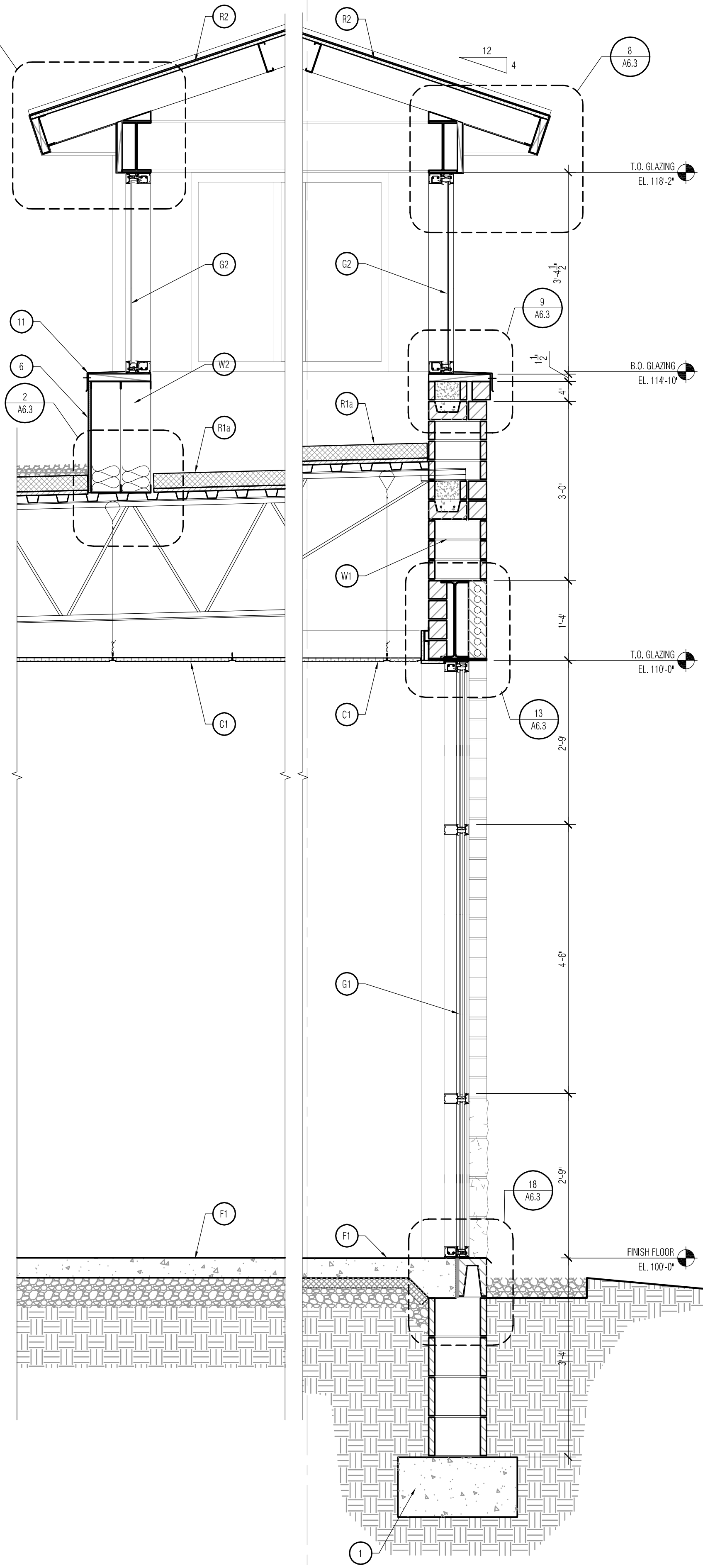
2 Tower Corner Detail
SCALE: 1-1/2" = 1'-0"



17 Wall Section @ Typ Window Unit
SCALE: 3/4" = 1'-0"



18 Wall Section
SCALE: 3/4" = 1'-0"

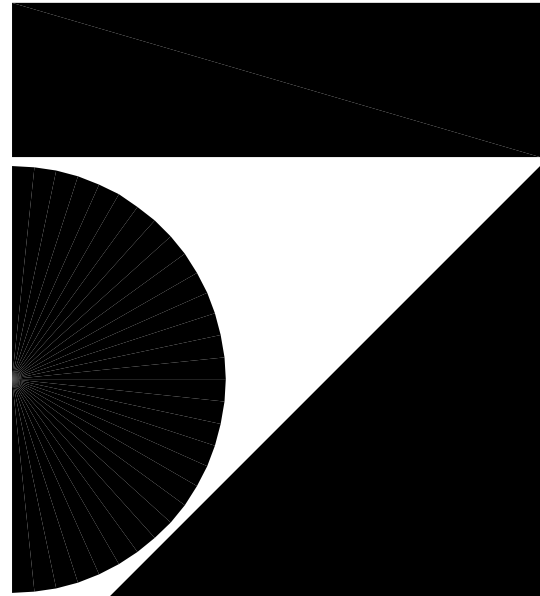


19 Wall Section East and West Towers
SCALE: 3/4" = 1'-0"

SECTION KEYNOTES	
F1	FLOOR SYSTEM #1 4" REINF. CONCRETE SLAB ON VAPOR BARRIER ON COMPACTED GRANULAR FILL. PROVIDE 2" RIGID INSULATION PER CODE @ FOUNDATION PERIMETER WALL. PROVIDE ISOLATION JOINT MATERIAL AT COLUMNS AND PERIMETER (SEE STRUCTURAL)
W1	WALL SYSTEM #1 12" SPLIT-FACE CMU TO 2'-8" A.F.F., 'DECADE 90' BRICK (4"x16" NOM) ABOVE, W/ FOAMED IN PLACE INSULATION AT ALL EXTERIOR CONDITIONS
W2	WALL SYSTEM #2 1/2" FIRE RESISTANT SHEATHING ON DOUBLE 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
W3	WALL SYSTEM #3 1/2" FIRE RESISTANT SHEATHING ON 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
G1	GLAZING SYSTEM #1 STOREFRONT SYSTEM W/ 1" INSUL. GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
G2	GLAZING SYSTEM #2 STOREFRONT SYSTEM W/ SINGLE PANE FROSTED GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
R1	ROOF SYSTEM #1 LOOSE LAID BALLASTED SINGLE-PLY MEMBRANE ROOFING ON 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
R1a	ROOF SYSTEM #1a 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
R2	ROOF SYSTEM #2 STANDING SEAM METAL ROOF PANELS ON FIRE RESISTANT EXTERIOR GRADE SHEATHING ON 6" METAL STUD FRAMING (SEE STRUCTURAL)
C1	CEILING SYSTEM #1 2x4 SUSPENDED CEILING TILE (SEE FINISH SCHEDULE AND R.C.P. FOR MATERIAL AND HEIGHT).
A1	AWNING SYSTEM #1 VINYL FABRIC AWNING ON ALUMINUM FRAMING (OPEN SIDES)
OP1	CORING SYSTEM #1 PRE-FINISHED 2 PIECE METAL GRAVEL STOP W/ CONTINUOUS HOLD-DOWN CLIPS ON 2x WOOD NAILERS ANCHORED TO TOP OF WALL.
1	REINFORCED CONCRETE FOUNDATION (SEE STRUCTURAL)
2	POURED CONCRETE SIDEWALK/STOOP ON 6" COMPACTED FILL. PROVIDE 1/2" ISOLATION JOINT MATERIAL @ EXTERIOR WALL CONDITIONS (SEE STRUCTURAL)
3	'DECADE 90' BRICK ACCENT BAND
4	STEEL TUBE, CHANNEL, BEAM OR LINTEL (SEE STRUCTURAL)
5	PREFINISHED BREAKMETAL WRAP, PROVIDE BREAK JOINTS AS NECESSARY TO PREVENT DEFORMATION
6	ADHERE ROOF MEMBRANE TO PARAPET WALL AND TERMINATE UNDER WALL COPING SYSTEM
7	FIRE TREATED WOOD BLOCKING
8	2'-0" WIDE STONE MOW STRIP W/ METAL EDGE.
9	2" RIGID PERIMETER INSULATION (PER CODE).
10	ALUMINUM STOREFRONT DOOR AND FRAME
11	METAL SILL FLASHING
12	WOOD SHIMS W/ BACKER ROD AND SEALANT ON BOTH SIDES
13	HOLLOW METAL DOOR AND FRAME
14	SOLDIER BRICK COURSE
15	12" CMU FOUNDATION WALL
16	8" UPTURNED CMU BOND BEAM

the Zimmerman Design Group

Architecture Planning Interior & Environmental Design



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414 476 9500

Revisions

Sheet

WALL SECTIONS & DETAILS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date

06.14.06

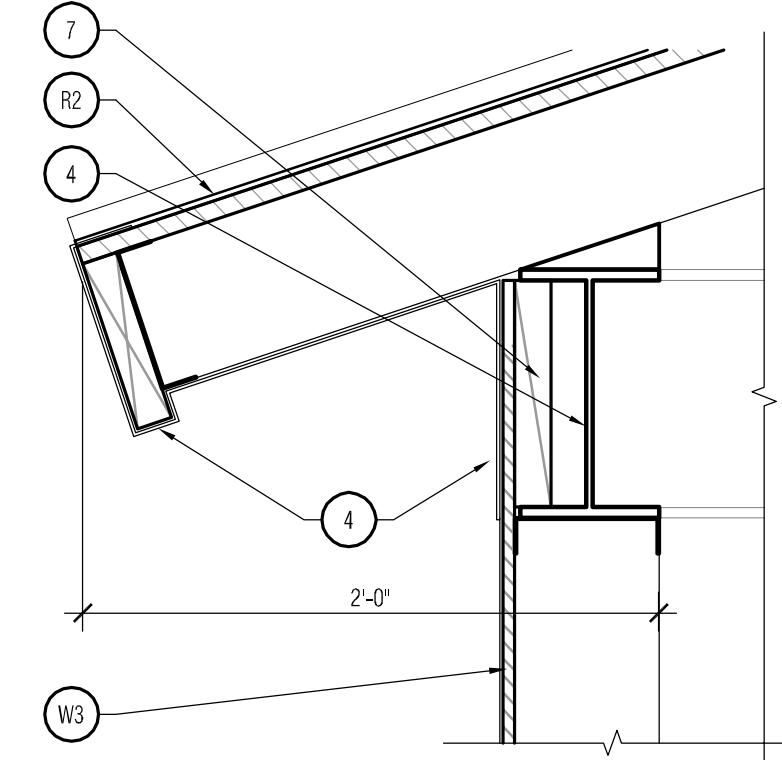
Project Number

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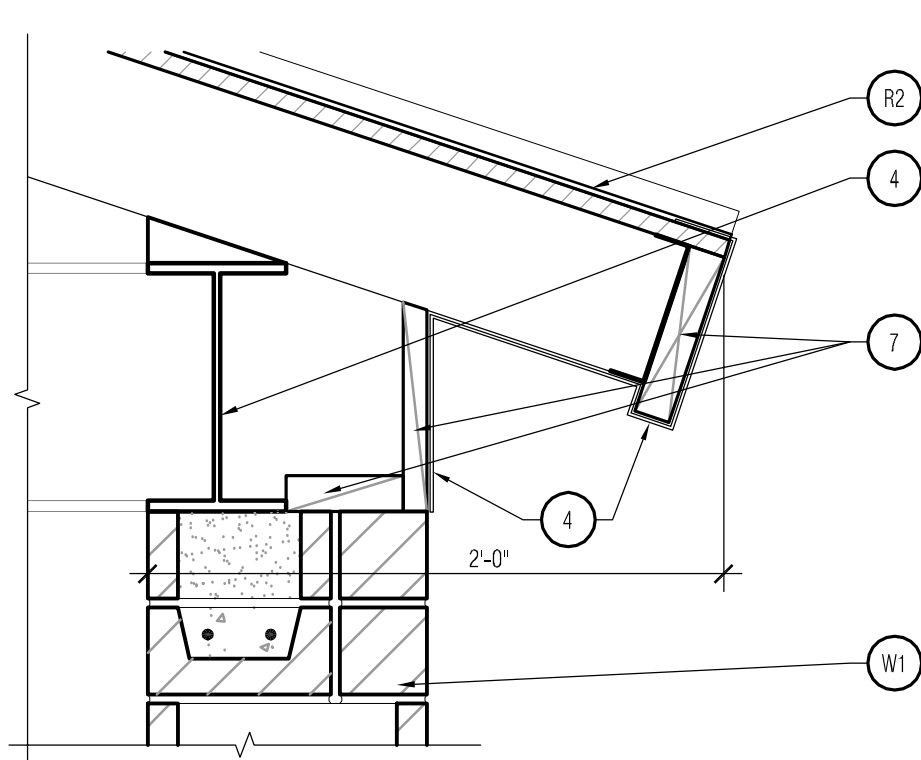
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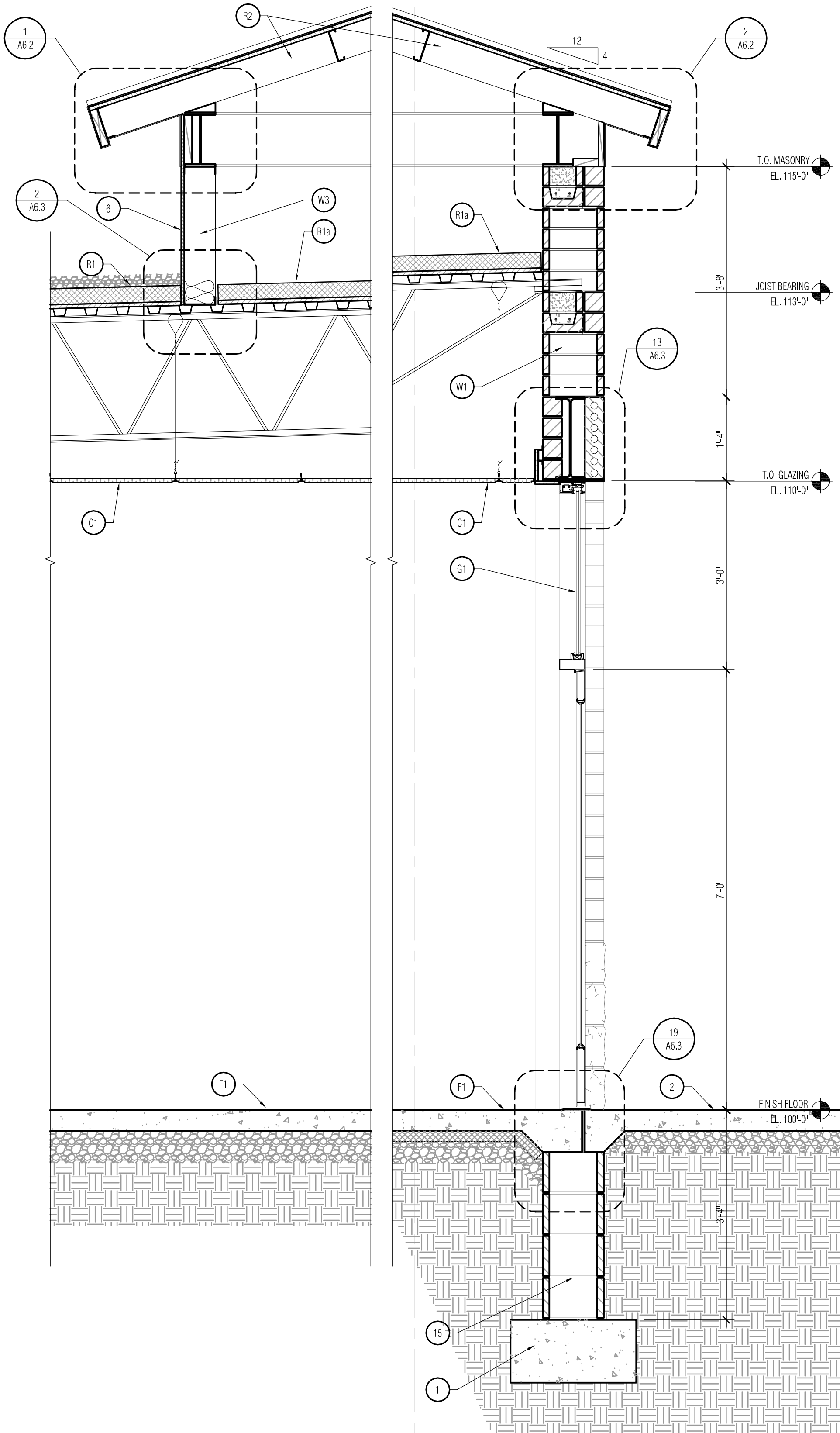
THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



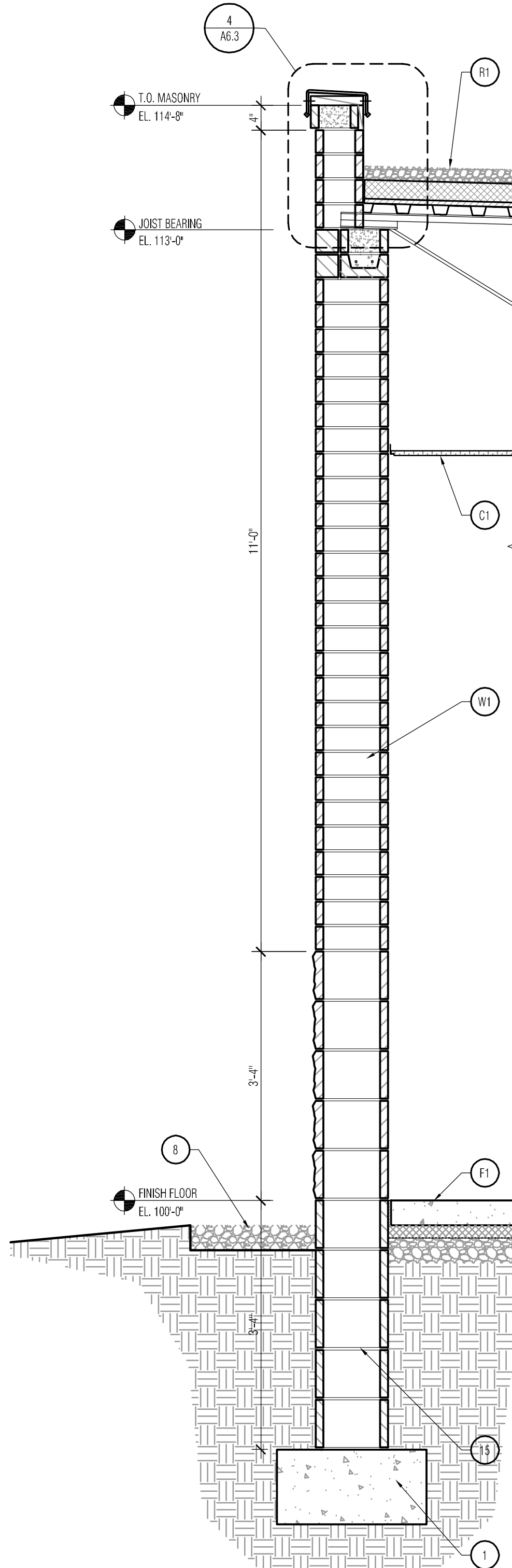
1 Tower Connection Detail
SCALE: 1-1/2" = 1'-0"



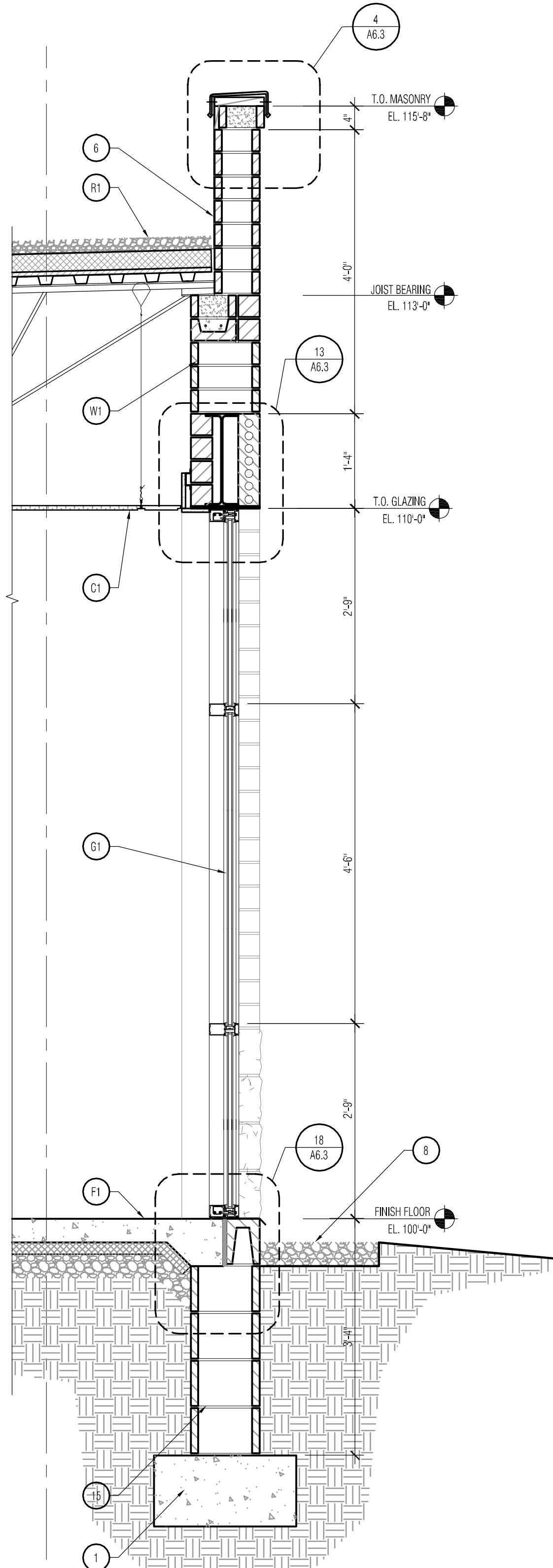
2 Tower Connection Detail
SCALE: 1-1/2" = 1'-0"



16 Wall Section @ Middle Tower
SCALE: 3/4" = 1'-0"



18 Wall Section
SCALE: 3/4" = 1'-0"



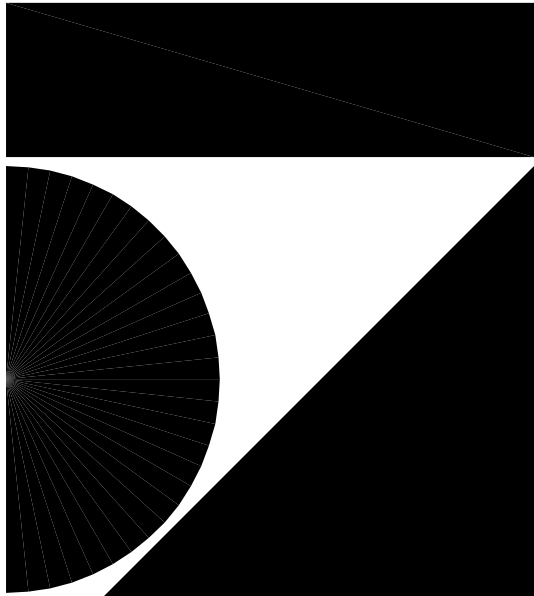
19 Wall Section
SCALE: 3/4" = 1'-0"

SECTION KEYNOTES

- F1 FLOOR SYSTEM #1
4" REINF. CONCRETE SLAB ON VAPOR BARRIER ON COMPACTED GRANULAR FILL. PROVIDE 2" RIGID INSULATION PER CODE @ FOUNDATION PERIMETER WALL. PROVIDE ISOLATION JOINT MATERIAL AT COLUMNS AND PERIMETER (SEE STRUCTURAL)
- W1 WALL SYSTEM #1
12" SPLIT-FACE CMU TO 2'-8" A.F.F., DECADE 90° BRICK (4"x16" NOM) ABOVE, W/ FOAMED IN PLACE INSULATION AT ALL EXTERIOR CONDITIONS
- W2 WALL SYSTEM #2
1/2" FIRE RESISTANT SHEATHING ON DOUBLE 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
- W3 WALL SYSTEM #3
1/2" FIRE RESISTANT SHEATHING ON 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
- G1 GLAZING SYSTEM #1
STOREFRONT SYSTEM W/ 1" INSUL. GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
- G2 GLAZING SYSTEM #2
STOREFRONT SYSTEM W/ SINGLE PANE FROSTED GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
- R1 ROOF SYSTEM #1
LOOSE LAID BALLASTED SINGLE-PLY MEMBRANE ROOFING ON 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
- R1a ROOF SYSTEM #1a
4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
- R2 ROOF SYSTEM #2
STANDING SEAM METAL ROOF PANELS ON FIRE RESISTANT EXTERIOR GRADE SHEATHING ON 6" METAL STUD FRAMING (SEE STRUCTURAL)
- C1 CEILING SYSTEM #1
2x4 SUSPENDED CEILING TILE (SEE FINISH SCHEDULE AND R.C.P. FOR MATERIAL AND HEIGHT).
- A1 AWNING SYSTEM #1
VINYL FABRIC AWNING ON ALUMINUM FRAMING (OPEN SIDES)
- OP1 COPING SYSTEM #1
PRE-FINISHED 2 PIECE METAL GRAVEL STOP W/ CONTINUOUS HOLD-DOWN CLIPS ON 2x WOOD NAILERS ANCHORED TO TOP OF WALL.
- 1 REINFORCED CONCRETE FOUNDATION (SEE STRUCTURAL)
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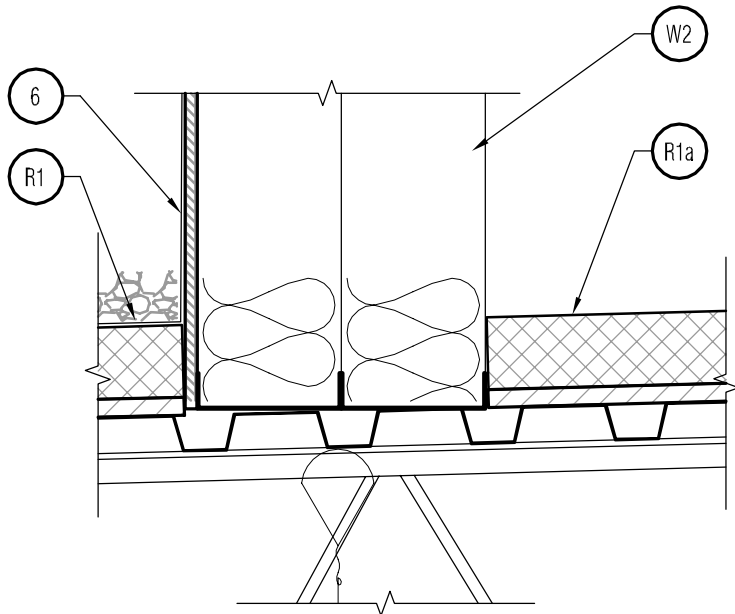
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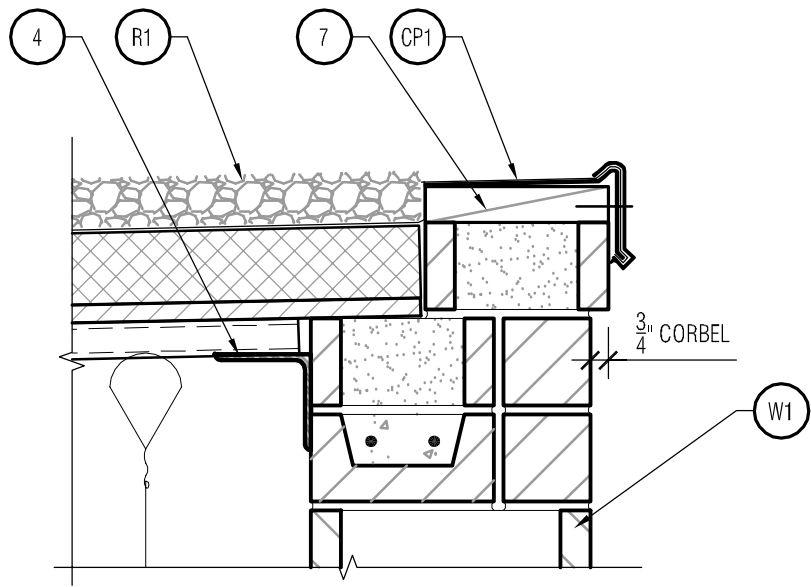
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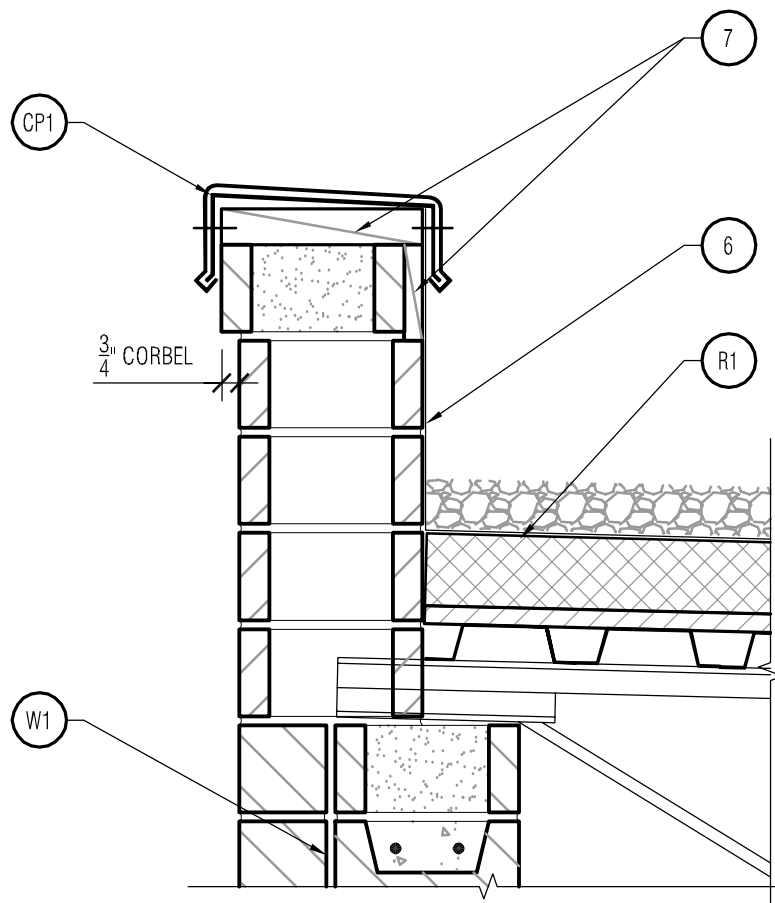
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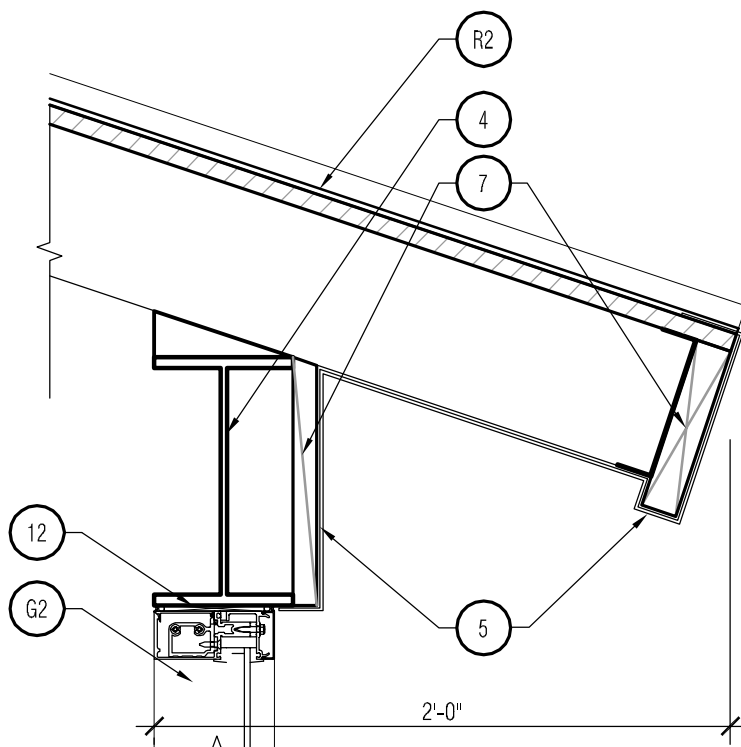
2 Tower Detail
SCALE: 1-1/2" = 1'-0"



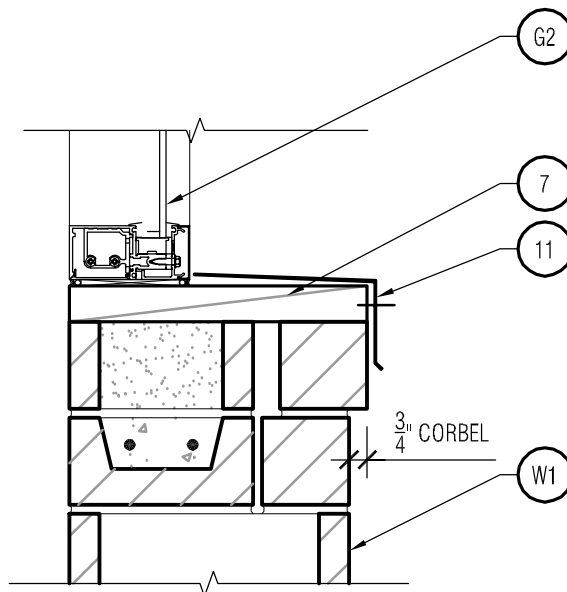
3 Coping System #1
SCALE: 1-1/2" = 1'-0"



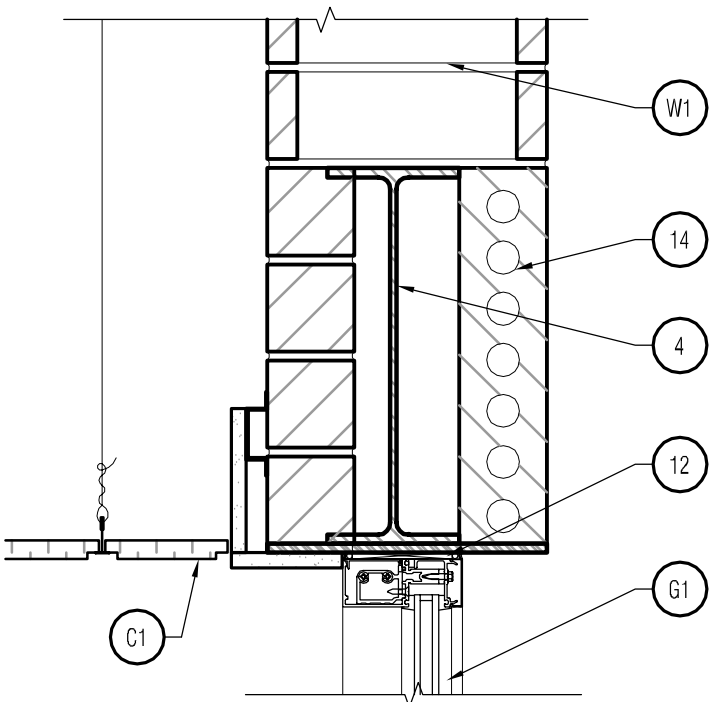
4 Coping System #2
SCALE: 1-1/2" = 1'-0"



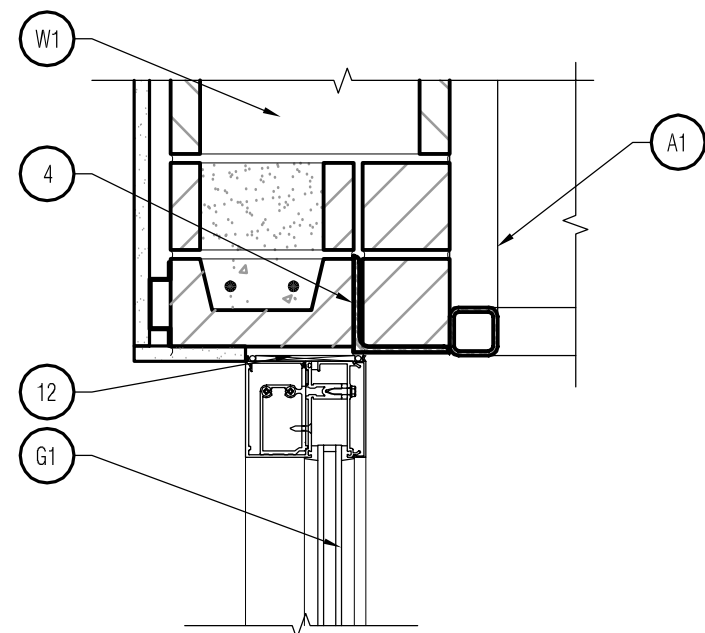
8 Roof Edge Detail
SCALE: 1-1/2" = 1'-0"



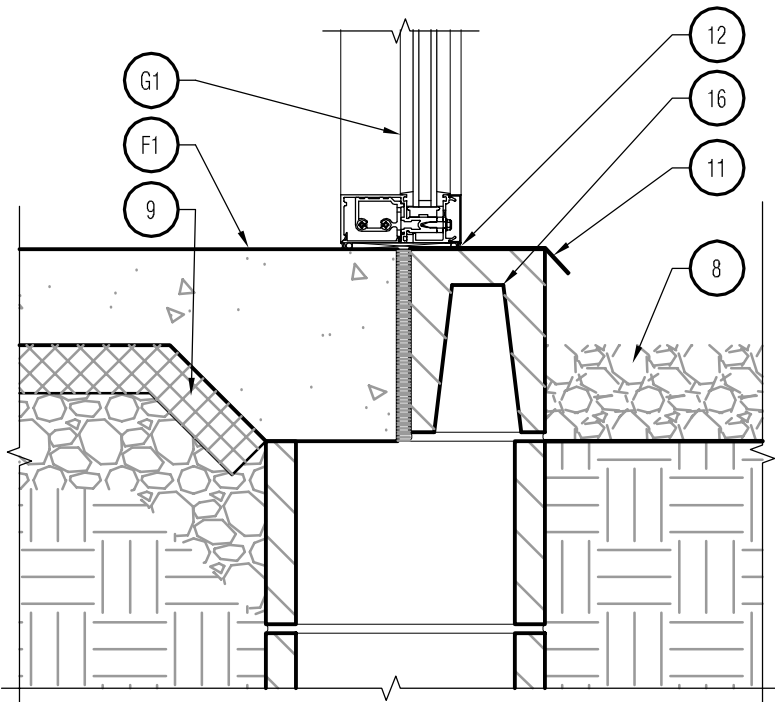
9 Sill Detail
SCALE: 1-1/2" = 1'-0"



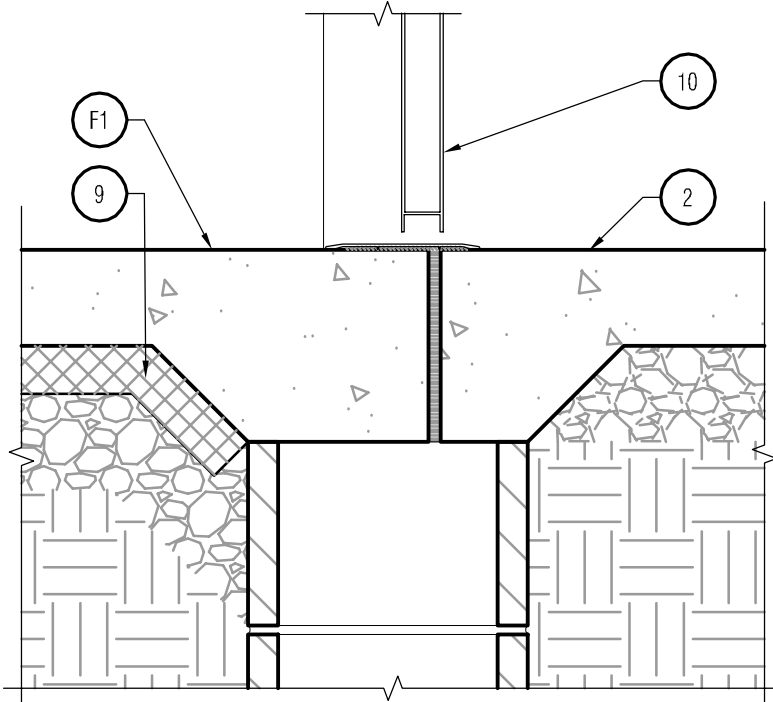
13 Lintel Detail
SCALE: 1-1/2" = 1'-0"



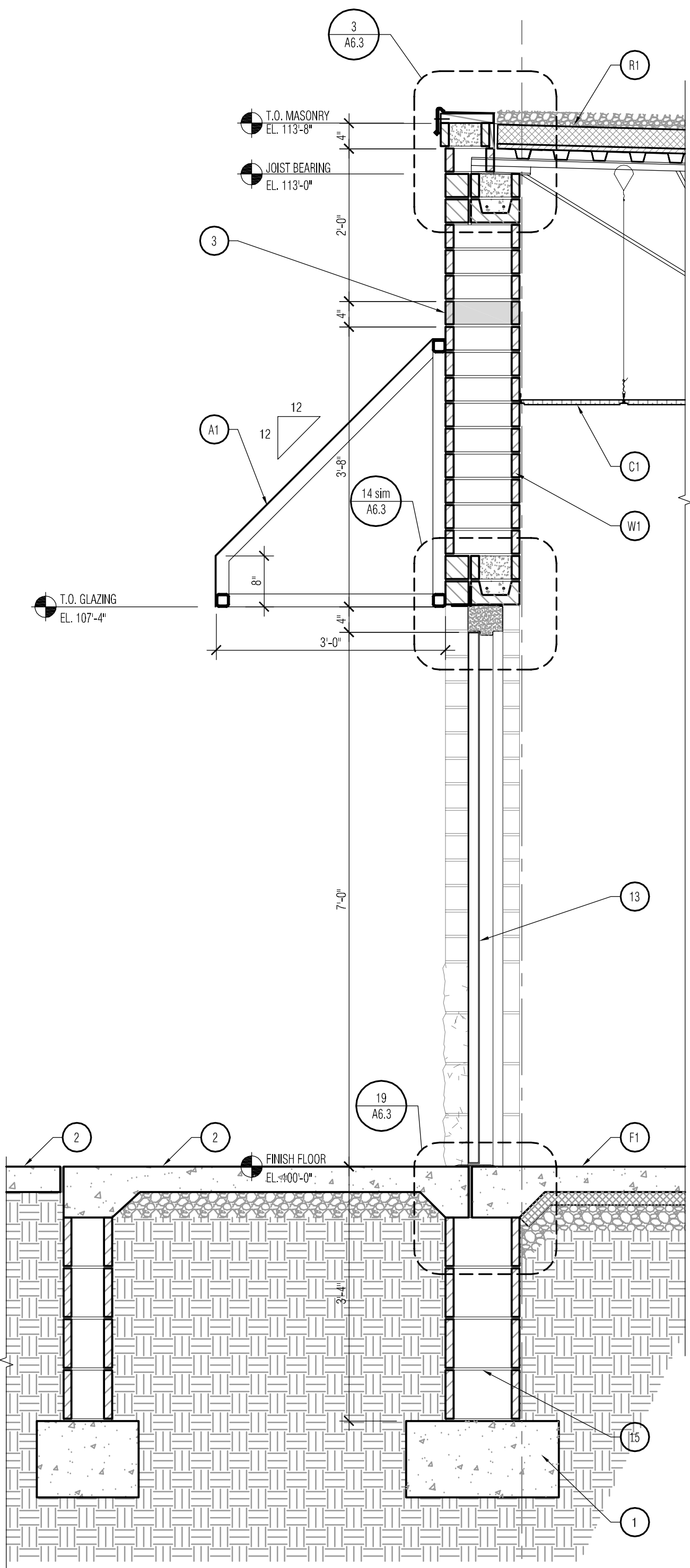
14 Lintel Detail
SCALE: 1-1/2" = 1'-0"



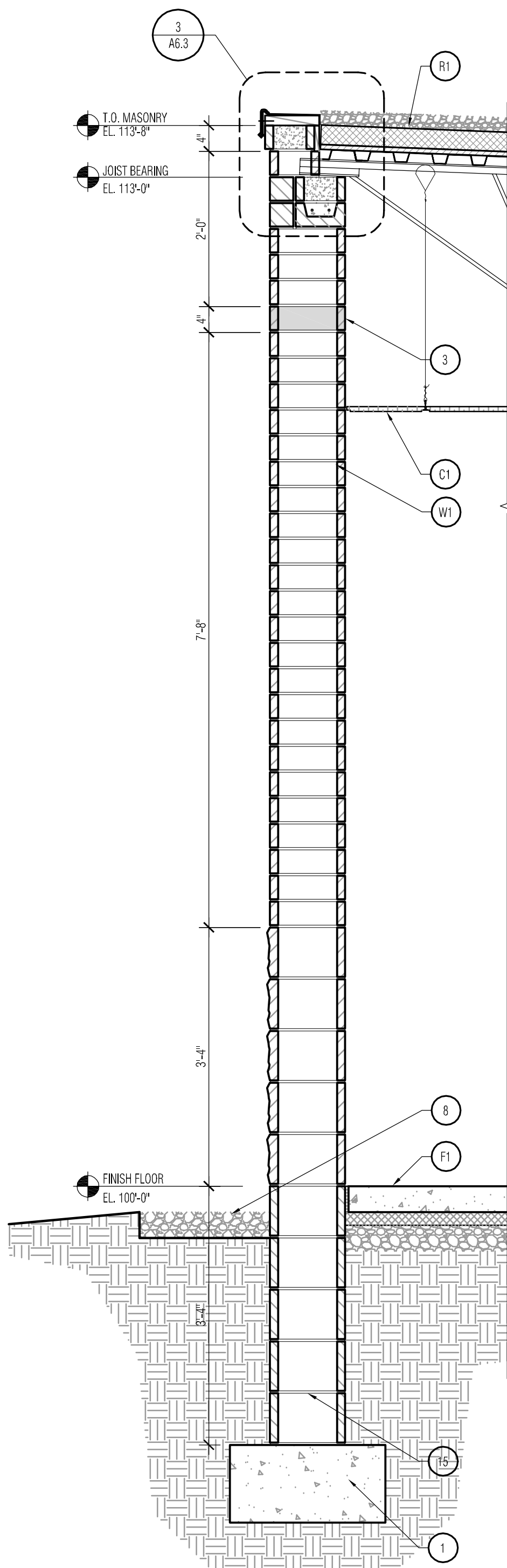
18 Foundation Detail
SCALE: 1-1/2" = 1'-0"



19 Foundation Detail
SCALE: 1-1/2" = 1'-0"



16 Wall Section @ Rear Exit Door
SCALE: 3/4" = 1'-0"

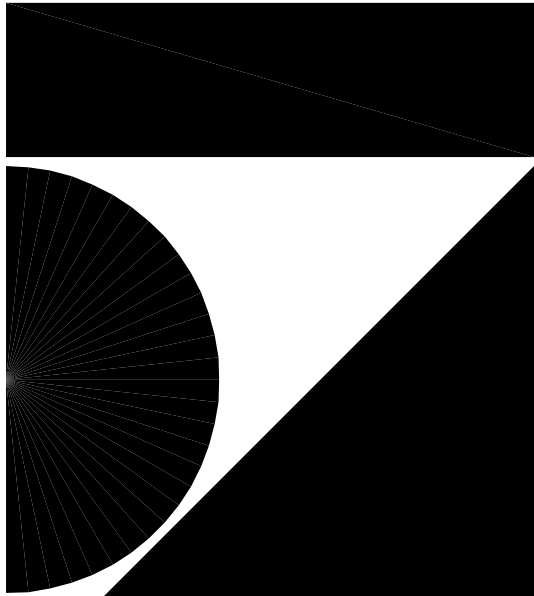


17 Wall Section
SCALE: 3/4" = 1'-0"

SECTION KEYNOTES	
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G2	GLAZING SYSTEM #2 STOREFRONT SYSTEM W/ SINGLE PANE FROSTED GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
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R1a	ROOF SYSTEM #1a 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
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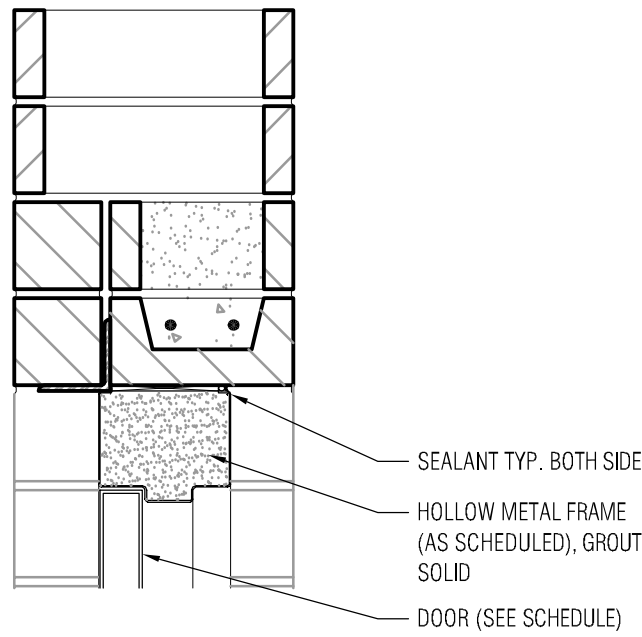
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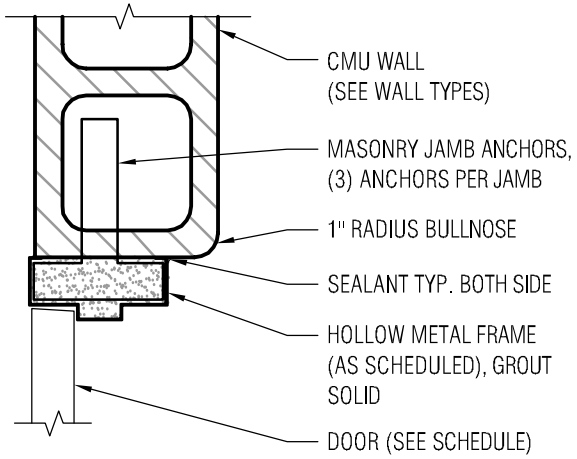
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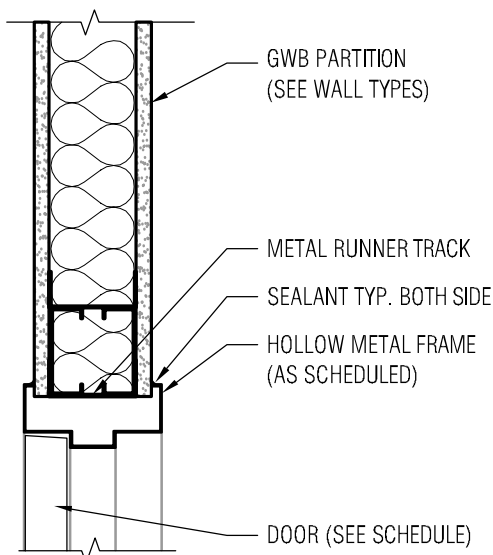
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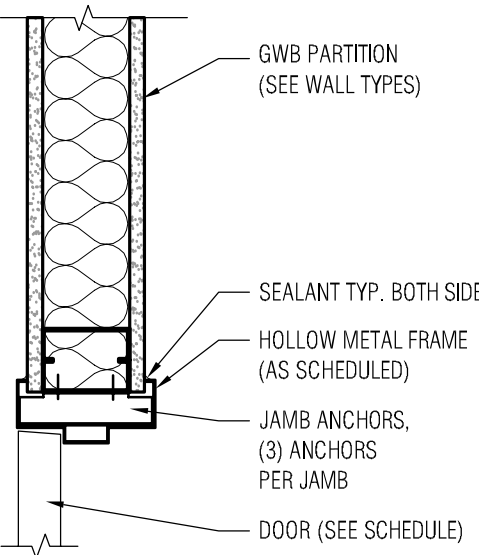
1 Hollow Metal Door Head @ CMU Wall
SCALE: 1 1/2" = 1'-0"



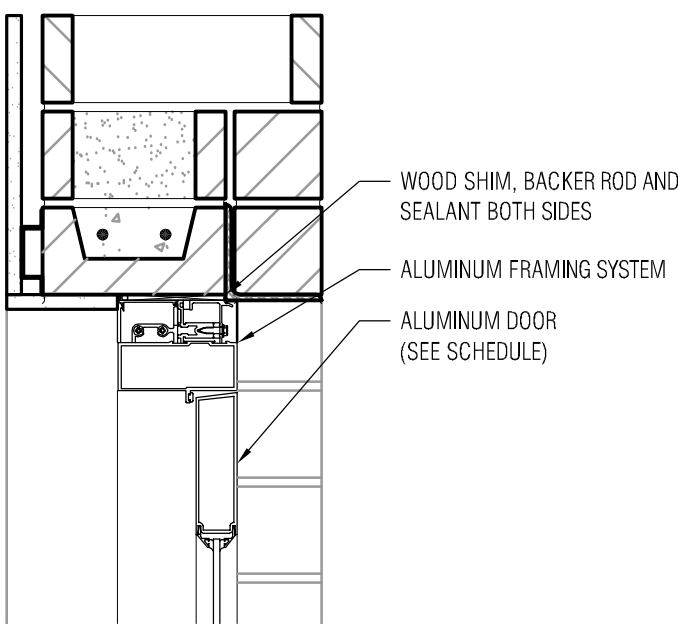
2 Hollow Metal Door Jamb @ CMU Wall
SCALE: 1 1/2" = 1'-0"



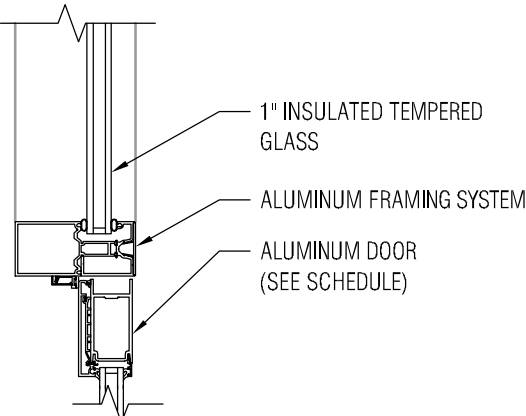
6 Hollow Metal Door Head @ Typ. Interior Door
SCALE: 1 1/2" = 1'-0"



7 Hollow Metal Door Jamb @ Typ. Interior Door
SCALE: 1 1/2" = 1'-0"



11 Aluminum Door Head
SCALE: 1 1/2" = 1'-0"



12 Aluminum Door Jamb w/ Sidelight
SCALE: 1 1/2" = 1'-0"

DOOR TYPES			FRAME TYPES		
			NOTE: SEE ELEVATIONS FOR EXTERIOR DOOR FRAME CONFIGURATIONS		
TYPE 1 DOOR W/ FULL GLAZING			TYPE A DOOR FRAME W/ SIDELIGHT		
TYPE 2 DOUBLE DOOR W/FULL GLAZING			TYPE B TYP DOOR FRAME		
TYPE 3 SINGLE SWING DOOR			TYPE C TYP EXT. DOOR FRAME		

DOOR AND FRAME SCHEDULE													
No.	DOOR					FRAME			DETAIL		FIRE RATING	HARDWARE	REMARKS
	WIDTH	HEIGHT	TYPE	MATL	FINISH	TYPE	MATL	FINISH	HEAD	JAMB			
101A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
101B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
102A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
103A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
103B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
104A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
105A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
105B	6'-0"	7'-0"	2	ALUM	ANOD		ALUM	ANOD	11/A9.1	12/A9.1		HS-1	SEE PLANS AND ELEVATIONS
106A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
107A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
107B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
108A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
109A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
109B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
110A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
111B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
111C	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
112A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
113A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
113B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
114A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
115A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
115B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
116A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
117A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
117B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
118A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
119A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
119B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
120A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY

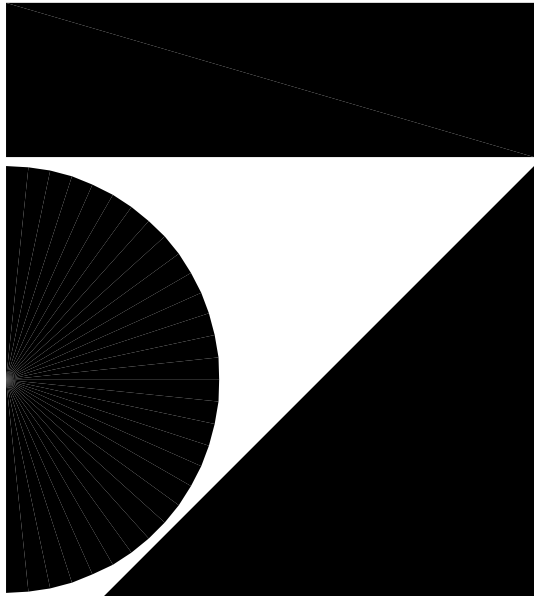
HARDWARE SETS
HS-1 (DOUBLE ALUM. EXTERIOR DOORS) PIN HINGES PANIC DEVICE W/ PULL & EXT. KEY CYLINDER - (INTERNAL RODS W/ TOP & BOTTOM PINS) CLOSURE THRESHOLD & WEATHERSTRIPPING
HS-2 (SINGLE EXTERIOR H.M. DOORS) 1-1/2 PAIR B.B. HINGES RIM MOUNTED PANIC DEVICE W/ NO EXTERIOR HARDWARE CLOSURE THRESHOLD & WEATHERSTRIPPING
HS-3 (RESTROOM HARDWARE) 1-1/2 PAIR BUTT HINGES PRIVACY LOCK SET
**GENERAL NOTE: PROVIDE DOOR BUMPERS OR STOPS AT EACH NON-CLOSURE DOOR

SCHEDULES LEGEND
H.M. HOLLOW METAL ALUM ALUMINUM ANOD ANODIZED C.T. CERAMIC TILE EXP EXPOSED ACT ACOUSTICAL CEILING TILE

ROOM FINISH SCHEDULE							
ROOM	FLOOR	WALLS				REMARKS	
No	NAME	MAT'L	BASE	NORTH	EAST	SOUTH	WEST
101	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
102	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
103	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
104	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
105	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
106	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
107	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
108	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
109	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
110	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
111	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
112	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
113	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
114	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
115	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
116	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
117	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
118	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT
119	TENANT	EXP	EXP	EXP	EXP	EXP	EXP
120	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT

the Zimmerman Design Group

Architecture Planning Interior & Environmental Design



7707 Harwood Avenue
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Revisions

Sheet

SCHEDULES & DOOR DETAILS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date

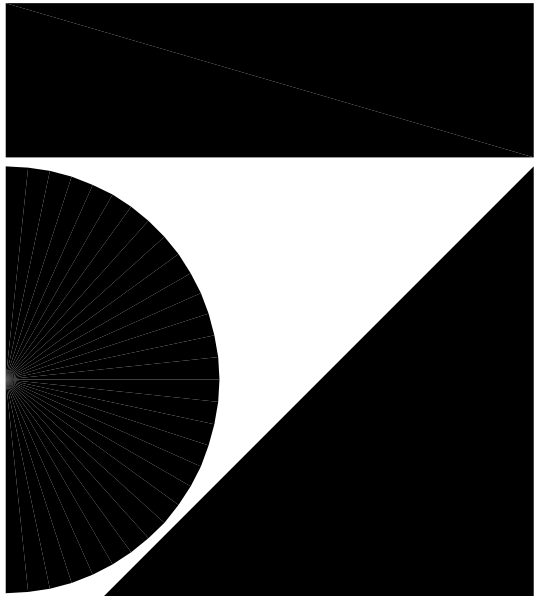
06.14.06

Project Number

060033.00

Sheet Number

A9.1



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Revisions

Sheet
FOUNDATION PLAN

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date
06.14.06

Project Number
060033.00

Sheet Number

S1.0

CMU WALL CONSTRUCTION NOTES

- CMU SHALL BE LAID IN RUNNING BOND WITH TYPE S MORTAR (TYPE M BELOW GRADE).
- ALL REINFORCED CELLS SHALL BE GROUTED WITH PEA GRAVEL. CONCRETE HAVING A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI.
- HORIZONTAL REINFORCING AND BOND BEAM REINFORCING AT CORNERS SHALL BE LAPPED A MINIMUM OF 48 BAR DIAMETERS, OR 24" INCHES, WHICHEVER IS LARGER.
- CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR, WHEN THE POUR HEIGHT EXCEEDS 5 FEET.
- GROUT LIFTS SHALL NOT EXCEED 5 FEET. CONSOLIDATE GROUT AT TIME OF PLACEMENT.
- FACE SHELLS AND WEB FORMING CELLS SHALL BE FULL-BEDDED IN THE STARTING COURSE ON FOUNDATIONS, AND IN ALL COURSES OF PIERS AND PILASTERS.
- PROVIDE HORIZONTAL JOINT REINFORCING AT 16" O.C. VERTICALLY (8" O.C. IN PARAPET WALLS) UNO.
- HORIZONTAL JOINT REINFORCING SHALL BE TERMINATED AT CONTROL JOINTS. BOND BEAM REINFORCING SHALL BE CONTINUOUS.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONTROL JOINT SPACINGS.
- SOLID OR SOLID GROUTED CMU SHALL BE PROVIDED IN COURSES IMMEDIATELY ABOVE AND BELOW ANY CHANGES IN WT/THICKNESS.

FOOTING SCHEDULE

MARK	DIMENSIONS			REINFORCEMENT	REMARKS
	WIDTH	LENGTH	DEPTH		
F1	3'-6"	3'-6"	1'-0"	3 - #5 E.W.	
F2	5'-0"	5'-0"	1'-2"	5 - #6 E.W.	
F3	4'-4"	4'-4"	1'-0"	4 - #6 E.W.	
U1	2'-0"	CONT.	1'-0"	2 - #5 x CONT.	
U2	1'-8"	CONT.	1'-0"	2 - #5 x CONT.	
U3	3'-6"	CONT.	1'-3"	4 - #5 x CONT. TAB	

FOOTING SCHEDULE NOTES:
1. E.W. = EACH WAY
T = TOP
B = BOTTOM
CONT. = CONTINUOUS

MATERIAL DESIGN PROPERTIES

CONCRETE STRENGTHS:		
FOOTINGS	$f'_c = 3000 \text{ psi}$	
CONCRETE WALLS	$f'_c = 4000 \text{ psi}$	
SLAB ON GRADE	$f'_c = 4000 \text{ psi}$	
MASONRY STRENGTHS:		
ASTM C 90, grade N (CMU)	$f_m = 1800 \text{ psi}$	
ASTM C 95, grade N (CONCRETE BRICK)	$f_m = 1800 \text{ psi}$	
MORTAR (ASTM C 210):		
TYPE M	$f_u = 2500 \text{ psi}$	
TYPE S	$f_u = 1800 \text{ psi}$	
GROUT (ASTM C 416):		
BOND BEAMS (pea gravel)	$f'_c = 3000 \text{ psi}$	
MASONRY WALLS AND PIERS (pea gravel)	$f'_c = 3000 \text{ psi}$	
REINFORCING STEEL STRENGTHS:		
BAR (ASTM A 615, grade 60)	$F_y = 60,000 \text{ psi}$	
UWF (ASTM A 185)	$F_y = 65,000 \text{ psi}$	
STRUCTURAL STEEL STRENGTHS:		
UP SHAPES (ASTM A992)	$F_y = 50,000 \text{ psi}$	
ANGLES, CHANNELS, PLATES, & BARS (ASTM A36)	$F_y = 36,000 \text{ psi}$	
SQUARE & RECTANGULAR TS OR HSS SECTIONS (ASTM A500, grade B)	$F_y = 46,000 \text{ psi}$	
ROUND HSS SECTIONS (ASTM A500, grade B)	$F_y = 42,000 \text{ psi}$	
STEEL PIPE (ASTM A53, grade B)	$F_y = 35,000 \text{ psi}$	
HIGH STRENGTH BOLTS (ASTM A325)		

COLUMN SCHEDULE

MARK	SIZE	BASE IE & ANCHOR BOLTS	REMARKS
C1	HSS 6x6x5/16"	IE 1'x12'x1'-0" w/ 4 - 3/4" A.B.'s	

DESIGN CODE: WISCONSIN ENROLLED COMMERCIAL BUILDING CODE 2002

WIND LOAD INFORMATION:	
BASIC WIND SPEED	90 MPH
BUILDING CATEGORY	100
WIND LOAD IMPORTANCE FACTOR (I_w)	B
WIND EXPOSURE	+18
INTERNAL PRESSURE COEFFICIENTS	
WIND LOADS:	
MAIN FORCE WIND RESISTING SYSTEM	
WALLS	15 psf
PARAPET	25 psf
ROOF UPLIFT	-15 psf (GROSS)
COMPONENTS AND CLADDING	
WALLS	10 psf
PARAPET	40 psf
ROOF UPLIFT	-20 psf (GROSS)
ROOF POSITIVE PRESSURE	10 psf

SEISMIC LOAD INFORMATION:	
SEISMIC USE GROUP	1
SEISMIC LOAD IMPORTANCE FACTOR (I_e)	1.00
SPECTRAL RESPONSE COEFFICIENT (S_{ds})	0.094
SPECTRAL RESPONSE COEFFICIENT (S_{d1})	0.052
SEISMIC SITE CLASS	C
SEISMIC DESIGN CATEGORY	A
SEISMIC FORCE RESISTING SYSTEM	ORDINARY REINFORCED MASONRY SHEAR WALLS
DESIGN BASE SHEAR	0.038W
ANALYSIS PROCEDURE	EQUIVALENT LATERAL-FORCE

MILD REINFORCING STEEL MINIMUM CLEAR COVER

CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH:
FOOTINGS: 3"

CONCRETE EXPOSED TO EARTH OR WEATHER:
WALLS, COLUMNS, BEAMS:
UP THROUGH #5 BARS
#6 THRU #8 BARS

CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
WALLS:

UP THROUGH #11 BARS
#14 AND #18 BARS
ELEVATED SLABS:
TOP
BOTTOM

BEAMS: TOP/BOTTOM/SIDE

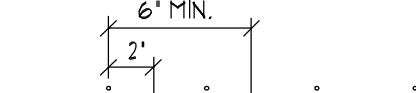
COLUMNS: SIDES

(DIMENSIONS ABOVE ARE MINIMUMS, UNLESS NOTED OTHERWISE IN DETAILS)

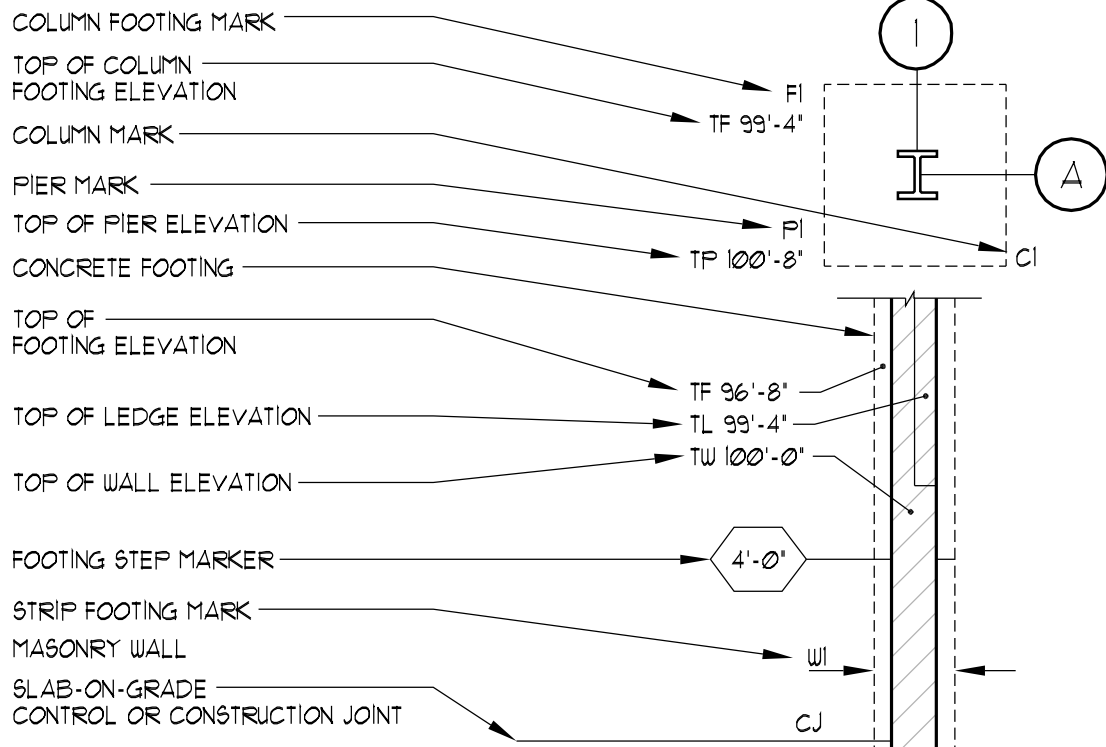
DESIGN DATA

SNOW LOAD INFORMATION:	
GROUND SNOW (P_g)	30 psf
SNOW EXPOSURE FACTOR (C_e)	1.00
SNOW LOAD IMPORTANCE FACTOR (I_s)	1.00
THERMAL FACTOR (C_t)	1.00 (12 AT OVERHANG)
BALANCED SNOW LOAD (P_f)	21 psf + DRIFT
(LOAD APPLIED TO ENTIRE BLDG.)	(SEE SNOW DRIFT PLAN, SXXX)
SOIL LOAD INFORMATION:	
SOIL BEARING PRESSURE	$P = 3000 \text{ psf}$
	(TO BE FIELD VERIFIED)
SOILS INFORMATION FROM GILES ENGINEERING ASSOCIATES, INC.,	
REPORT #16-0605045 DATED MAY 31, 2006.	
LIVE LOADS:	
STAIRWAYS, CORRIDORS, LOBBIES, COMMON AREAS	100 psf
MECHANICAL / ELECTRICAL ROOMS	100 psf
RETAIL SPACE:	
FIRST FLOOR	100 psf
ROOF	SEE SNOW LOAD INFO

REINFORCING NOTES

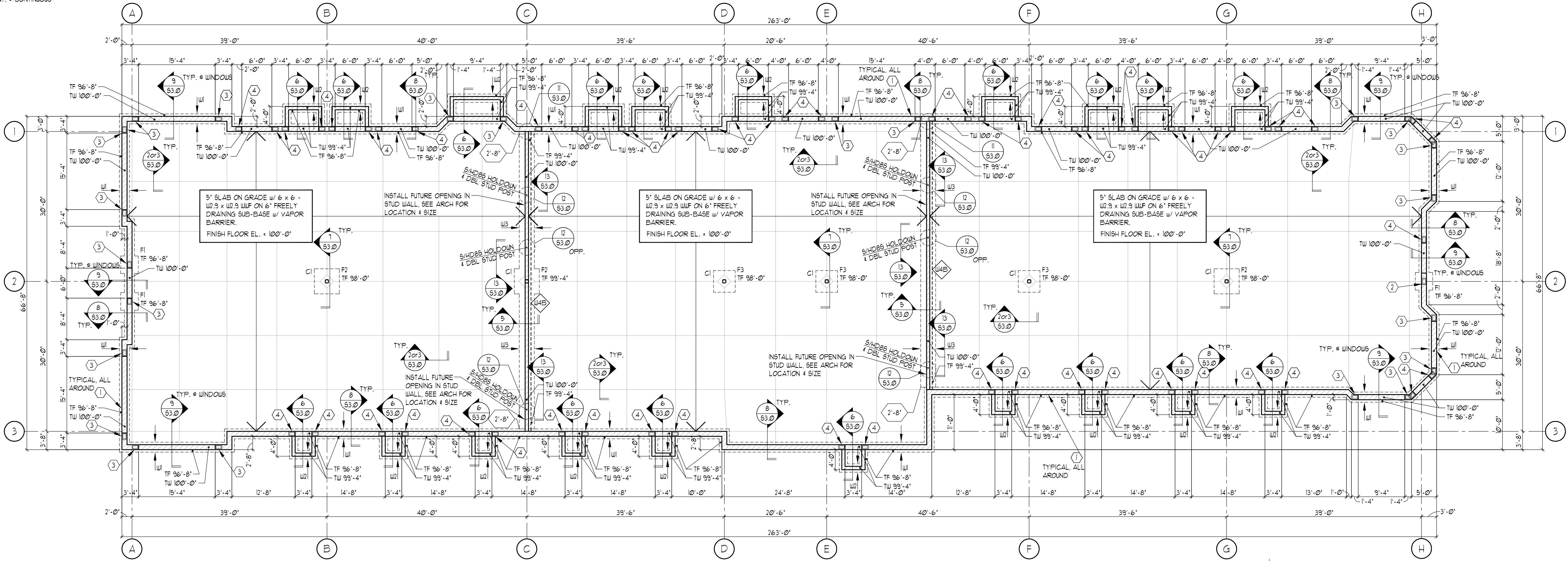
- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 318 (CURRENT EDITION).
- ALL LAPS SHALL BE CLASS 'B' PER ACI 318 UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS, OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 12 INCHES DEEP.
- LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.
- CORNER BARS WITH CLASS 'B' PER ACI 318 LAPS SHALL BE PROVIDED AT ALL WALL CORNERS AND INTERSECTIONS.
- HORIZONTAL BARS, EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OF OPENING TO ANOTHER SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OF WALL.
- WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP F_y PER ACI 318.

- PROVIDE MINIMUM COVER PER ACI318, 7.1.1.
- PROVIDE ISOLATION BOARD WHERE SLABS ABUT VERTICAL SURFACES AS SHOWN IN DETAIL 4/63.2

FOUNDATION LEGEND



FOUNDATION PLAN NOTES

- CONTRACTOR SHALL PROVIDE FROST AND MOISTURE PROTECTION FOR FOOTINGS EXPOSED DURING CONSTRUCTION.
- REFER TO ARCHITECTURAL DRAWINGS OR PLUMBING DRAWINGS FOR SPECIFIC FLOOR DRAIN LOCATIONS & ELEVATIONS.
- REFER TO S3.0 FOR MISCELLANEOUS DETAILS NOT CUT ON PLAN.
- FOOTING EXCAVATIONS SHALL BE EXAMINED BY THE GEOTECHNICAL ENGINEER TO CONFIRM THAT THE SOILS AT THE BOTTOM OF THE EXCAVATION ARE CAPABLE OF PROVIDING FOR 3000 psf BEARING PRESSURE. CONTACT ARCH-ENGINEER IF UNABLE TO ATTAIN THIS SOIL BEARING PRESSURE.
- NO PROVISION HAS BEEN MADE FOR FUTURE EXPANSION.
- U4E INDICATES METAL STUD SHEARWALL w/1/4" APA RATED, FIRE RETARDENT TREATED, WOOD SHEATHING ATTACHED TO FACE OF 6" METAL STUDS w/8 SCREWS @ 4" O.C. EDGES & 12" O.C. FIELD. ALL PANEL EDGES MUST BE BLOCKED. SEE DETAILS & COLD-FORMED FRAMING NOTES FOR REQUIRED INFORMATION.

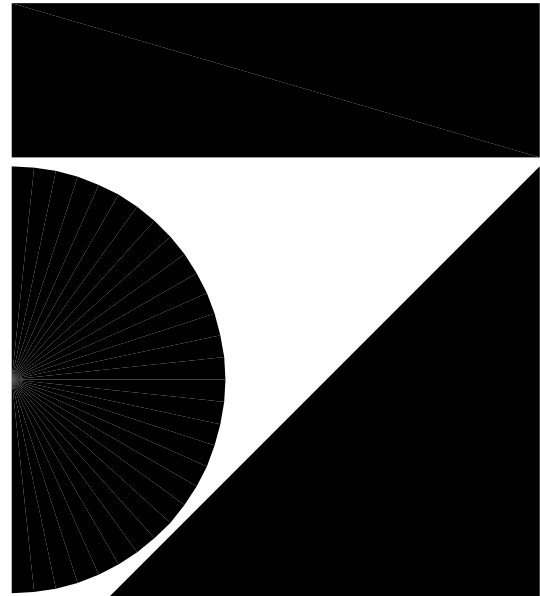


FOUNDATION PLAN

SCALE: 3/32" = 1'-0"

NOTES:

- SEE SHEET S3.0 FOR MASONRY WALL & PIER SCHEDULE



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Revisions

Sheet
ROOF FRAMING PLAN

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date
06.14.06

Project Number
060033.00

Sheet Number

S2.0

ROOF TRUSS DESIGN NOTES

NOTE: ROOF TRUSS DESIGNER TO VERIFY MINIMUM DESIGN LOADS.

DEFLECTION LIMITS:

LIVE LOAD

L/360

TOTAL LOAD

L/240

LOADS:

ROOF DEAD LOAD

25 psf

ROOF WIND LOAD (W_u)

8 psf HORIZONTAL

(ALSO SEE DESIGN DATA FOR ADDITIONAL WIND LOADS)

BALANCED SNOW LOAD (W_s)

SEE DESIGN DATA

UNBALANCED SNOW LOAD (SEE KEY BELOW)

WINDWARD LOAD (W_u)

7 psf

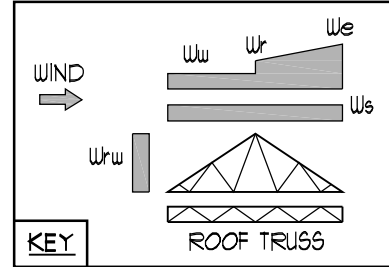
LEEWARD LOAD AT RIDGE (W_s)

44 psf

LEEWARD LOAD AT EAVE (W_s)

44 psf

APPLY DESIGN DRIFT LOADS TO ROOF TRUSSES WHERE REQUIRED BY WISCONSIN BUILDING CODE, CURRENT EDITION. SEE SNOW DRIFT PLAN S/52.0.



JOIST DESIGN NOTES

- JOIST MFR. SHALL DESIGN JOISTS FOR ALL APPLICABLE DEAD, LIVE, WIND, AND SEISMIC LOADS. FOR SPECIAL JOIST LOADING SEE ROOF PLAN & DRIFT DIAGRAM.
- JOISTS SHALL BE DESIGNED FOR A MIN. 25 PSF DL AND 25 PSF SL (BALANCED) ROOF LOAD.
- THE EFFECTS OF UNBALANCED SNOW LOAD SHALL BE CONSIDERED PER ASCE 7, SECTION 1.6.
- JOIST MFR. SHALL COORDINATE ALL EQUIPMENT LOADS WITH APPROPRIATE MANUFACTURER, SUCH AS: CEILING, HUNG EQUIPMENT, RTU's, ETC.
- JOIST MFR. SHALL COORDINATE WITH MECHANICAL THE WEIGHTS AND LOCATIONS OF MECHANICAL EQUIPMENT AND LOCATION OF DUCT RUNS SO THEY DO NOT CONFLICT WITH JOIST MEMBERS, PRIOR TO FABRICATION OF JOISTS.
- STEEL JOISTS AND BRIDGING AS SHOWN ON THE DRAWINGS SHALL BE DESIGNED FOR GROSS WIND UPLIFT OF 20 psf, OR A MINIMUM NET WIND UPLIFT OF 3psf, WHICHEVER CAUSES THE GREATEST EFFECT.
- BRIDGING CONNECTION TO WALLS AND STEEL FRAMING BY JOIST MFR.
- JOISTS AND SEAT CONNECTION SHALL BE DESIGNED TO RESIST AXIAL SEISMIC LOADS AS NOTED, OR TO RESIST A HORIZONTAL FORCE ACTING PARALLEL TO THE JOIST, NOT LESS THAN 5 PERCENT OF THE DEAD PLUS LIVE LOAD REACTION (IBC 16101.4), WHICH EVER IS GREATER.
- REINFORCE JOISTS WHERE CONCENTRATED LOADS DO NOT OCCUR AT A PANEL POINT.
- JOIST BRIDGING, WHERE SHOWN, IS A SCHEMATIC REPRESENTATION FOR GENERAL INFORMATION. PURPOSES ONLY. JOIST SUPPLIER SHALL BE RESPONSIBLE FOR PROVIDING BRIDGING WHICH COMPLIES WITH ALL REQUIREMENTS, INCLUDING LOCATION SIZE AND CONFIGURATION, EXCEPT WHERE SPECIAL REQUIREMENTS ARE SPECIFICALLY NOTED. SUPPLIER SHALL GIVE DUE CONSIDERATION TO THE RELATIVE STIFFNESSES OF JOISTS AND ADJACENT STRUCTURAL ELEMENTS.

STEEL FRAMING LEGEND

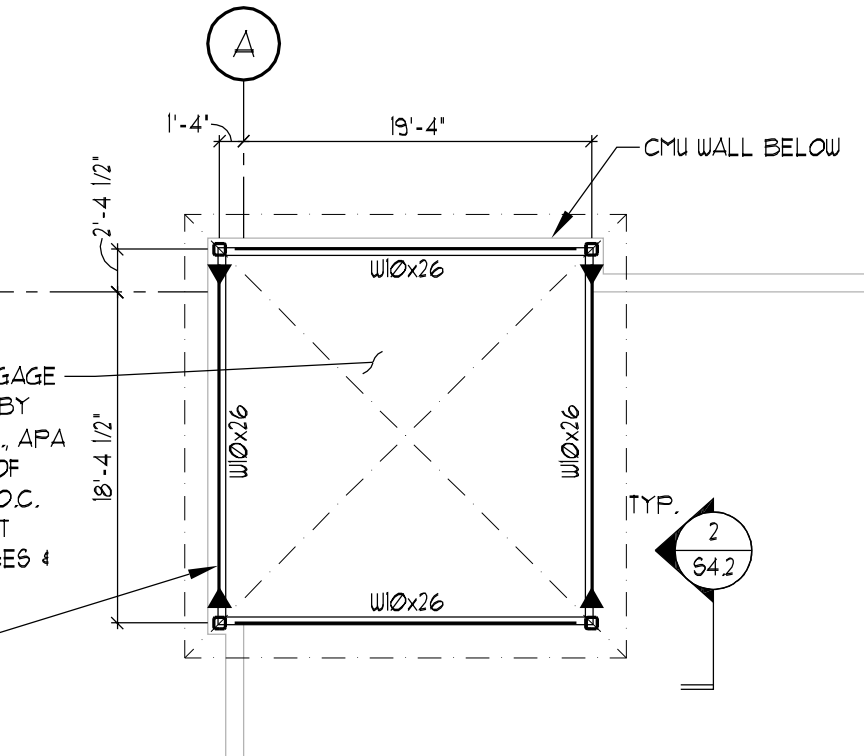
- BEAM CANTILEVER
- BEAM FRAMED OVER BEAM
- COLUMN SIZE / MARK
- BEAM FRAMED OVER WF COLUMN
- BEAM FRAMED OVER TS COLUMN
- BEAM SPLICE
- BEAMS FRAMED INTO SIDE OF WF COLUMN
- BEAM - TO - COLUMN MOMENT CONNECTION REACTION
- BEAMS FRAMED INTO SIDE OF BEAM
- BEAM SIZE / DESIGNATION w/ TOP OF STEEL ELEVATION
- BEAM FRAMED INTO SIDE OF TS COLUMN

STEEL FRAMING NOTES

- TOP OF STEEL & JOIST BEARING
- UNLESS OTHERWISE NOTED ON PLANS, ROOF DECK SHALL BE 1/4" 10GA TYPE B GALV. DECK INSTALLED IN A MANNER SUCH THAT IT IS CONTINUOUS OVER A MINIMUM OF THREE SPANS. SHEET END AND SHEET TO STRUCTURE FASTENERS SHALL BE WELDED USING 5/8" PUDDLE WELDS. SIDELAP FASTENERS SHALL BE #10 HEX HEAD SCREWS, AS A MINIMUM USE 36/4 PATTERN w/1 SIDELAP FASTENERS, PERIMETER FASTENING SHALL CORRESPOND TO INTERIOR FASTENING AS A MINIMUM. PARTIAL PANELS SHALL BE WELDED IN EVERY VALLEY.
- WHERE DECK MUST BE DISCONTINUOUS DUE TO CHANGE IN DIRECTION OR ROOF PITCH, PROVIDE 22 GA CLOSURE/CONTINUITY PL. FASTENED TO DECK @ 8" O.C.
- PROVIDE FOR DECK SUPPORT FRAMING AT RTU SHAFTS, ROOF HATCH, AND EXHAUST FANS WEIGHING LESS THAN 350 LBS. PROVIDE SIMILAR FRAMING AT ROOF DRAINS, AND ALL DECK PENETRATIONS GREATER THAN 12" (SEE ARCH AND MECH DUGS).
- BEAM CONNECTIONS SHALL BE DESIGNED FOR END REACTIONS AS DEFINED ON P. 4-9 OF THE AISC MANUAL 9TH ED., UNLESS NOTED OTHERWISE. CONNECTION SCHEDULE ON 6/54.0 SHOULD BE USED AS A MINIMUM.
- STRUCTURAL STEEL/JOIST FRAMING NOT DIMENSIONED ON PLAN SHALL BE SPACED EQUALLY BETWEEN DIMENSIONED MEMBERS.
- SEE SHEET 53.0 FOR LINTEL SCHEDULE.
- "MSH" INDICATES "METAL STUD HEADER". SEE DETAIL 9/54.1 FOR INFO.
- "▲" DENOTES L3x3x1/4 DIAG. BRACE FROM BOTTOM FLANGE TO JOIST TOP CHORD PANEL POINT OR TOP CHORD OF ADJ. JOISTS AS APPLICABLE
- SEE DETAIL 6/54.2 FOR SPECIAL JOIST DIAGRAMS.

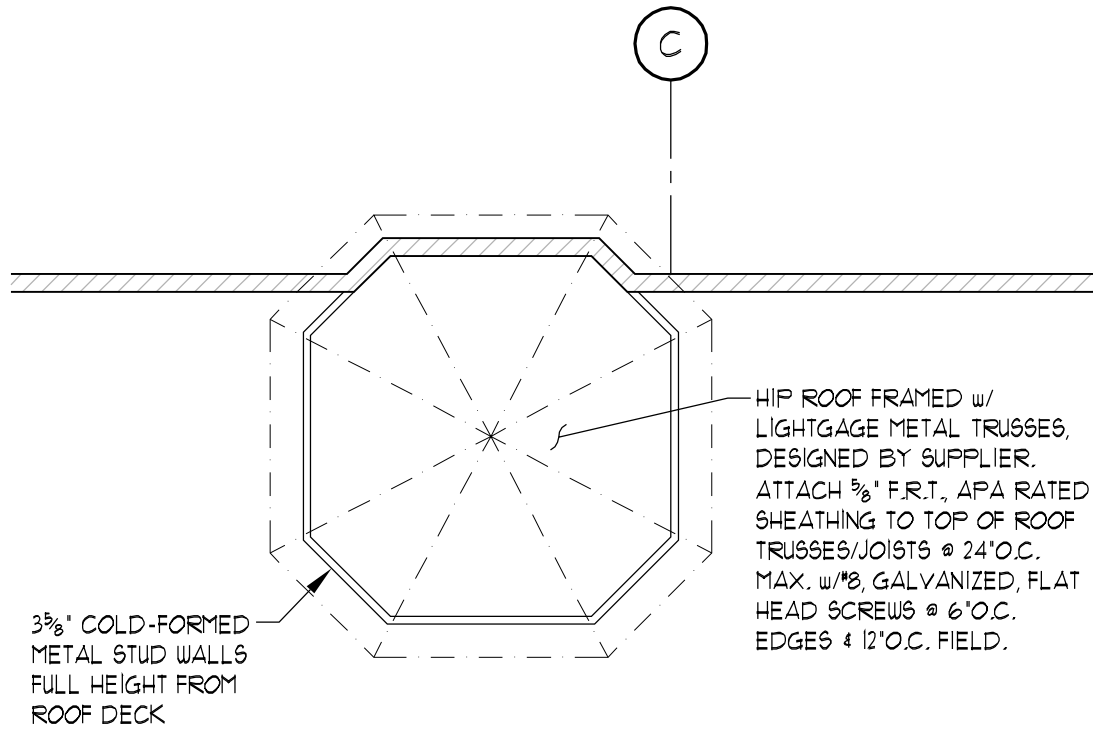
SNOW DRIFT DIAGRAM

SCALE: N.T.S.



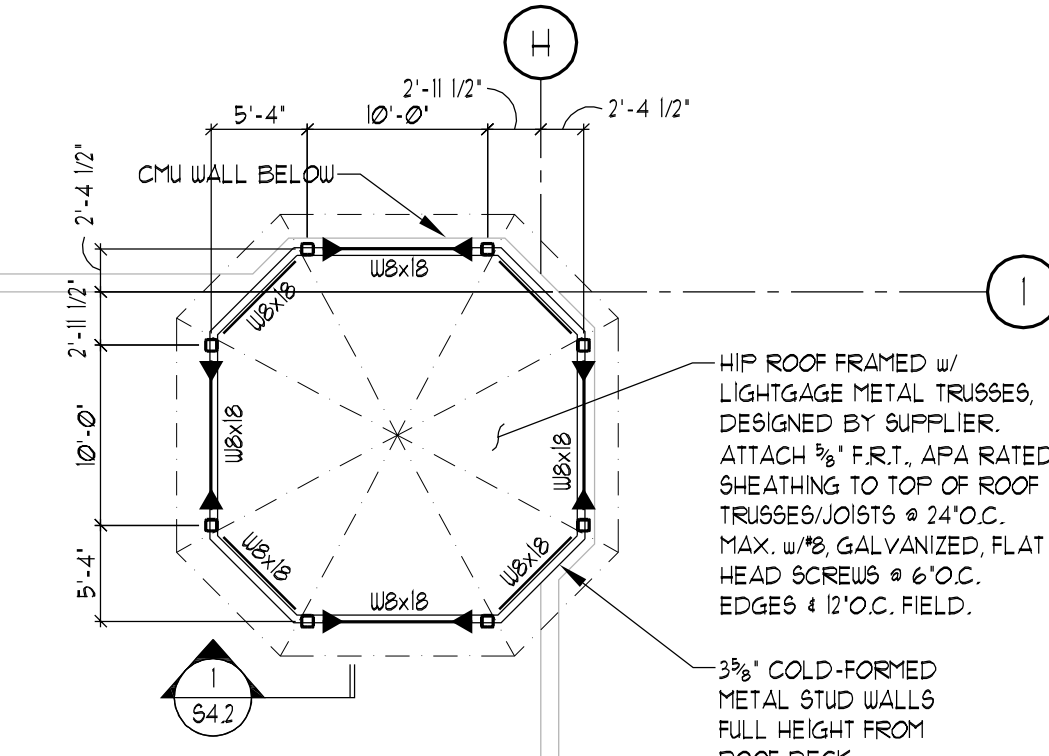
HIGH ROOF FRAMING PLAN @ WEST TOWER

SCALE: 3/32" = 1'-0"



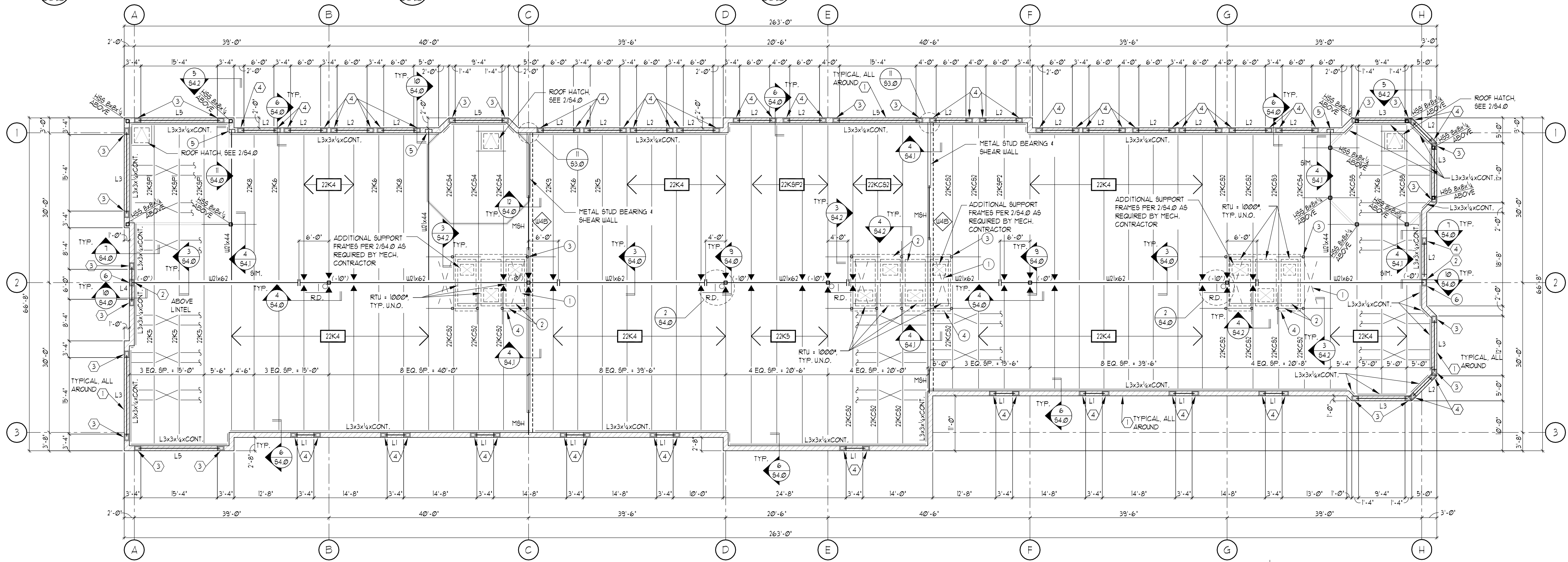
HIGH ROOF FRAMING PLAN @ CENTER TOWER

SCALE: 3/32" = 1'-0"



HIGH ROOF FRAMING PLAN @ EAST TOWER

SCALE: 3/32" = 1'-0"



ROOF FRAMING PLAN

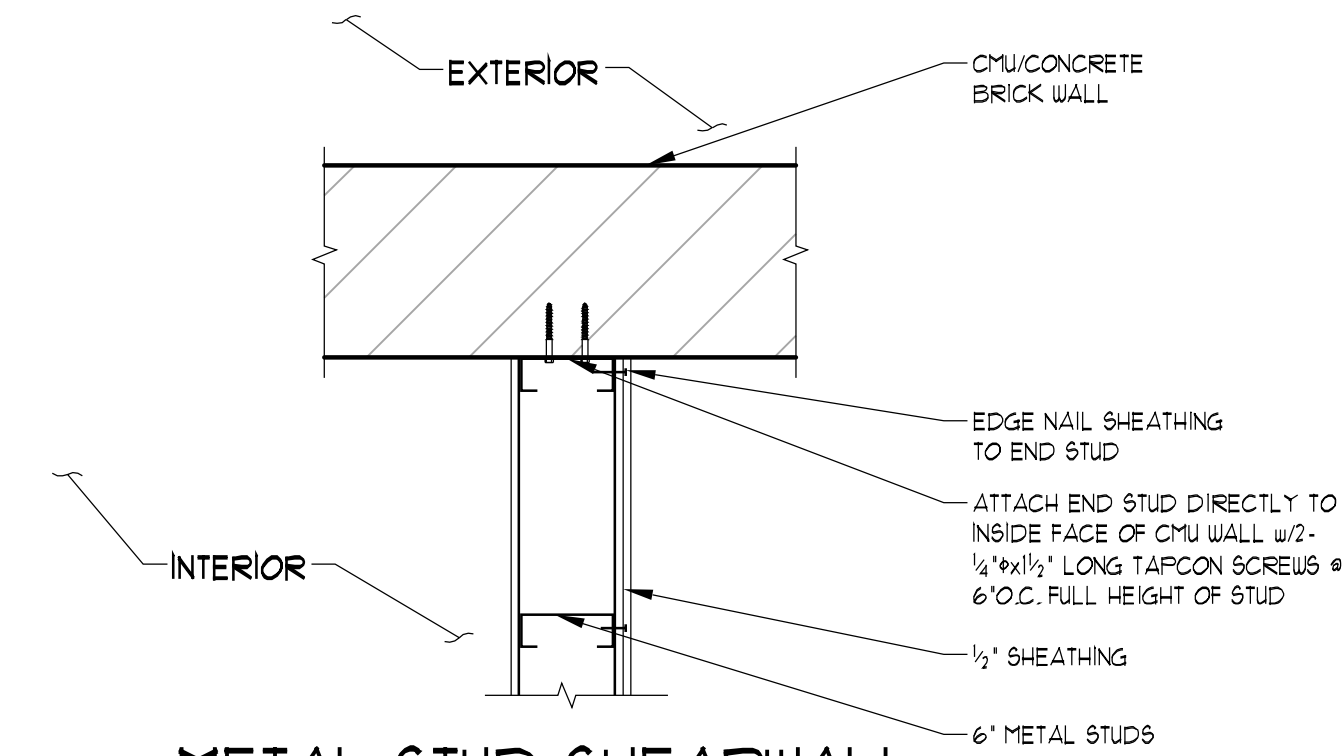
SCALE: 3/32" = 1'-0"

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

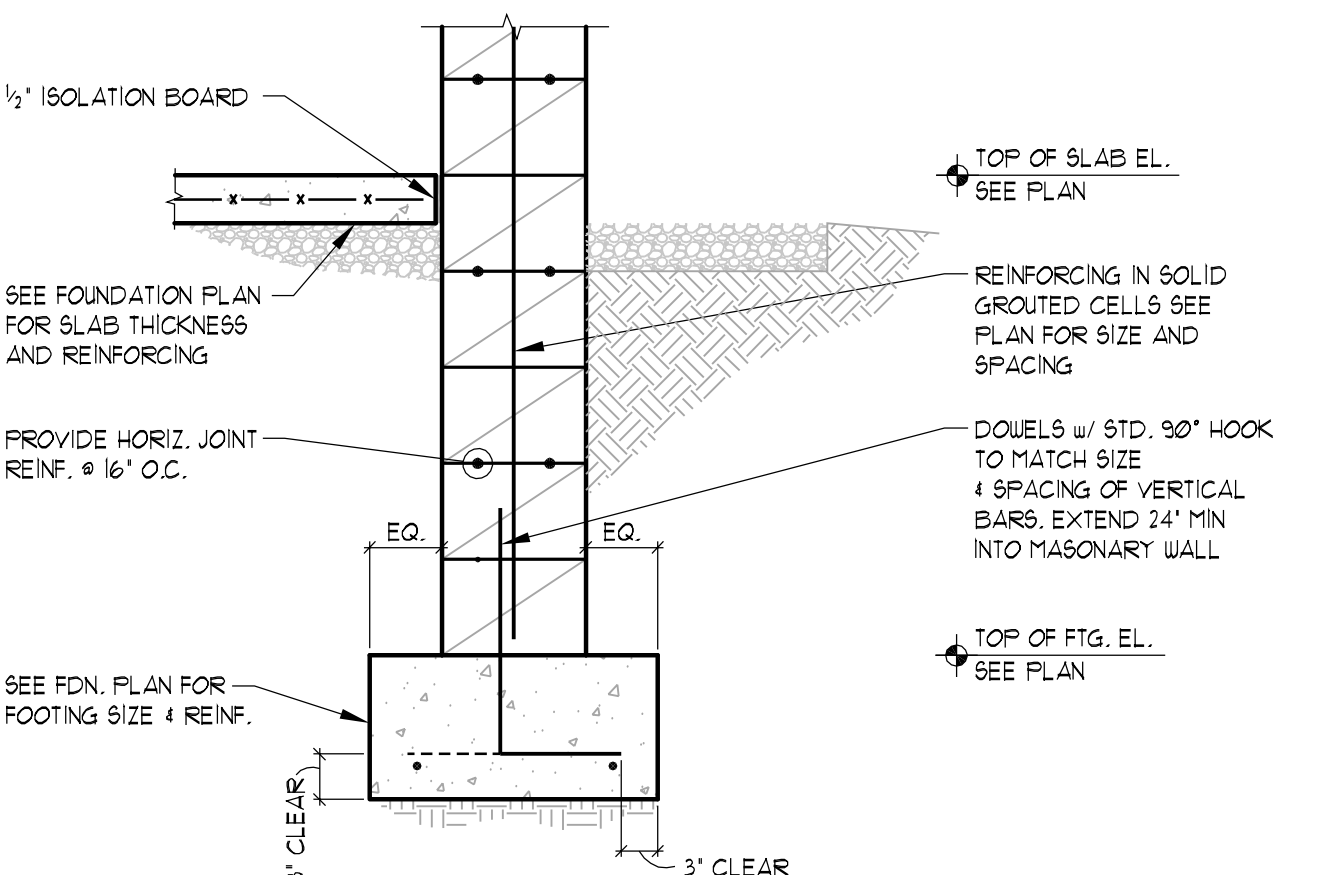
MASONRY WALL & PIER REINF. SCHEDULE

MARK	SIZE/REINFORCING	COMMENTS
①	12" CMU/CONCRETE BRICK w/ #5 BARS VERTICAL @ 48" O.C.	CENTER REINFORCING IN WALL, U.N.O. REINFORCING AT PIERS SUBSTITUTES FOR WALL REINFORCING. ADJUST SPACING ABOVE & BELOW OPENINGS TO ENSURE MAXIMUM BAR SPACING @ 4'-0" O.C.
②	12"x16" CMU/CONCRETE BRICK PIER w/ 4- #6 BARS VERTICAL & #2 TIES @ 16" O.C.	4- #6 BARS FULL HEIGHT
③	12"x16" CMU/CONCRETE BRICK PIER w/ 4- #6 BARS VERTICAL	BAR BETWEEN LINTEL BRG & FOUNDATION 2- #6 FULL HEIGHT
④	12"x16" CMU/CONCRETE BRICK PIER w/ 1- #6 BARS VERTICAL	GROUT CORE SOLID FOR 3 COURSES BELOW BRG. 1- #6 FULL HEIGHT

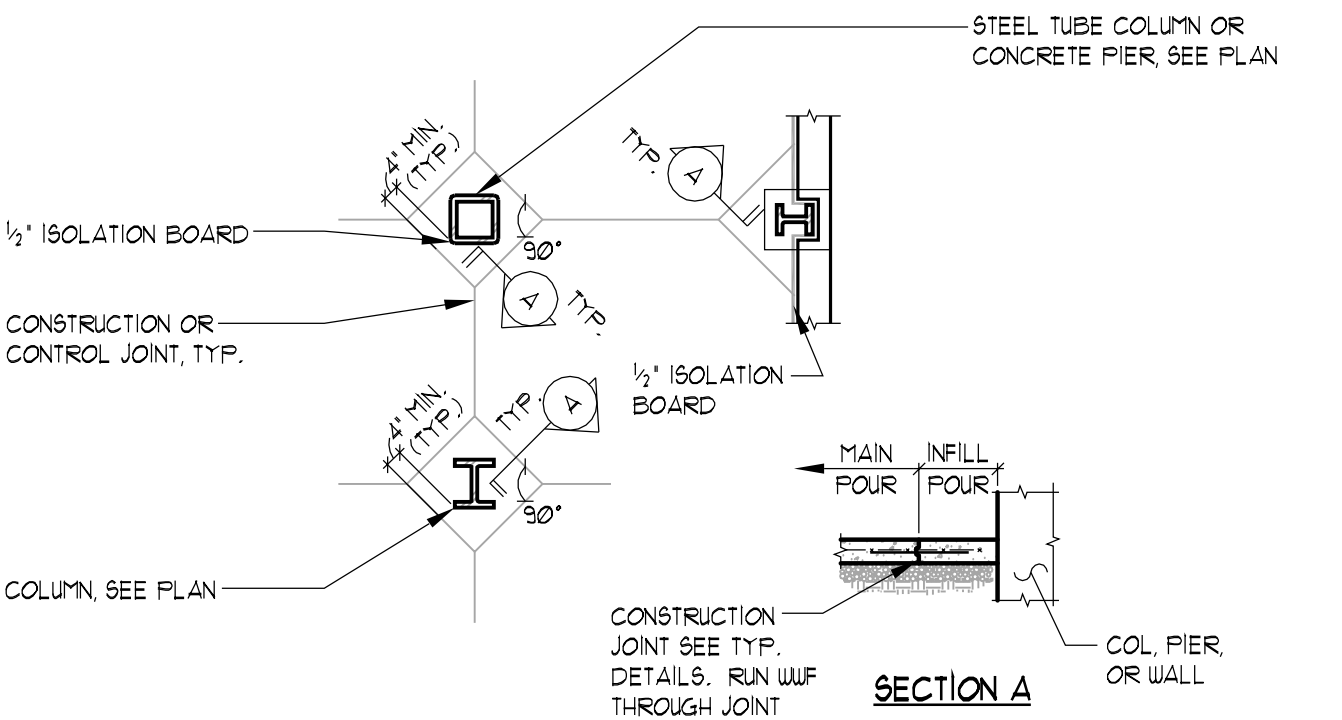
- MASONRY WALL & PIER REINF. SCHEDULE NOTES:
1. PROVIDE MATCHING DOUELS WITH STANDARD 90° HOOK INTO FOUNDATION FOR ALL REINFORCED WALLS & PIERS. LAP 48 BAR DIAMETERS WITH VERTICALS.
 2. ALL REINFORCING SHALL EXTEND FULL HEIGHT UNLESS NOTED OTHERWISE.
 3. PROVIDE (1) VERTICAL BAR AT CORNERS, AND ON EACH SIDE OF CONTROL JOINTS.
 4. EXCEPT WHERE NOTED OTHERWISE PROVIDE (1) VERTICAL BAR IN THE CELL ADJACENT TO LINTEL BEARING AT ALL OPENINGS.
 5. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL GROUTING REQUIREMENTS.
 6. SEE DETAILS 142/641 FOR VERTICAL BAR PLACEMENT



11
63.0
METAL STUD SHEARWALL TO MASONRY WALL CONNECTION
SCALE: N.T.S.



8
63.0
TYPICAL EXTERIOR WALL STRIP FOOTING SECTION
SCALE: N.T.S.

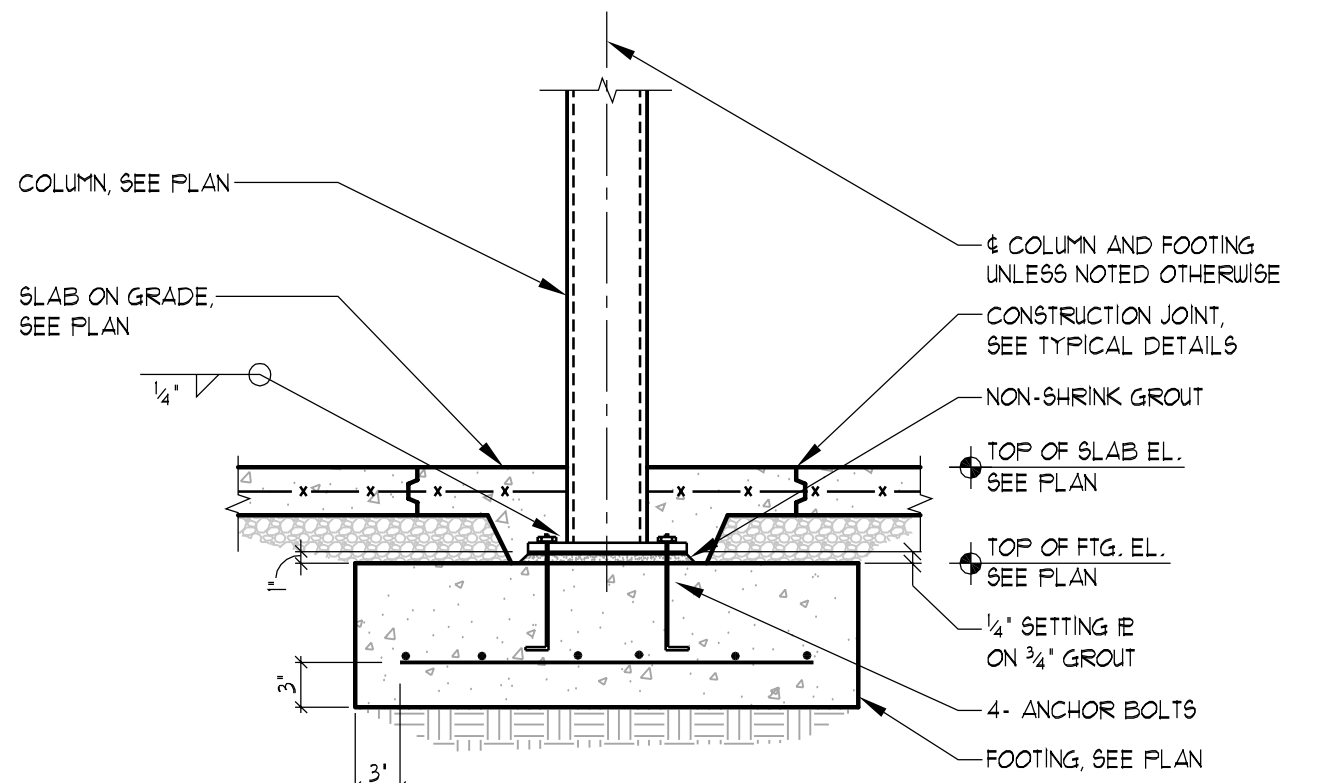


4
63.0
TYPICAL SLAB ON GRADE ISOLATION JOINTS @ COLUMN
SCALE: N.T.S.

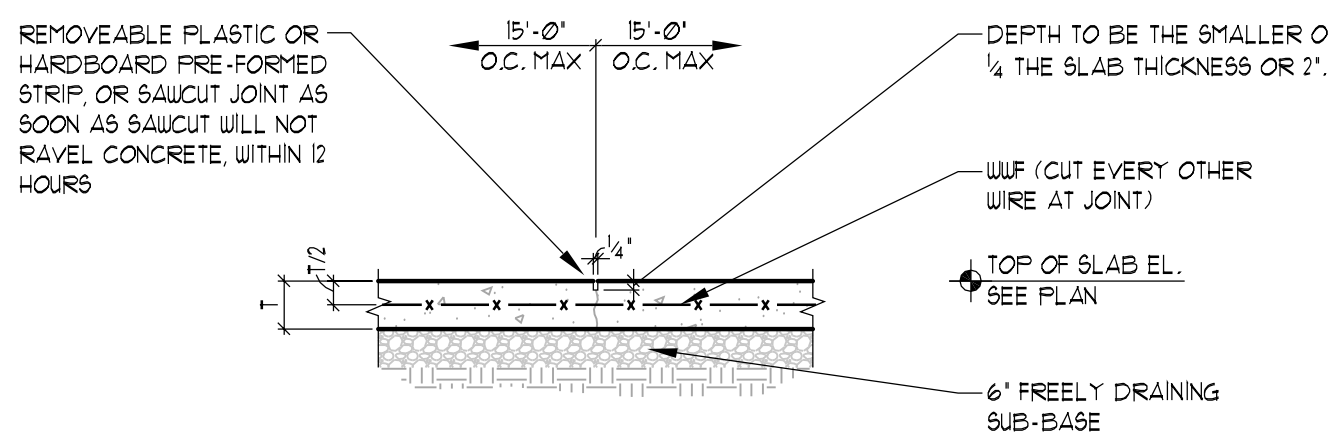
LINTEL SCHEDULE

MARK	SIZE	CONFIGURATION	REMARKS
L1	11 1/8 x 7 1/8 FC	2 - #3 TOP 2 - #4 BOTTOM	PROVIDE 1 1/2" CLEAR COVER
L2	11 1/8 x 7 1/8 FC	3 - #3 TOP 3 - #5 BOTTOM	PROVIDE 1 1/2" CLEAR COVER
L3	W8x18 w/ E 5/16x10'-11"xCONT.	EQUAL INFILL FOLLOWING ERECTION 3/16" 3-12	
L4	W8x24 w/ E 5/16x10'-11"xCONT.	EQUAL INFILL FOLLOWING ERECTION 3/16" 3-12	
L5	W16x24 w/ E 5/16x10'-11"xCONT.	EQUAL INFILL FOLLOWING ERECTION 3/16" 3-12	

- LINTEL SCHEDULE NOTES:
1. PROVIDE 8" MINIMUM BEARING FOR ALL LINTELS, U.N.O.
 2. PROVIDE MINIMUM OF 3 COURSES SOLID GROUTED CMU BELOW LINTEL BEARING (UNLESS OTHERWISE NOTED). SEE MASONRY WALL & PIER REINF. SCHEDULE.
 3. CENTER BEAMS WITHIN WIDTH OF BLOCK UNLESS NOTED OTHERWISE.
 4. PROVIDE HORIZONTAL REINFORCING IN THE JOINT ABOVE THE LINTEL, AND EXTEND 24" BEYOND EDGE OF OPENING.
 5. REFER TO ARCHITECTURAL DRAWINGS FOR OPENING LOCATIONS, ELEVATIONS, & SIZES.
 6. EXTEND BOTTOM PLATES FULL LENGTH.
 7. BOTTOM IE TO BE 1" NARROWER THAN NOMINAL TOTAL WALL THICKNESS, UNLESS NOTED OTHERWISE. WRAP ENDS OF STEEL LINTEL w/ BUILDING PAPER AND GROUT SOLID.

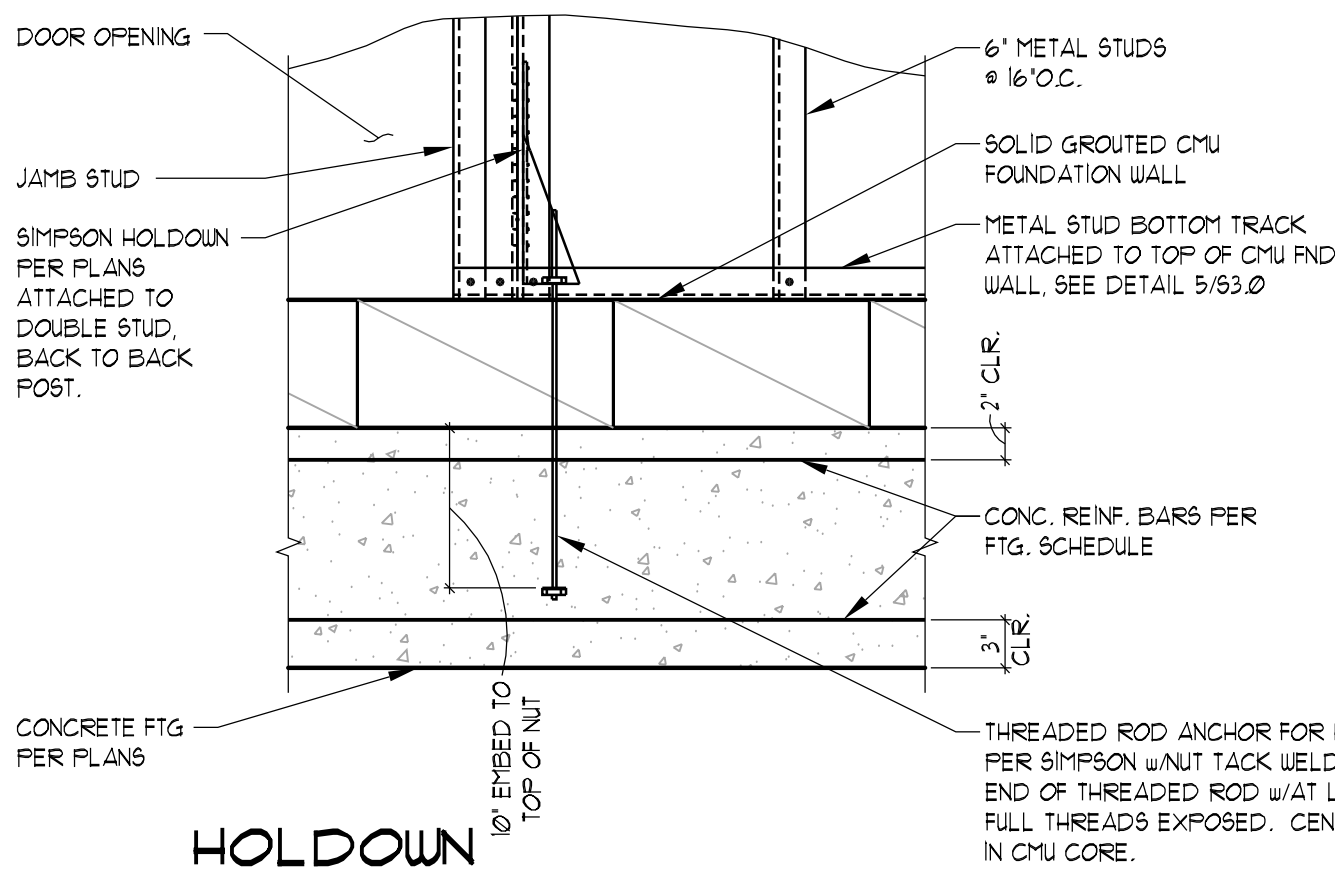


7
63.0
COLUMN FOOTING
SCALE: N.T.S.

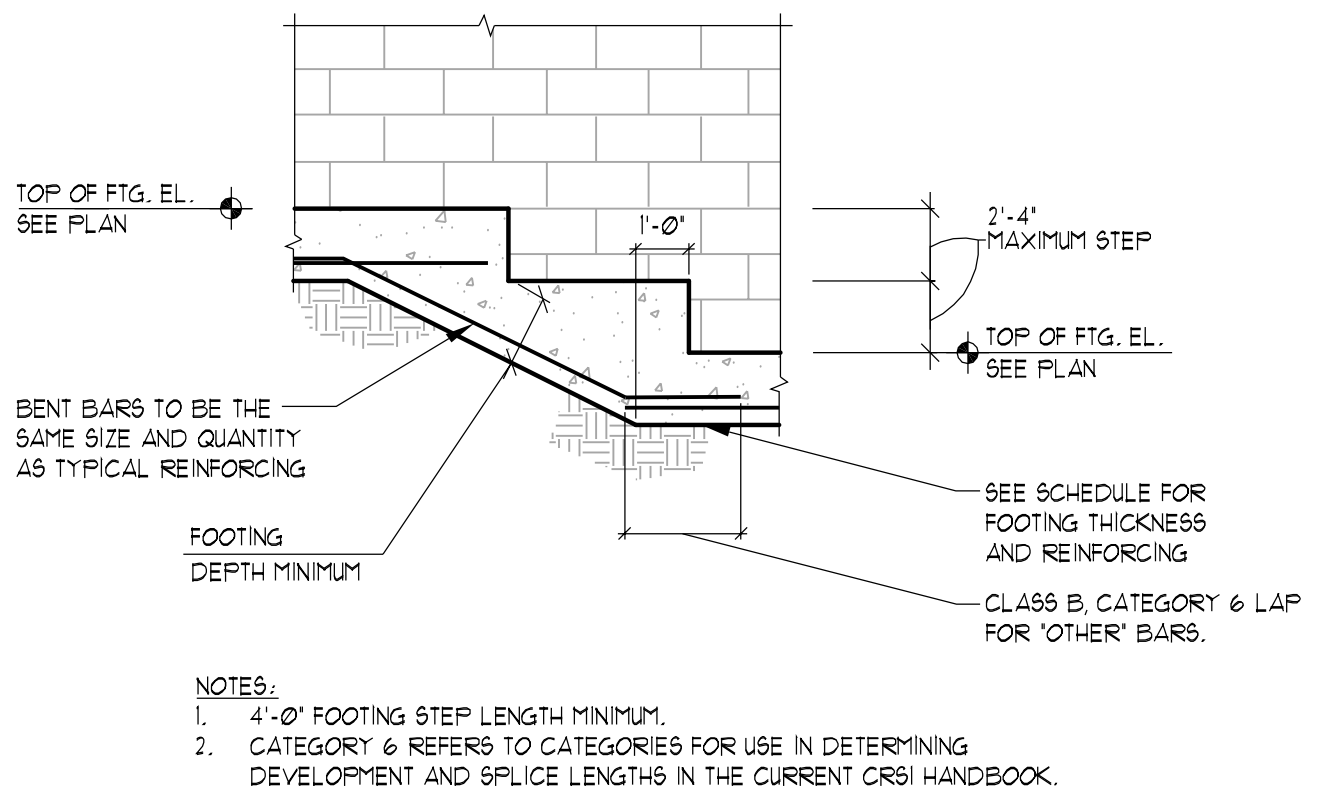


- NOTES:
1. SEE THE FOUNDATION PLAN FOR SLAB THICKNESS, REINFORCEMENT, AND JOINT LOCATIONS.
 2. SLAB SHALL BE PLACED USING 'STRIP' OR 'LANE' CONSTRUCTION.
 3. FILL JOINTS WITH SEMI-RIGID EPOXY MATERIAL.

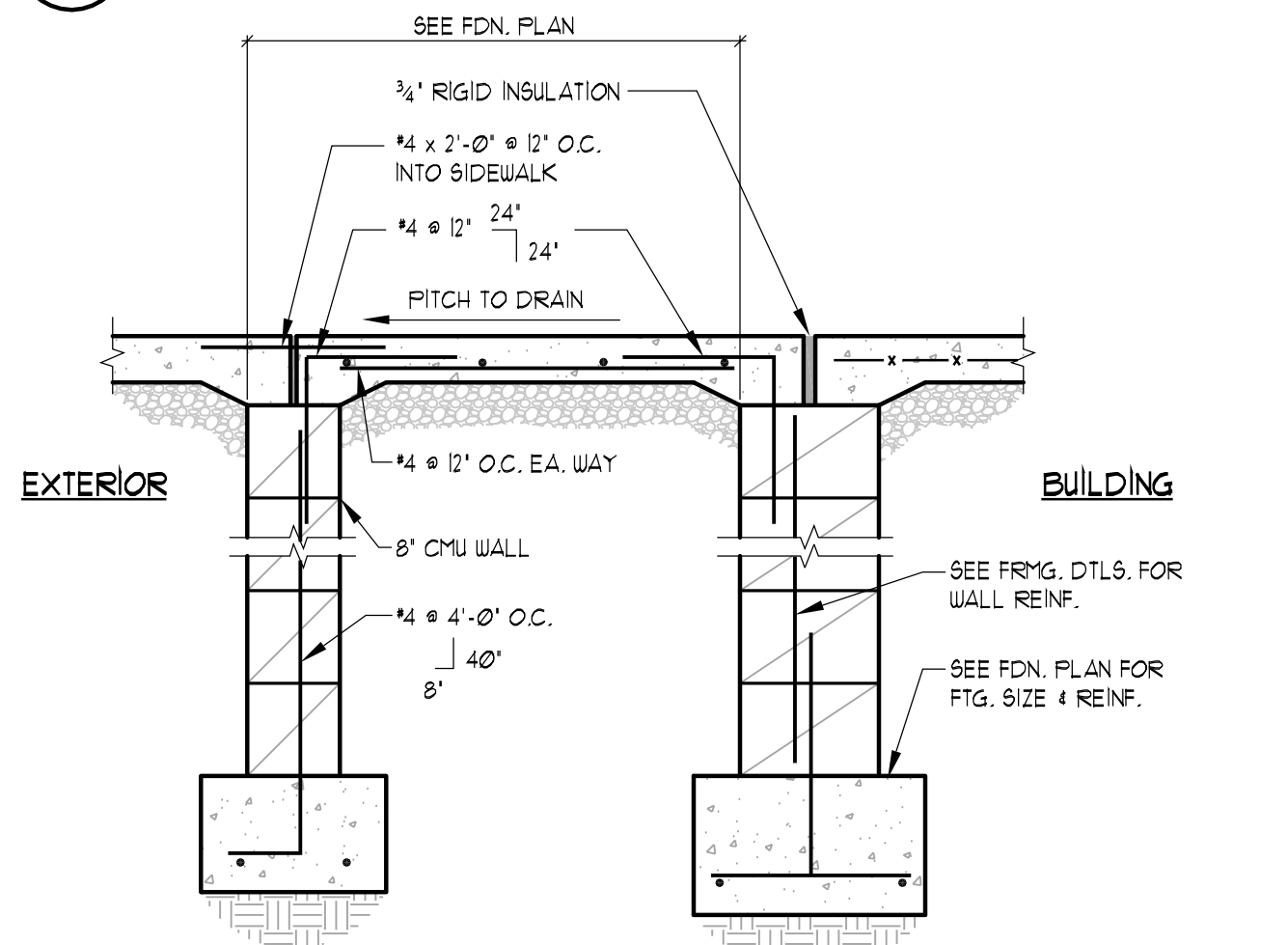
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SLAB ON GRADE CONTROL JOINT
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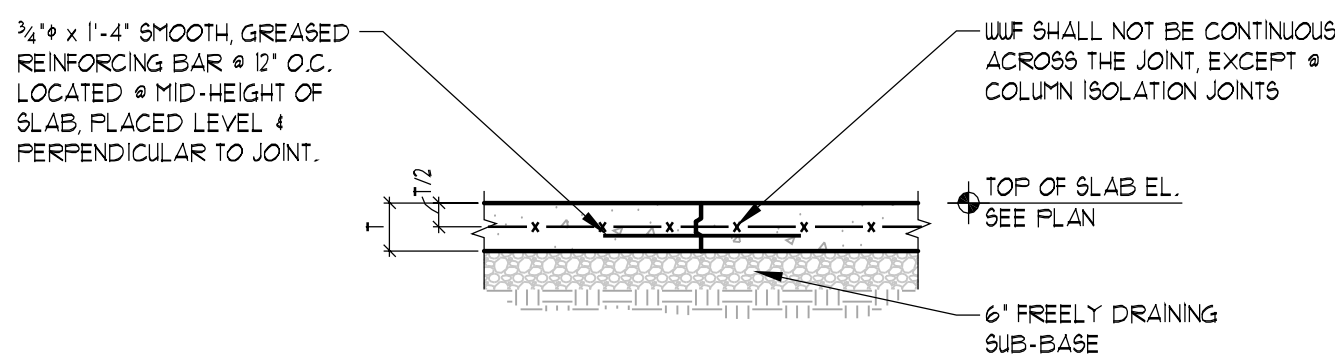
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HOLDOWN ELEVATION @ SHEARWALL
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STEPPED FOOTING @ MASONRY WALL
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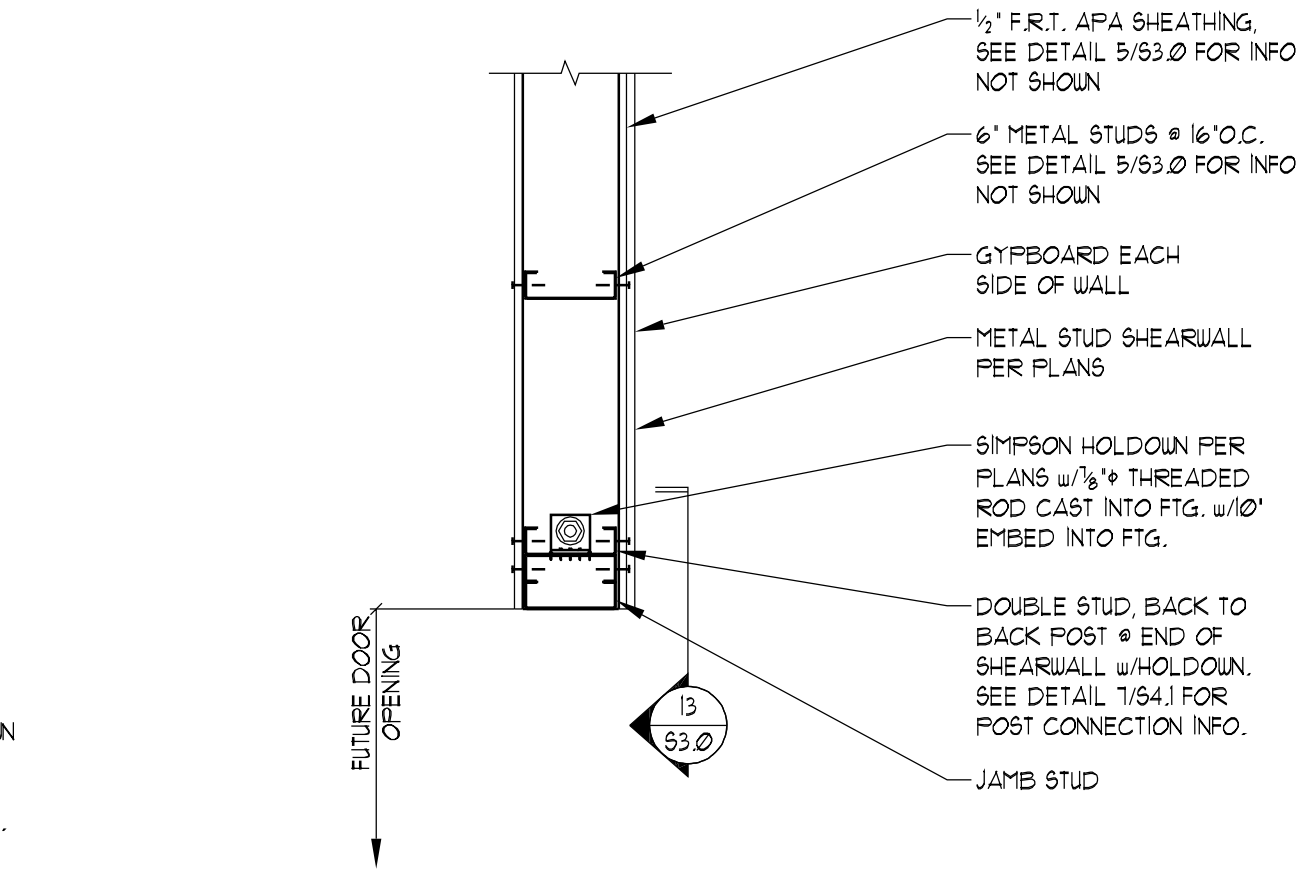


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STOOP SECTION
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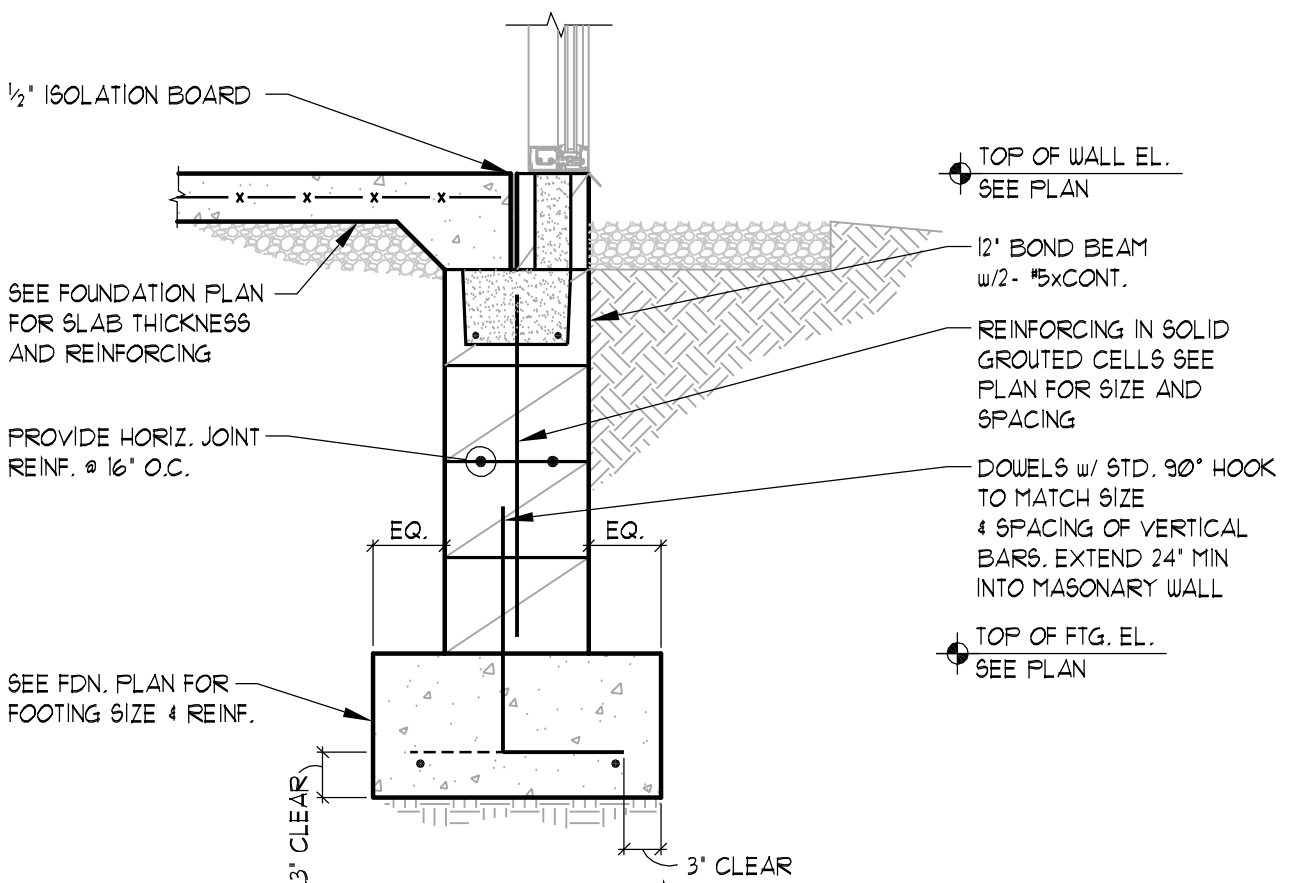


- NOTES:
1. SEE THE FOUNDATION PLAN FOR SLAB THICKNESS, REINFORCEMENT, AND JOINT LOCATIONS.
 2. SLAB SHALL BE PLACED USING 'STRIP' OR 'LANE' CONSTRUCTION.
 3. FILL JOINTS WITH SEMI-RIGID EPOXY MATERIAL.
 4. SMOOTH DOUCEL BARS SHALL BE SAWN, NOT SHEARED.

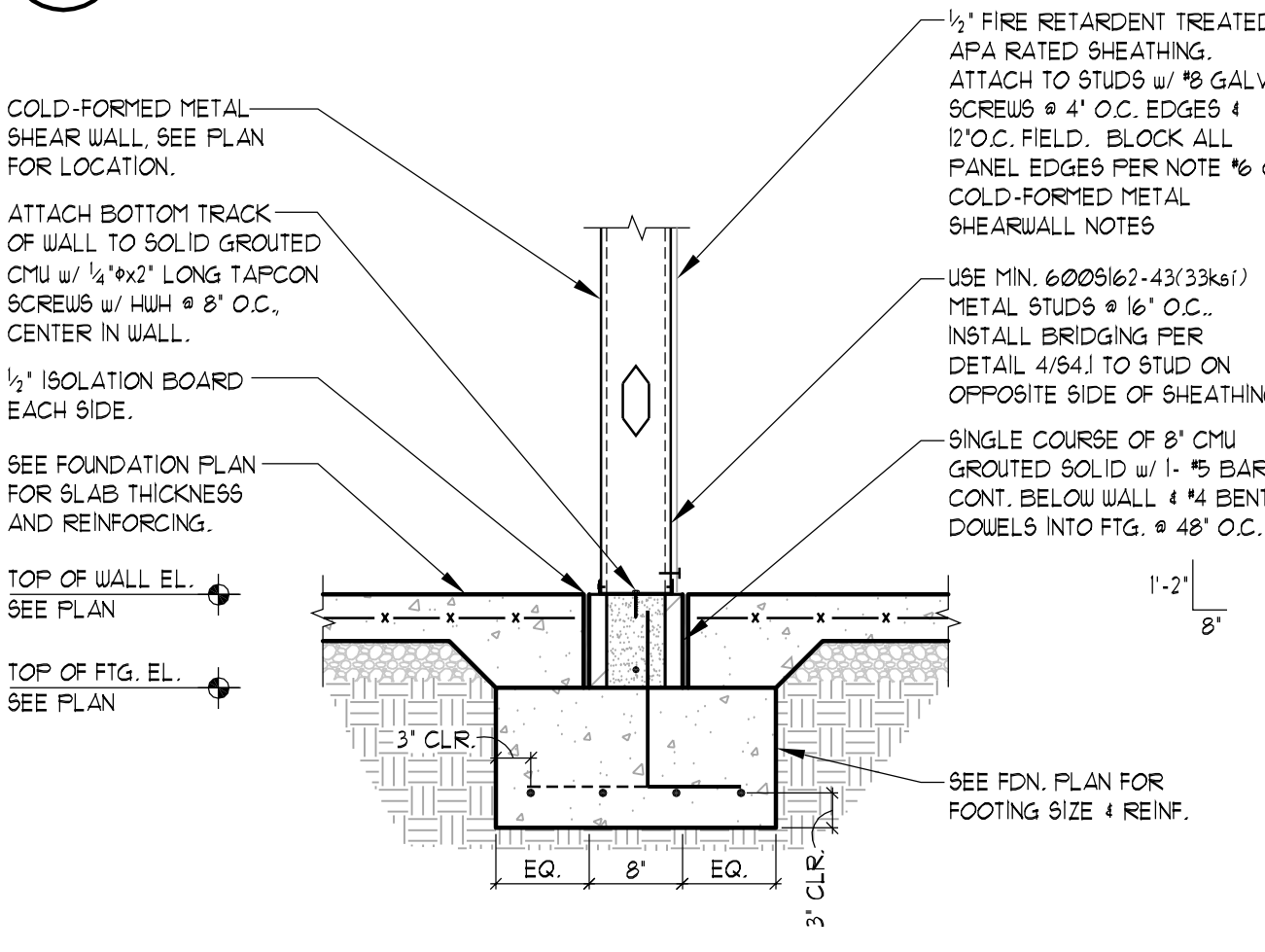
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SLAB ON GRADE CONSTRUCTION JOINT
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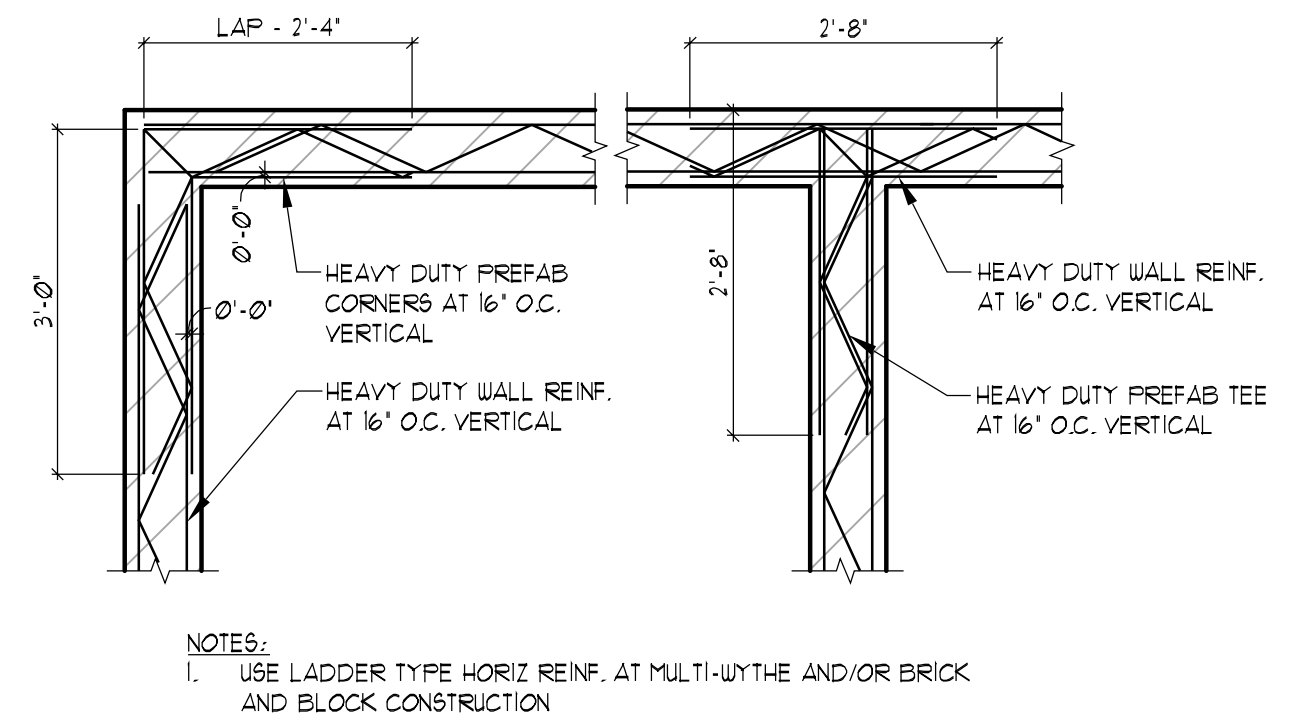
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PLAN OF HOLDOWN @ SHEARWALL
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TYPICAL EXTERIOR WALL FOOTING @ WINDOW
SCALE: N.T.S.



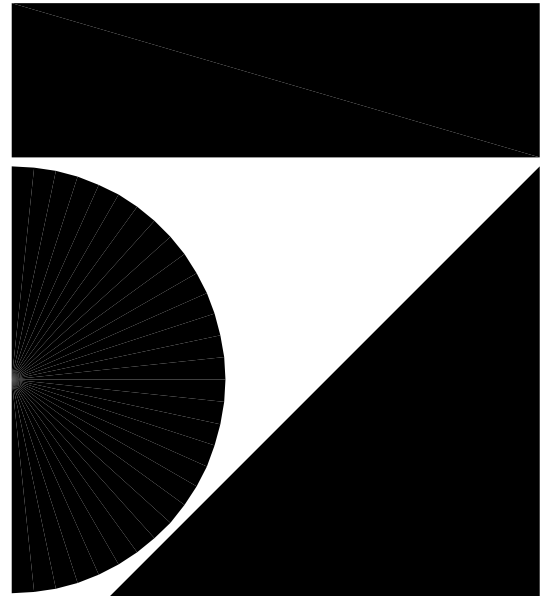
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INTERIOR SHEAR WALL FOOTING
SCALE: N.T.S.



1
63.0
HORIZONTAL MASONRY WALL REINFORCEMENT
SCALE: N.T.S.

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Revisions

Sheet
FOUNDATION DETAILS

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

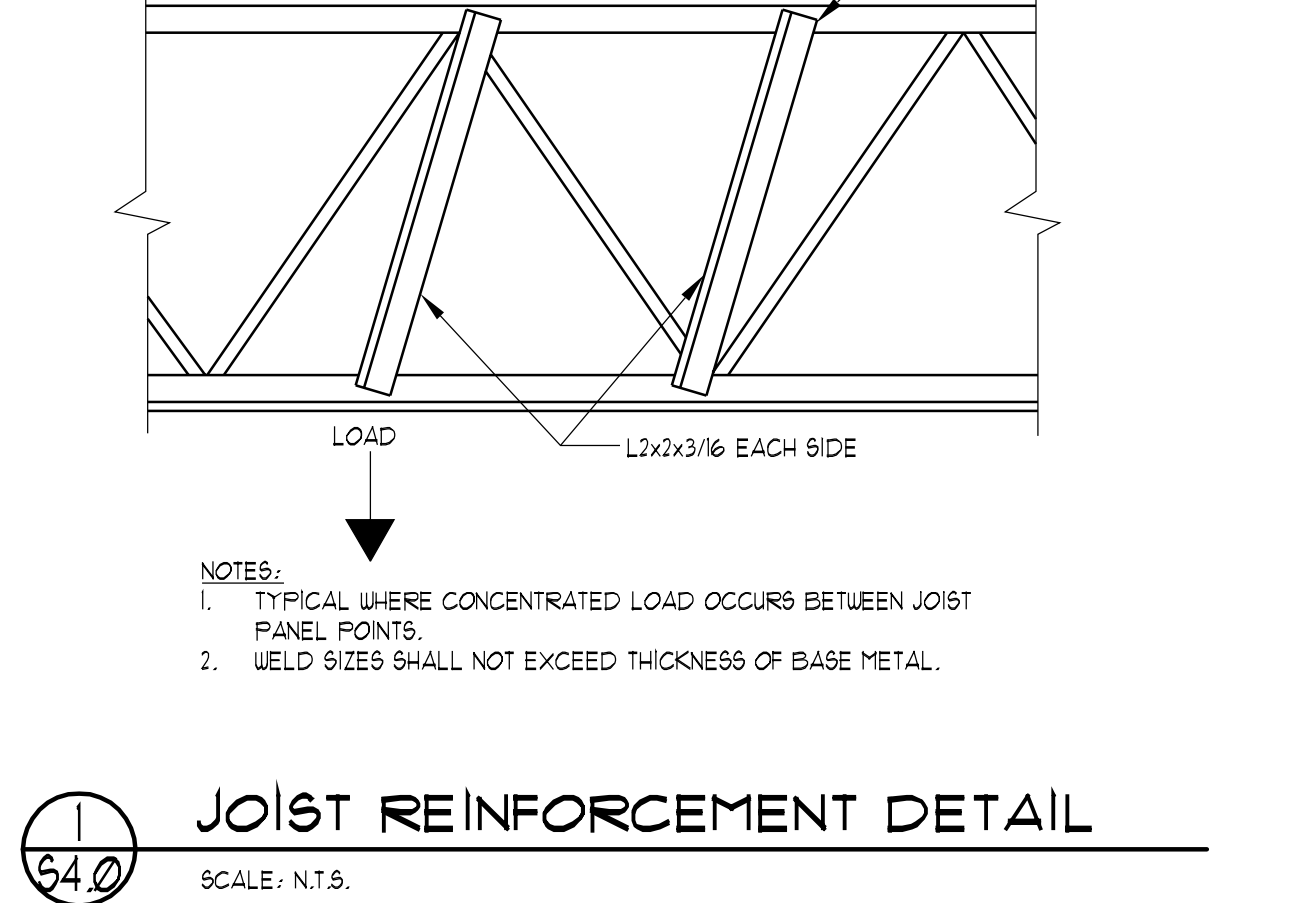
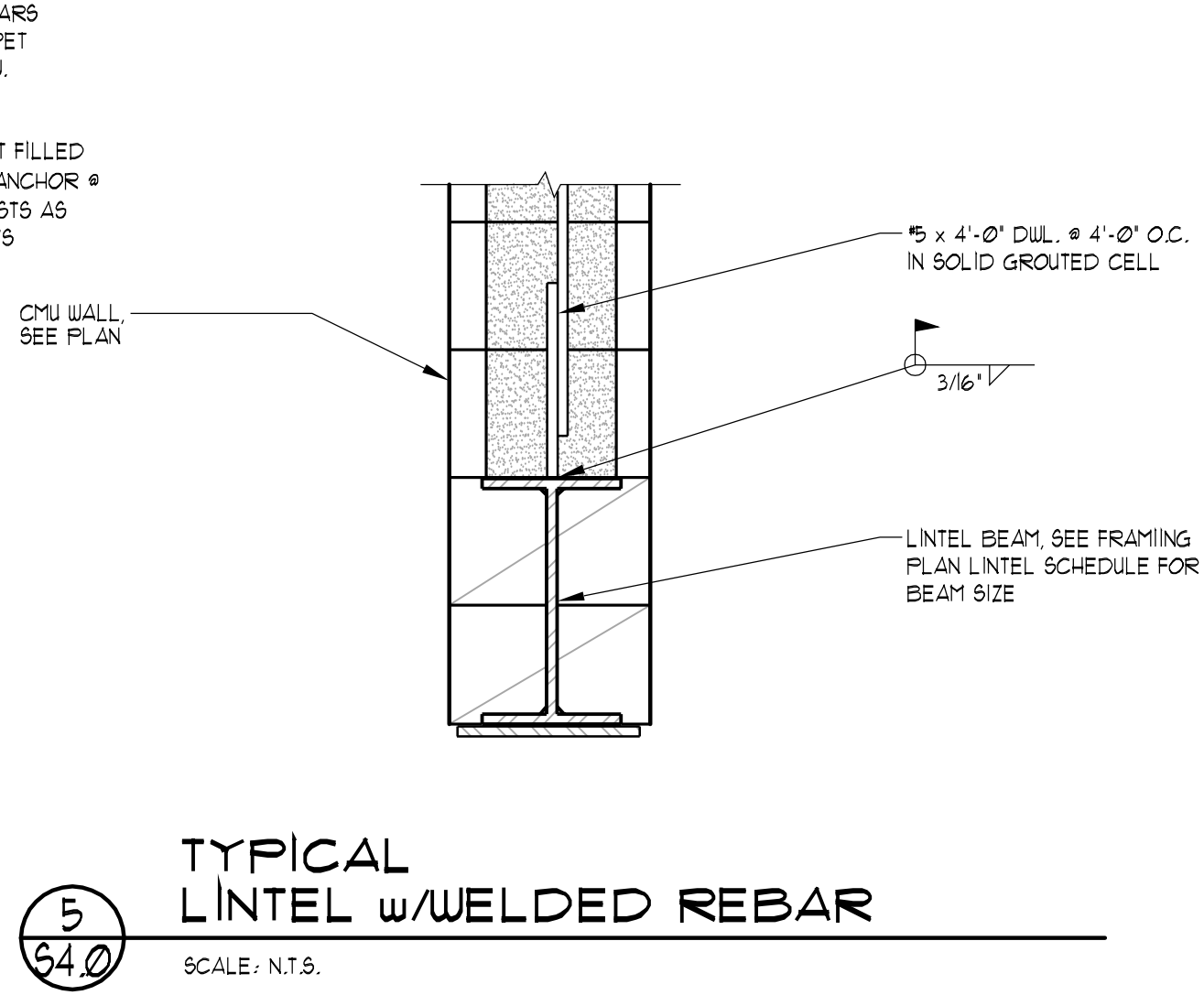
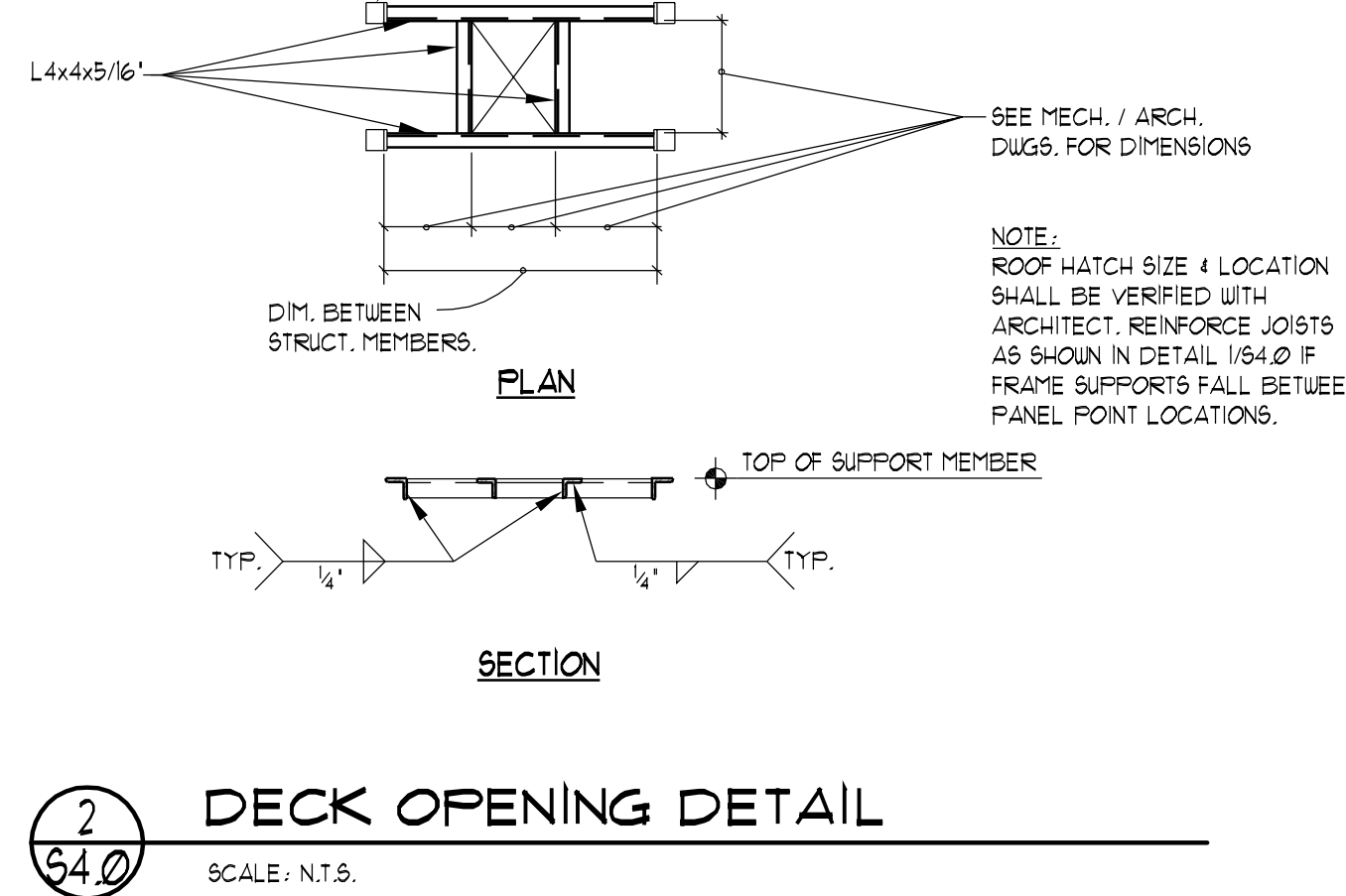
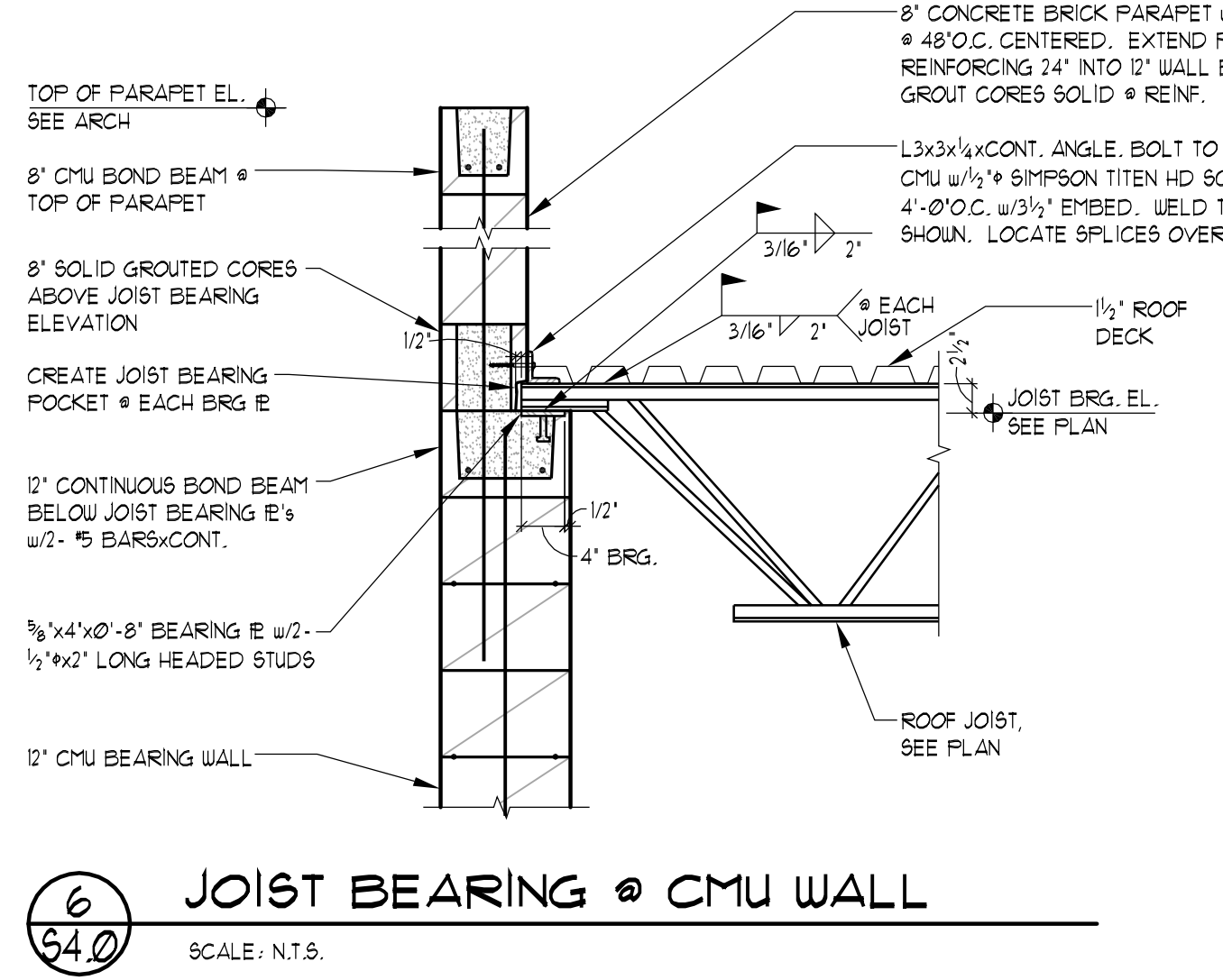
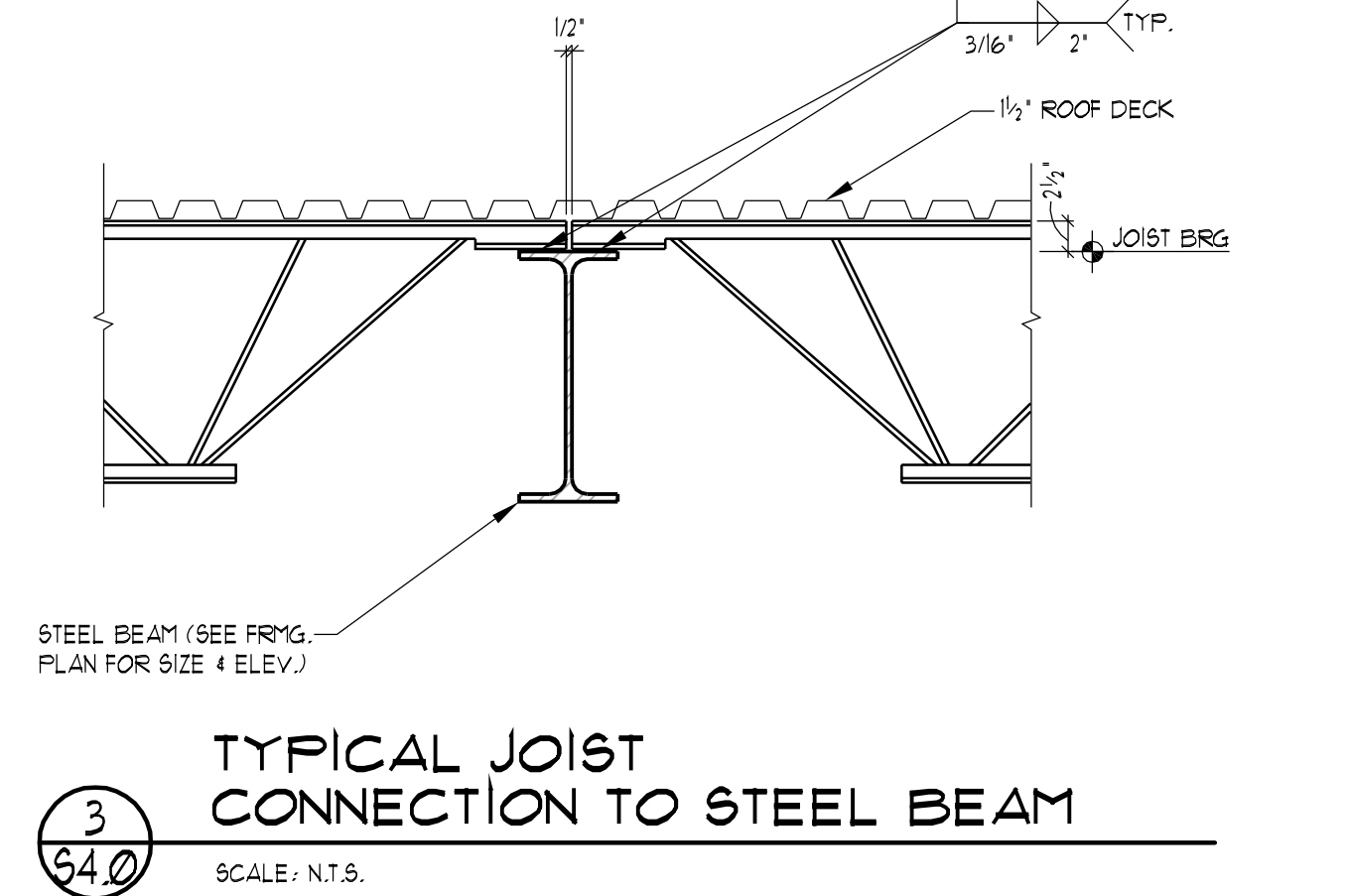
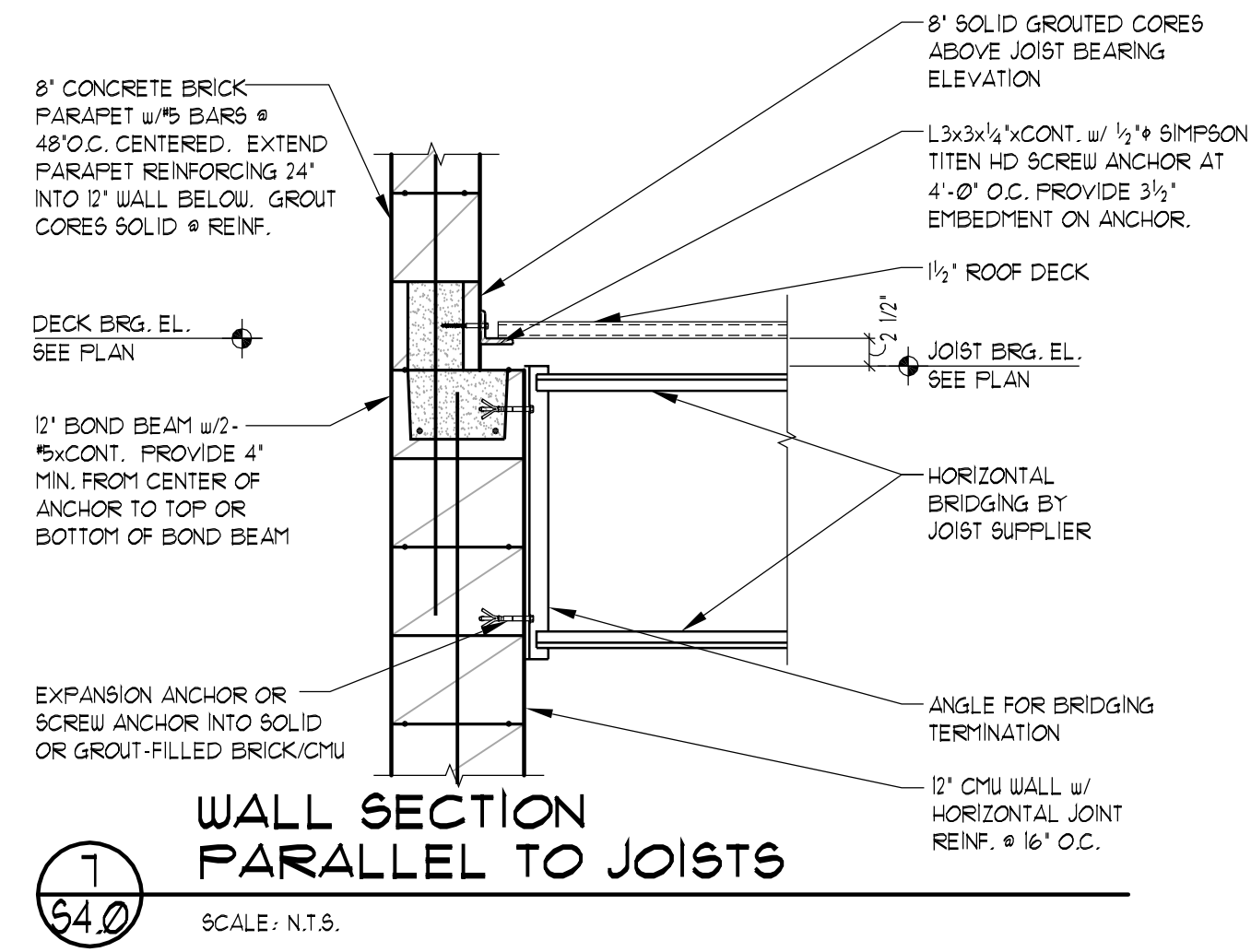
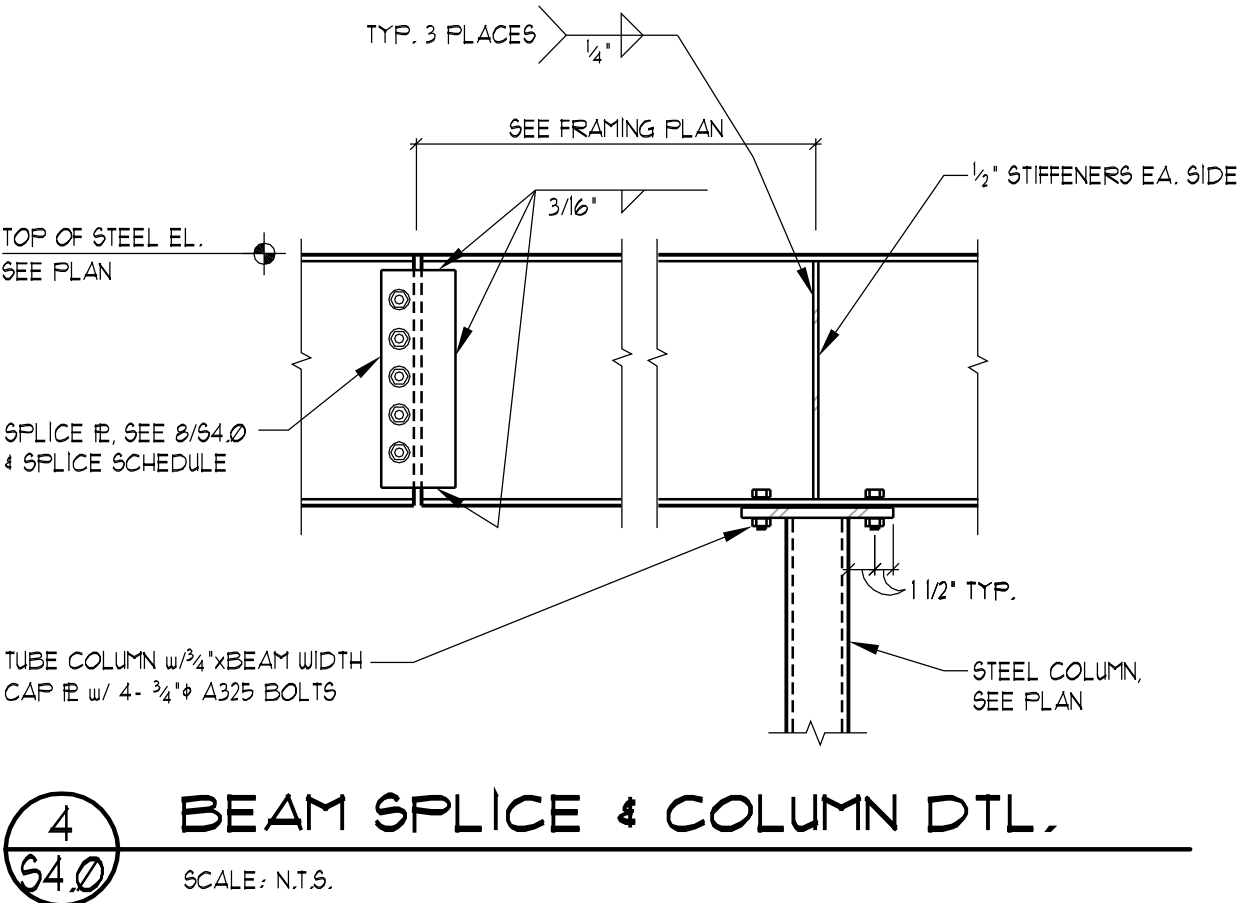
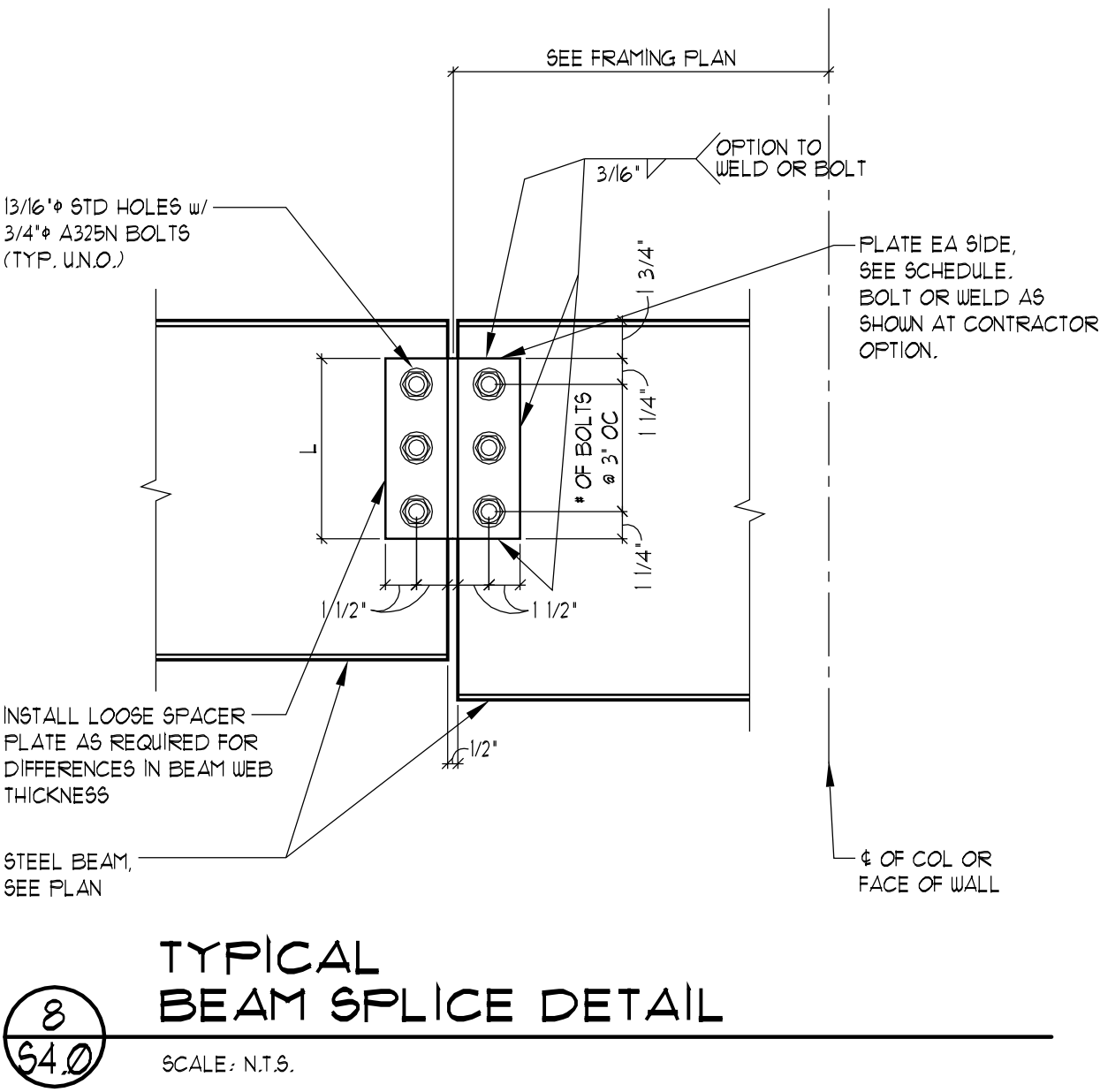
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Project Number
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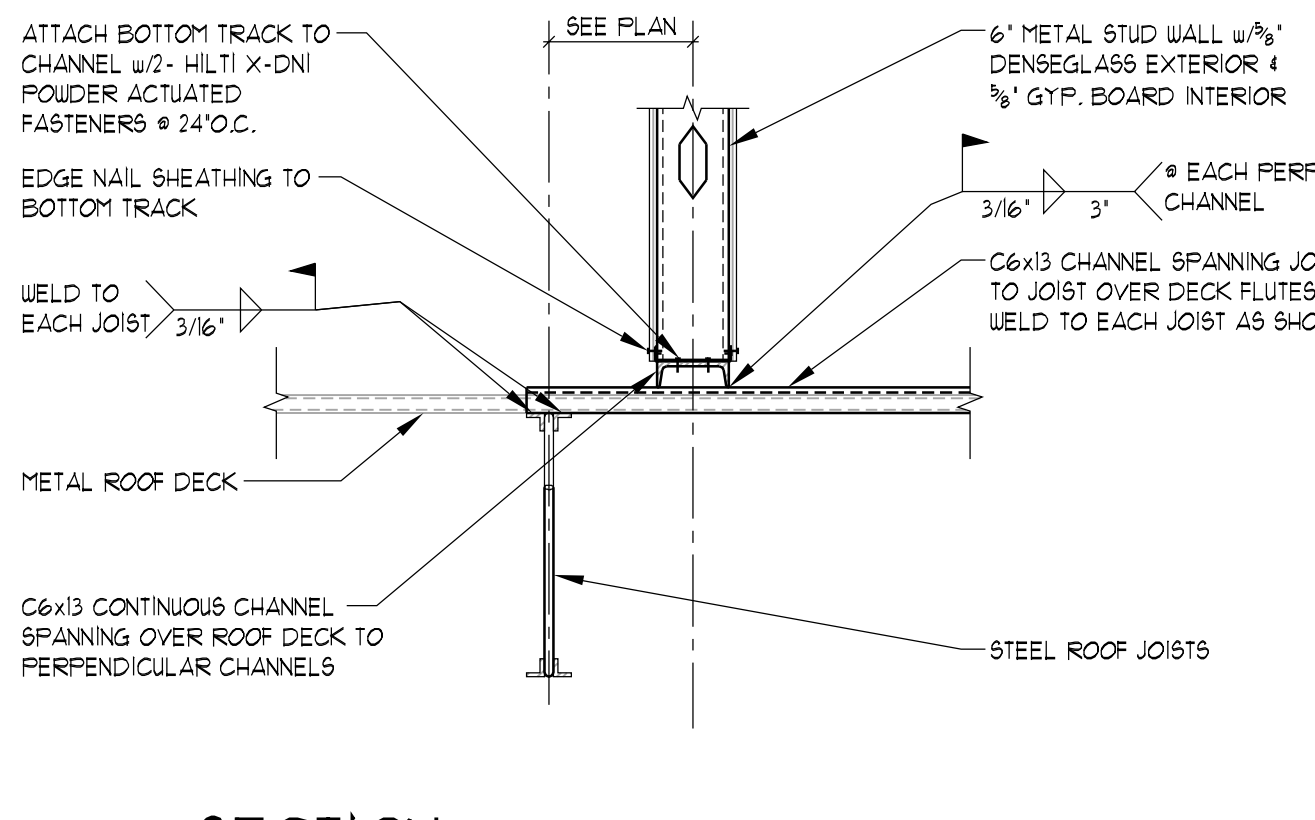
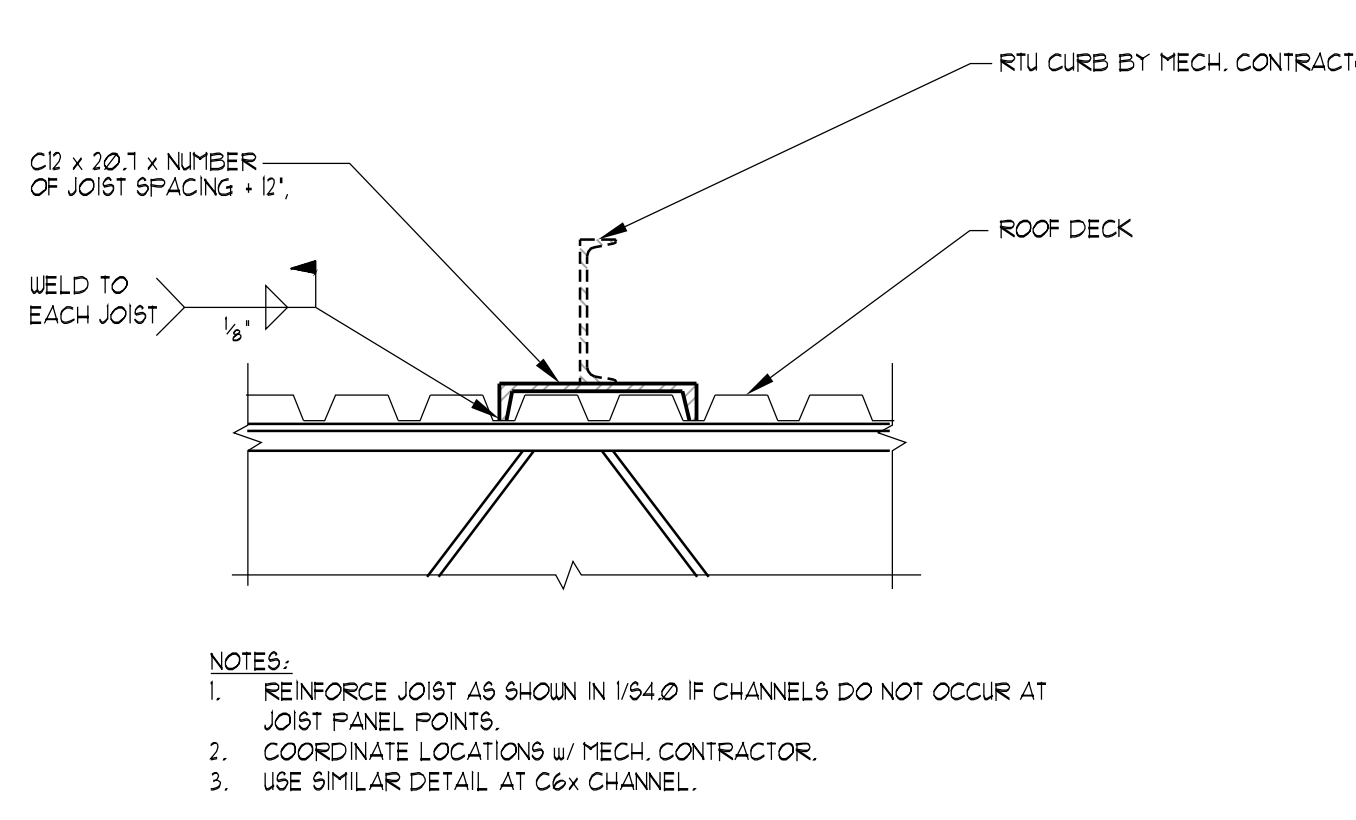
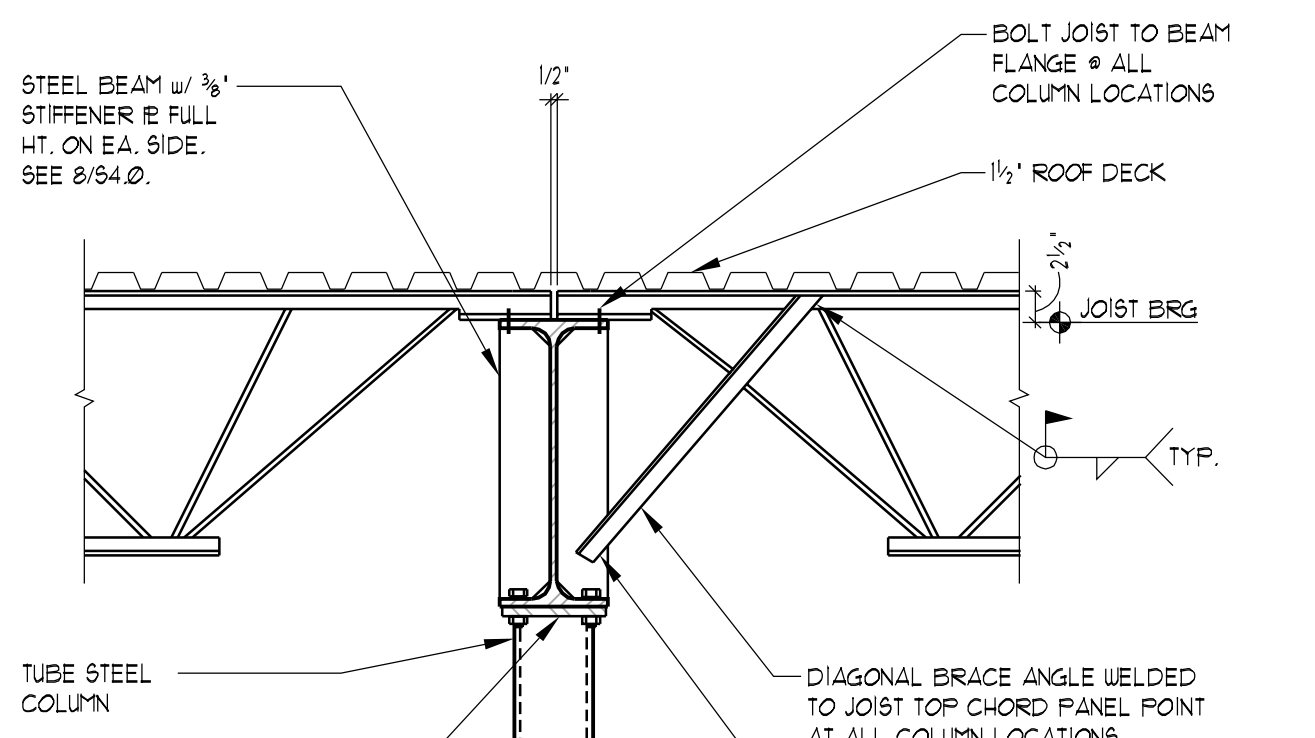
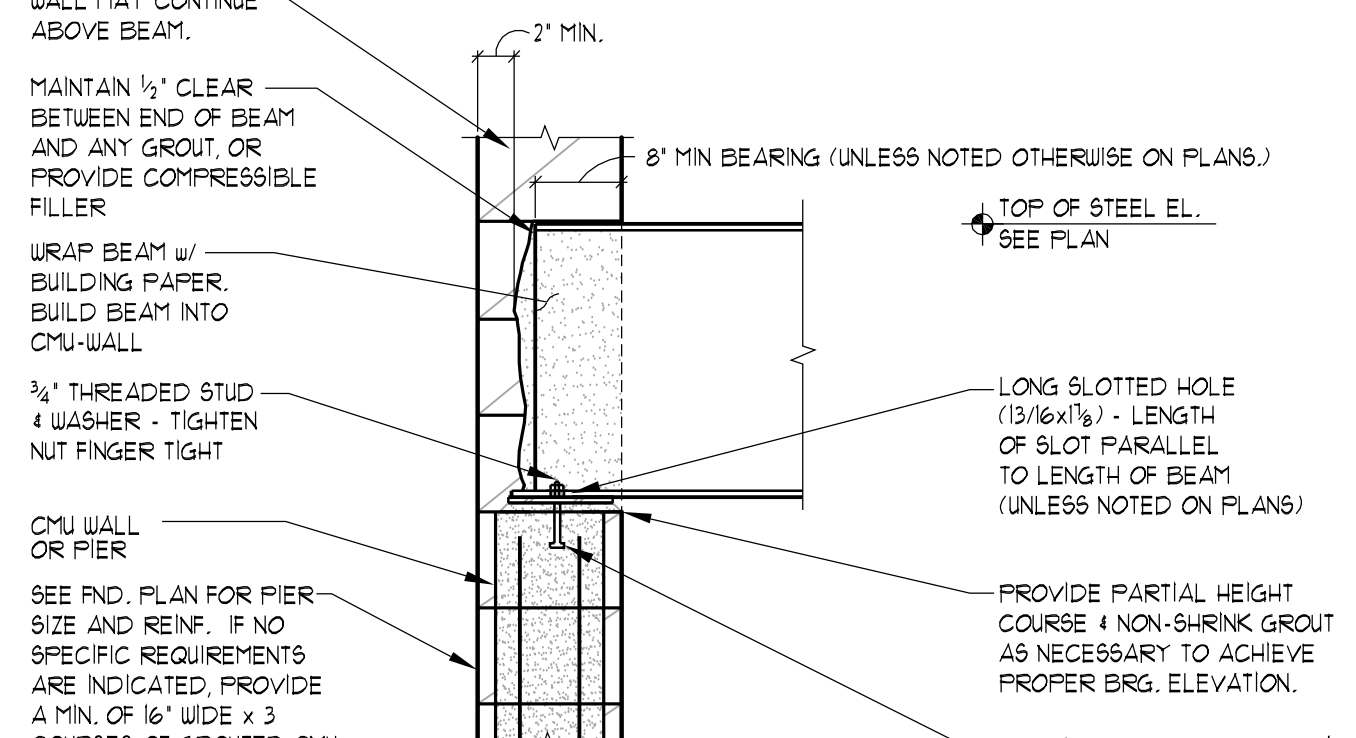
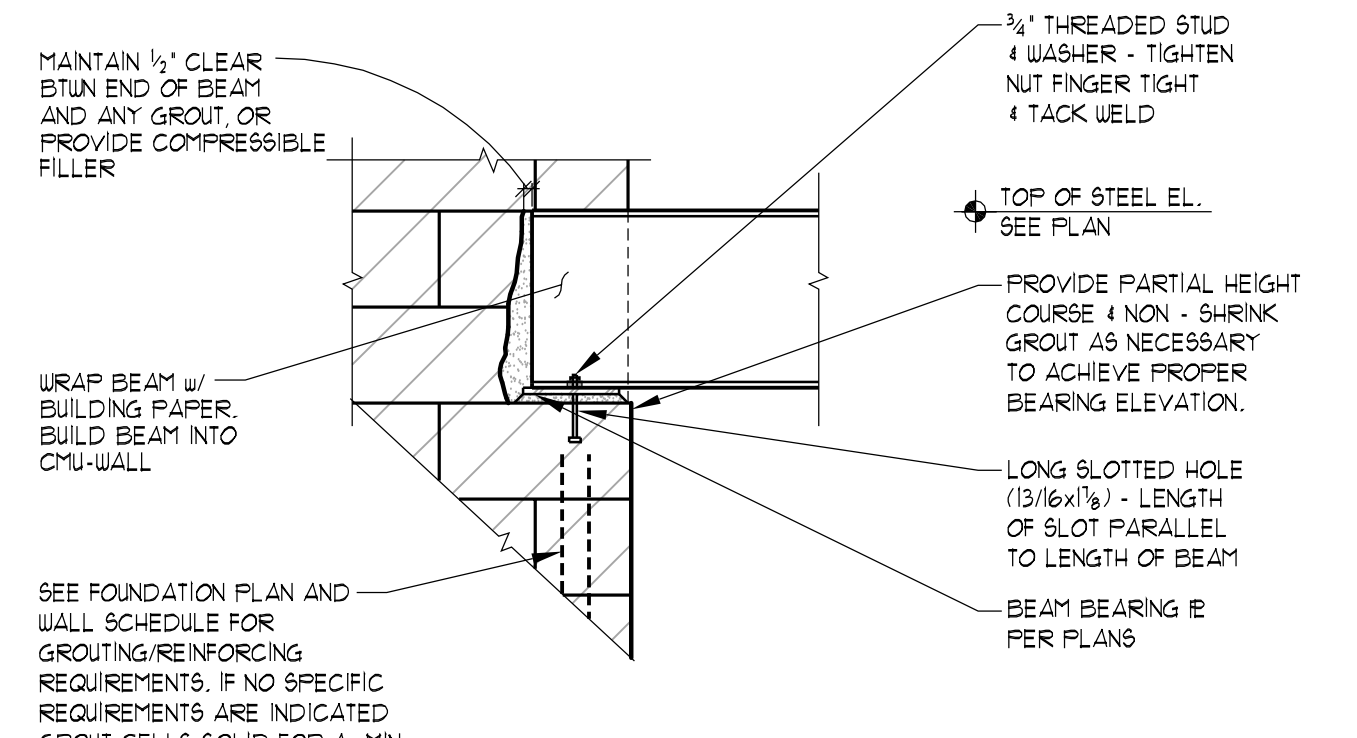
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THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



SPLICE SCHEDULE			
MIN. BEAM SIZE	NO. OF BOLTS	L (in)	PLATE T (in)
W8 W/ 0	2	5 1/2	1/4
W12 W/ 4	3	8 1/2	1/4
W16 W/ 8	4	11 1/2	1/4
W21	5	14 1/2	1/4



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Sheet

FRAMING DETAILS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" & WATERTOWN ROAD
PEWAUKEE, WI

Date

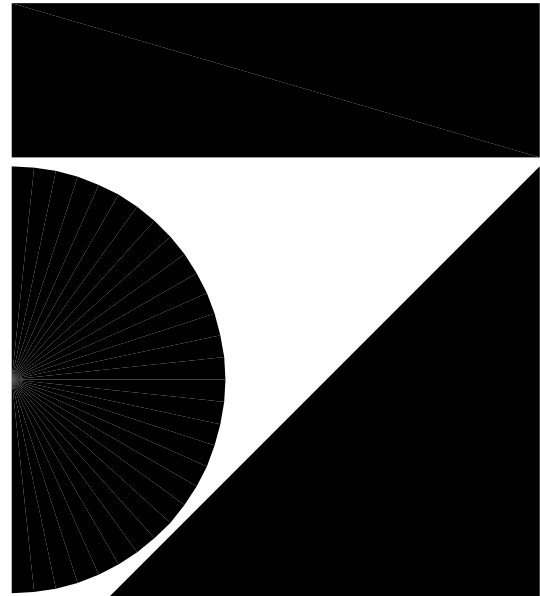
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FRAMING DETAILS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
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PEWAUKEE, WI

Date

06.14.06

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Sheet Number

S4.1

COLD-FORMED METAL SHEARWALL NOTES

ALL WALLS USED AS SHEAR WALLS FOR RESISTING WIND & SEISMIC LATERAL FORCES SHALL CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS PER THE UECBC 2003, SECTION 2211.

- FOR SCREWED CONNECTIONS SCREWS SHALL BE OF SUFFICIENT LENGTH TO PENETRATE THROUGH THE COLD-FORMED STEEL FRAMING MEMBER BY AT LEAST THREE EXPOSED THREADS.
- STUDS SHALL BE A MINIMUM 1 3/8"x3 1/2" WITH A 1/8" RETURN LIP. AS A MINIMUM STUDS SHALL BE DOUBLED (BACK TO BACK) AT SHEAR WALL ENDS.
- TRACK SHALL BE A MINIMUM 1 1/4"x3 1/2", SAME GAUGE AS STUD.
- BOTH STUDS AND TRACK SHALL HAVE A MINIMUM UNCOATED BASE METAL THICKNESS OF 0.033 INCH (0.84mm) AND SHALL BE OF THE FOLLOWING GRADES OF STRUCTURAL QUALITY STEEL: A57M A653 55 GRADE 33, A57M A792 55 GRADE 33, OR A57M A875 55 GRADE 33.
- FASTENERS ALONG THE EDGES IN SHEAR PANELS SHALL BE PLACED NOT LESS THAN 3/8" IN FROM PANEL EDGES.
- ALL PANEL EDGES SHALL BE FULLY BLOCKED. WHERE HORIZONTAL STRAPPING IS USED TO PROVIDE SUCH BLOCKING, IT SHALL BE A MINIMUM 1 1/2" WIDE AND OF THE SAME MATERIAL & THICKNESS AS THE TRACK & STUDS. PANELS LESS THAN 12" WIDE SHALL NOT BE USED.
- WOOD STRUCTURAL PANEL SHEATHING:
 - LIGHT FRAMED COLD FORMED STEEL WALL SYSTEMS SHEATHED WITH WOOD STRUCTURAL PANELS ARE PERMITTED TO RESIST HORIZONTAL FORCES PROVIDED BY WIND OR SEISMIC LOADS.
 - WOOD STRUCTURAL PANELS SHALL COMPLY WITH DOC P91 OR P92.
 - STRUCTURAL PANELS ARE PERMITTED TO BE APPLIED WITH LONG DIMENSION EITHER VERTICAL OR HORIZONTAL TO FRAMING. SCREWS USED TO ATTACH PLYWOOD AND OSB SHALL BE APPROVED AND SHALL BE A MINIMUM NO. 8 FLAT-HEAD, SELF-DRILLING TAPPING SCREWS WITH A MINIMUM HEAD DIAMETER OF 0.231" (1.4mm) IN ACCORDANCE w/SAE J18.
 - GYPSON BOARD PANEL SHEATHING:
 - COLD-FORMED STEEL STUD WALL SYSTEMS SHEATHED WITH GYPSON BOARD ARE PERMITTED TO RESIST HORIZONTAL FORCES PRODUCED BY WIND LOADS ONLY.
 - GYPSON BOARD MUST BE DIRECTLY ATTACHED TO BOTH SIDES OF METAL STUDS WITHOUT THE USE OF RESILIENT CHANNELS.
 - GYPSON BOARD SHALL BE APPLIED TO STUDS WITH THE LONG DIMENSION HORIZONTAL ONLY. END JOINTS OF ADJACENT COURSES OF GYPSON BOARD SHEETS SHALL NOT OCCUR OVER THE SAME STUD.
 - SCREWS USED TO ATTACH GYPSON BOARD SHALL BE A MINIMUM NO. 6 IN ACCORDANCE WITH ASTM C954.

COLD-FORMED METAL MATERIAL NOTES

- ALL COLD-FORMED METAL FRAMING SHALL CONFORM TO:
PAINTED SECTIONS: 10, 12, 14 & 16 GA - A510
PAINTED SECTIONS: 18 & 20 GA - A618 GD C
GALVANIZED SECTIONS: 10, 12, 14 & 16 GA - A446 GD D
GALVANIZED SECTIONS: 18 & 20 GA - A446 GD A
FY: 50,000 PSI
FY: 33,000 PSI
FY: 50,000 PSI
FY: 33,000 PSI
- REFER TO PLANS AND DETAILS FOR GAUGE AND SIZE REQUIREMENTS OF COLD-FORMED METAL FRAMING MEMBERS.
- ALL FRAMING PRODUCTS SHALL BE FORMED FROM STEEL POSSESSING A COATING CORRESPONDING TO THE MINIMUM REQUIREMENTS OF ASTM C955.
- ALL SIDE CLIPS, SUPPORT CLIPS, AND CLIP ANGLES ARE 50 ksi, UNLESS NOTED OTHERWISE.
- NOMENCLATURE: CONFORMS TO SSMMA STANDARDS, PRODUCT TECHNICAL INFORMATION, PAGE 5 (www.ssmma.com), FOR 'GENERIC' FRAMING MANUFACTURER.
- GALVANIZING: ALL FRAMING TO BE GALVANIZED, G60 COATING MINIMUM, UNLESS NOTED OTHERWISE.
- SUGGESTED WELD METAL AND PROCESS FOR SHOP WELDING ARE: 60 ksi WELD MATERIAL STRENGTH (MINIMUM), SUGGESTED METHODS FOR FIELD WELDING: 1/2" UNLESS NOTED OTHERWISE, E60XX (MINIMUM) ELECTRODE - SMAW - OR 'GASLESS' MIG, MINIMUM WELD THROAT THICKNESS (1) MUST MATCH OR EXCEED THE BASE STEEL THICKNESS OF THE THINNEST CONNECTED PART UNLESS NOTED OTHERWISE.
- ZINC RICH PAINT: FOR WELD TOUCH-UP USE PAINT 20 TYPE II ORGANIC ZINC RICH.
- FASTENERS: SHALL BE CORROSION-RESISTANT CADMIUM OR ZINC PLATED SCREWS, NUTS, BOLTS, WASHERS AND OTHER FASTENERS.
- UNLESS NOTED OTHERWISE, REFER TO LITERATURE PUBLISHED BY HILTI FASTENING SYSTEMS, INC. FOR EXPANSION BOLT, OR POWDER ACTUATED FASTENER (P.A.F.) INFORMATION AND HILTI BUILDEX, INC. FOR TENS SCREW DATA. ALTERNATE MANUFACTURER'S FASTENERS OF COMPARABLE SPECIFICATIONS AND LOAD CAPACITIES ARE ACCEPTABLE WITH APPROVAL. ALL FASTENERS SUBJECT TO TENSION SHALL HAVE 1/8" (MINIMUM) DIAMETER STEEL WASHERS.
- ALL CONCRETE SCREW FASTENERS SHALL BE THOSE AS MANUFACTURED AND TESTED BY TAPCON CONCRETE ANCHORS OR APPROVED EQUAL, OR AS INDICATED ON THE DRAWINGS.

COLD-FORMED METAL PRODUCT IDENTIFICATION

PRODUCT GEOMETRIES MUST MEET OR EXCEED THE MINIMUM PROPOSED BY THE STEEL STUD MANUFACTURERS ASSOCIATION FOR INDUSTRY STANDARDIZATION. FOR SSMMA DESIGNATIONS SEE TABLES BELOW.

MEMBER SECTION TABLE

SECTION	SSMMA IDENTIFICATION	FLANGE WIDTH
S-SECTIONS (STUDS)	S31	1 3/4"
	S162	1 3/4"
	S200	2"
	S250	2 1/2"
T-SECTIONS (TRACKS)	T125	1 1/4"
	T200	2"

MEMBER THICKNESS TABLE

MILS GAUGE	MINIMUM DELIVERED THICKNESS	DESIGN THICKNESS
33	20	0.033"
43	18	0.042"
54	16	0.053"
68	14	0.061"
91	12	0.076"
118	10	0.102"

MEMBER DEPTH (WEB SIZE) TABLE

SSMMA IDENTIFICATION	MEMBER DEPTH
600	6"
800	8"
1000	10"

SSMMA PRODUCT IDENTIFICATION

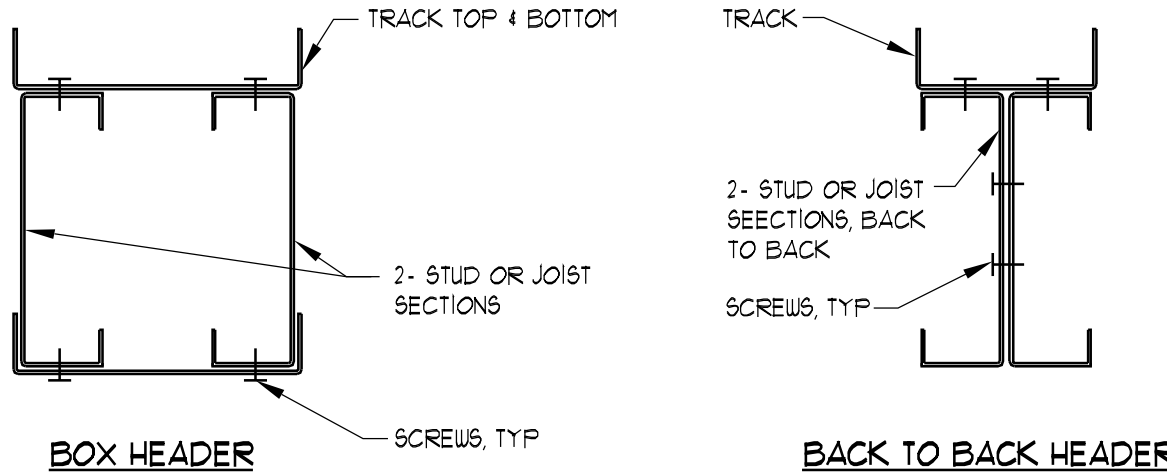
800S162-43 (50ksi)

MEMBER DEPTH SHAPE
MIL THICKNESS
FLANGE WIDTH
YIELD STRENGTH (IF GREATER THAN 33ksi)

COLD-FORMED METAL FRAMING NOTES

*** NOTE TO CONTRACTOR ***

- STUDS LISTED ARE MINIMUM SIZES AND ARE TO BE USED ONLY AS AN AID IN BIDDING. EXACT SIZES AND SPACINGS OF ALL COLD-FORMED METAL FRAMING SHALL BE DETERMINED BY THE COLD-FORMED FRAMING DESIGNER. SHOP DRAWINGS AND SUPPORTING CALCULATIONS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER IN THE STATE OF WISCONSIN. SEE COLD-FORMED METAL FRAMING NOTES FOR ADDITIONAL INFORMATION.
- THE COLD-FORMED METAL FRAMING SHALL BE COMPLETELY DESIGNED AND SUPPLIED BY THE CONTRACTOR FOR ALL GRAVITY, LATERAL, AND OTHER LOADS INDUCED BY THE BUILDING MATERIALS SHOWN ON THE PROJECT DRAWINGS, AND THE DESIGN LOADS APPLIED IN ACCORDANCE WITH THE BUILDING CODE LISTED IN THE DESIGN DATA.
- MEMBER SECTION PROPERTIES AND ALLOWABLE STRESSES SHALL BE CALCULATED IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF THE AISC 1.1, 'SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS.'
- SHOP DRAWINGS AND SUPPORTING CALCULATIONS FOR THE COLD-FORMED METAL FRAMING SYSTEM, INCLUDING ALL STUDS, JOISTS, HEADERS, JAMBS, SILLS, AND ASSOCIATED CONNECTION DETAILS, SHALL BE SEALED & SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WISCONSIN.
- HEADERS AND JAMBS AT OPENINGS MAY CONSIST OF BUILT-UP COLD-FORMED METAL SECTIONS OR HOT ROLLED STEEL SECTIONS (TUBES, ANGLES, ETC.). SOME CONDITIONS MAY NECESSITATE HOT-ROLLED STEEL SECTIONS, AND ARE TO BE SUPPLIED AND INSTALLED BY THE COLD-FORMED METAL CONTRACTOR.
- MECHANICAL BRIDGING SHALL BE INSTALLED PRIOR TO THE ATTACHMENT OF FACING MATERIALS AND SHALL BE SECURED IN A MANNER TO PREVENT STUD ROTATION AND BE SPACED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. MAXIMUM SPACING SHALL BE 6'-0" ON CENTER FOR Laterally LOADED WALLS AND 4'-0" ON CENTER FOR AXIALLY LOADED WALLS.
- PROVIDE WEB STIFFENERS AT HORIZONTAL AND VERTICAL REACTION POINTS.
- PROVIDE ALL HORIZONTAL AND VERTICAL ATTACHMENT MECHANISMS WHERE REQUIRED.
- PROVIDE JACK STUDS OR CRIPPLES BELOW WINDOW SILLS, AND ABOVE WINDOW AND DOOR HEADS. THESE SHALL BE SECURELY ATTACHED TO SUPPORTING MEMBERS.
- ALL WELDING SHALL BE PERFORMED BY AISC D13 CERTIFIED WELDERS IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF AISC D13, 'SPECIFICATIONS FOR WELDING SHEET STEEL IN STRUCTURES.'
- TEMPORARY BRACING SHALL BE PROVIDED AND REMAIN IN PLACE UNTIL THE STRUCTURE IS COMPLETELY STABILIZED. PRIOR TO ATTACHMENT OF WALL SHEATHING, PROVIDE TEMPORARY BRACING TO RESIST BUCKLING OF LOAD-BEARING STUDS. TEMPORARY X-BRACING TO RESIST LATERAL WIND AND SEISMIC LOADS AND ANY OTHER TEMPORARY BRACING DEEMED NECESSARY DURING CONSTRUCTION. TEMPORARY BRACING IS THE RESPONSIBILITY OF THE COLD-FORMED METAL INSTALLER.
- ALL FIELD CUTTING OF STUDS MUST BE DONE BY SAWING OR SHEARING. TORCH CUTTING OF COLD-FORMED MEMBERS IS UNACCEPTABLE.
- STUDS SHALL NOT DEVIATE FROM PLUMB, LEVEL AND TRUE TO LINE OF 1/8" IN 10'-0" OR IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- MAXIMUM DEFLECTIONS FOR STUDS BACKING UP EXTERIOR BUILDING SKIN MATERIALS SHALL BE LIMITED TO THE FOLLOWING:
BRICK / STONE L/600
EIFS / STUCCO L/360
METAL PANELS / WOOD SIDING L/240

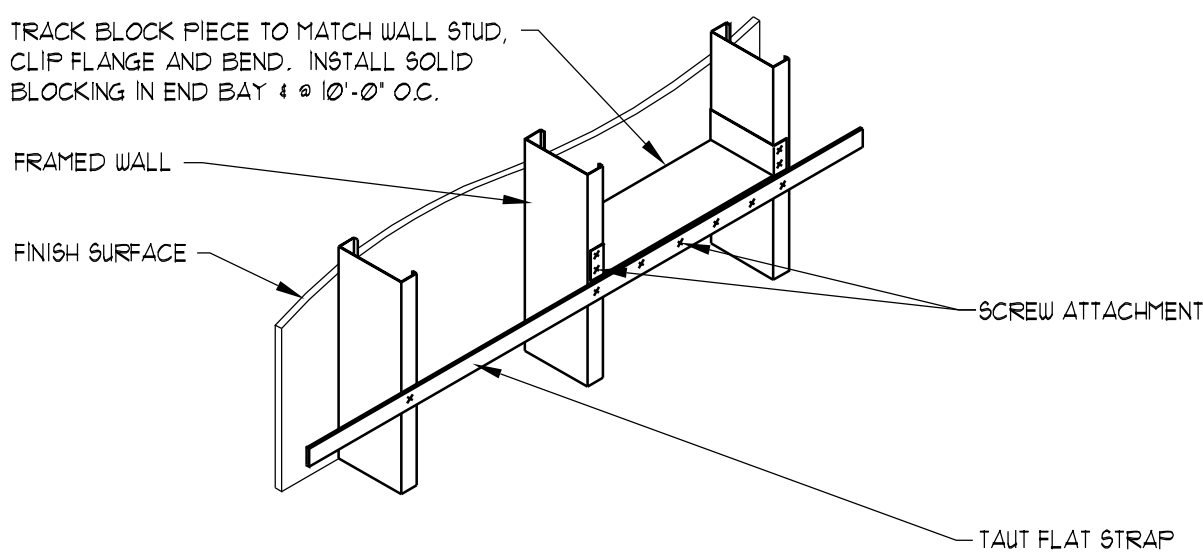


NOTES:

- HEADER CONFIGURATIONS ARE SHOWN FOR INFORMATION PURPOSES ONLY. COLD-FORMED METAL FRAMING CONTRACTOR SHALL FULLY DESIGN ALL METAL STUD HEADERS (MSH) AS REQUIRED PER COLD-FORMED METAL FRAMING NOTES.
- STRUCTURAL STEEL HEADER MAY BE SUBSTITUTED IF REQUIRED BY DESIGN.
- ALL HEADER MEMBERS MUST BE UNFINISHED. IT IS CONTRACTOR'S RESPONSIBILITY TO SPECIFY UNFINISHED MEMBERS WHEN ORDERING MATERIALS.
- ALL HEADER SILL, & JAMB MEMBERS MUST BE FULL LENGTH. NO SPLICES ARE ALLOWED. WALL TOP TRACK MUST BE FULL LENGTH OVER ALL OPENINGS (NO SPLICES ALLOWED). JOIST RIM TRACK MUST BE FULL LENGTH (NO SPLICES) & ALL OPENINGS. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT OPENING SIZE REQUIREMENTS.

MSH HEADER CONFIGURATIONS

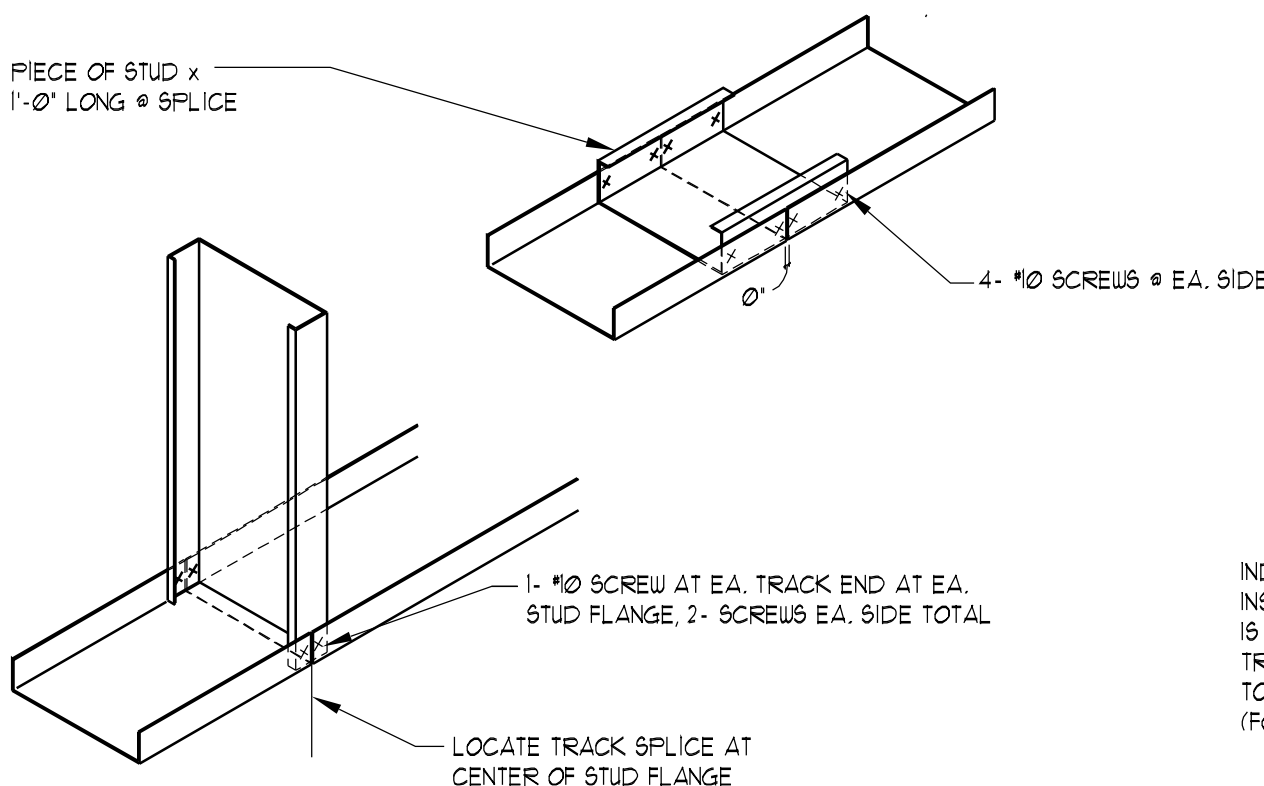
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NOTE:
AT METAL STUD SHEARWALLS OPPOSITE SIDE OF WOOD SHEATHING INSTALL # 4'-0" O.C. VERTICAL.

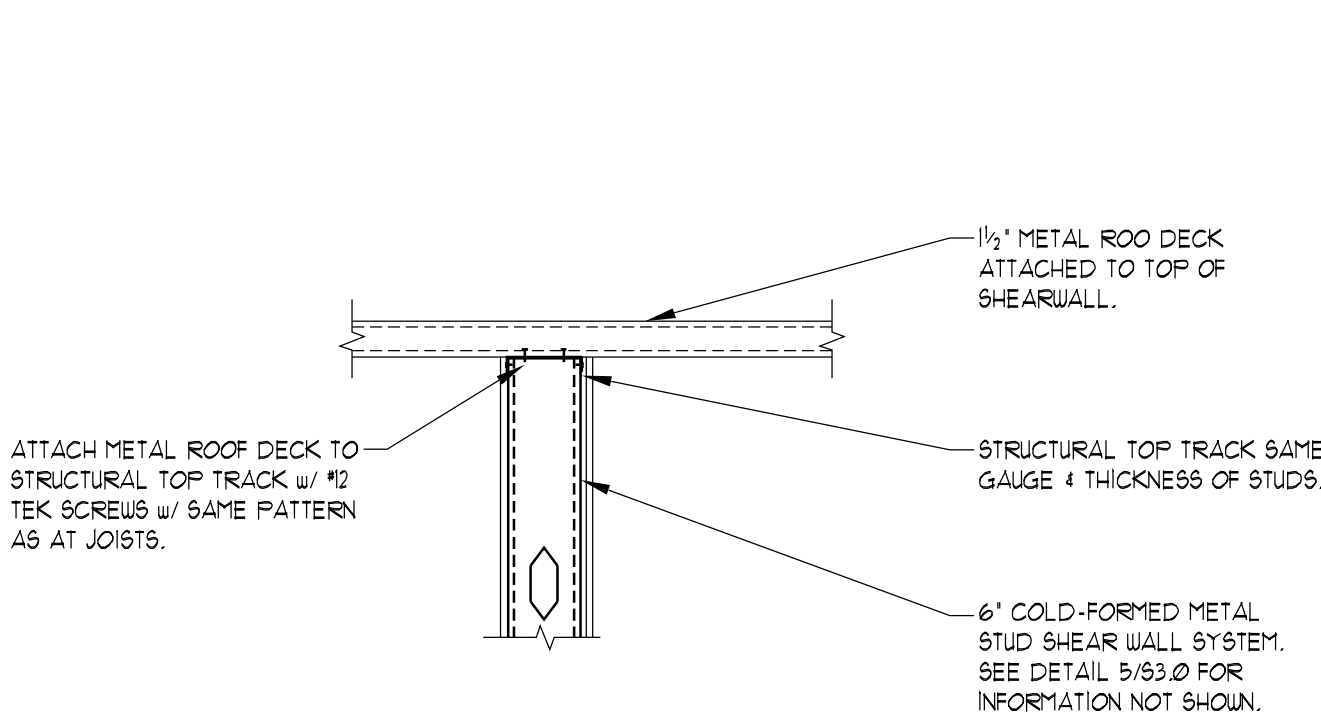
SINGLE STRAP BRIDGING

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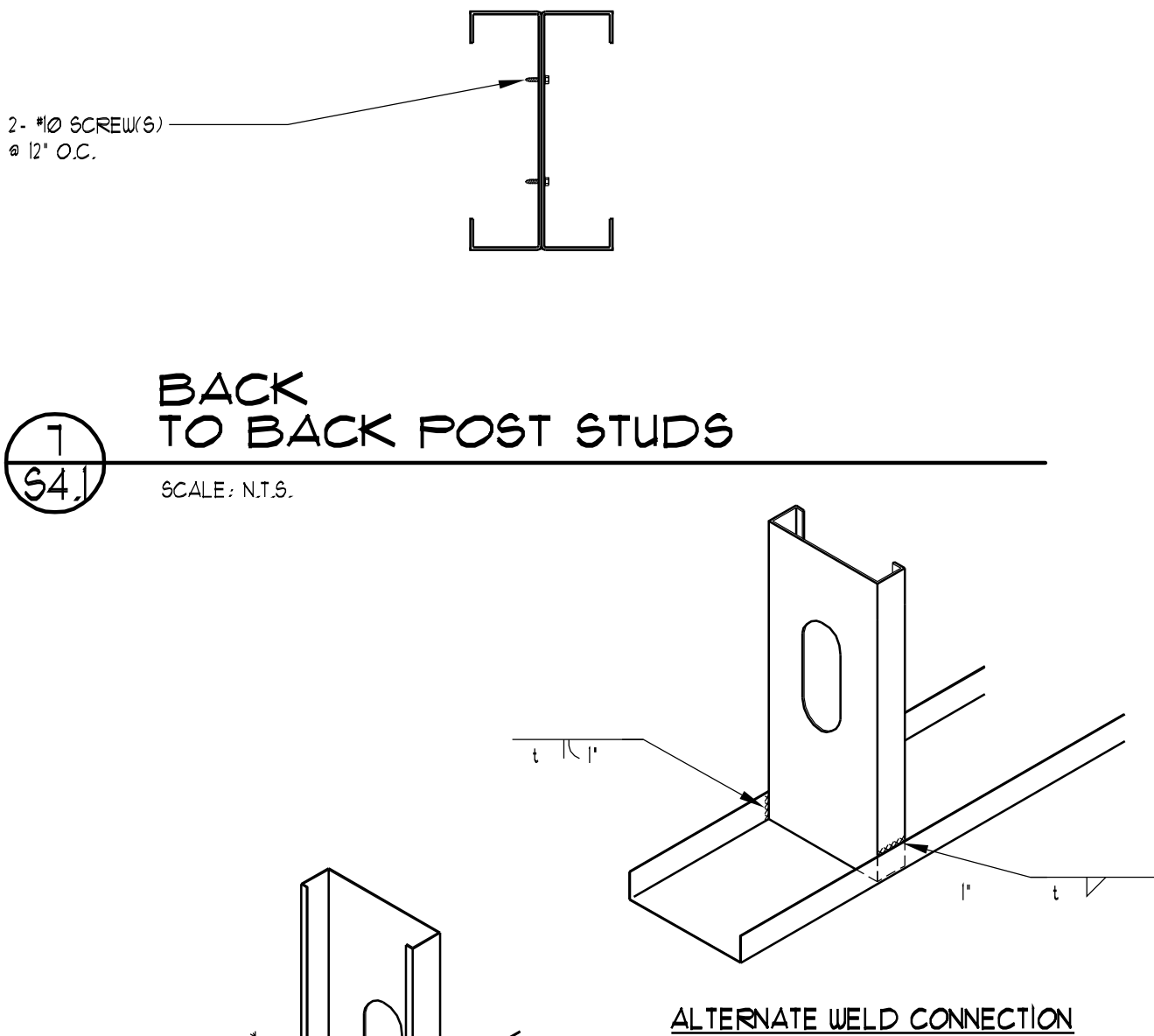
TRACK SPLICE DETAILS

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ROOF SECTION AT INTERIOR SHEAR WALL

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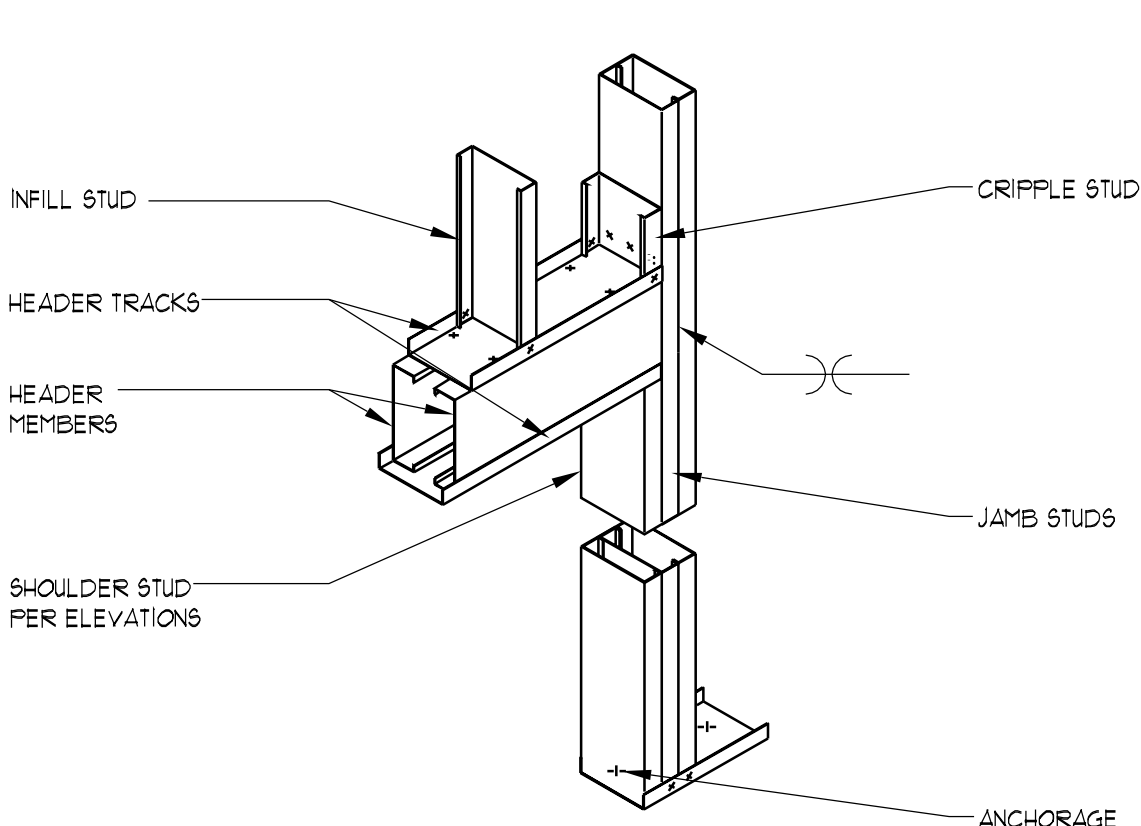


INDEXED STUDS:
INSTALL STUDS SO THIS DIMENSION IS THE SAME ALONG BOTTOM TRACK. MAY ALSO OCCUR ALONG TOP TRACK WHERE APPROPRIATE (FOR BRIDGING ALIGNMENT)

NOTE:
SET ALL STUDS TIGHT TO RADIUS OF TRACK (TOP & BOTTOM) (TYP)

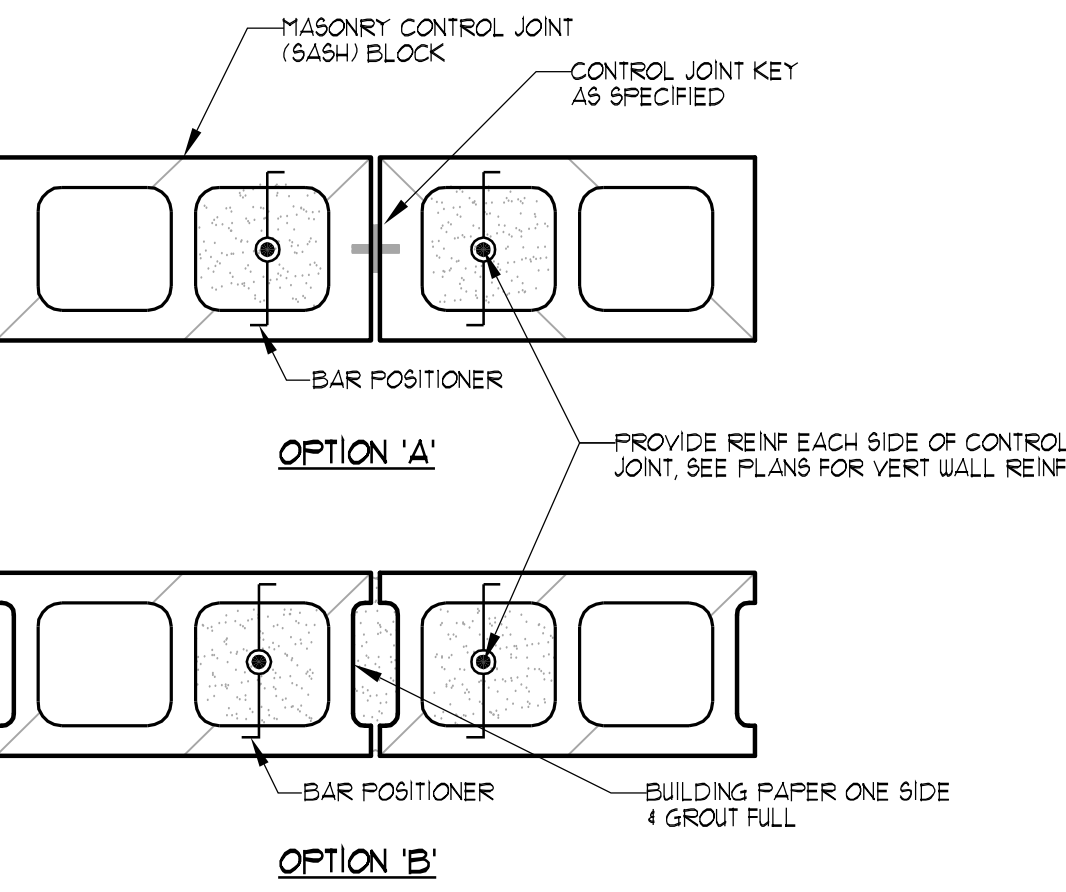
STUD TO TRACK CONNECTION

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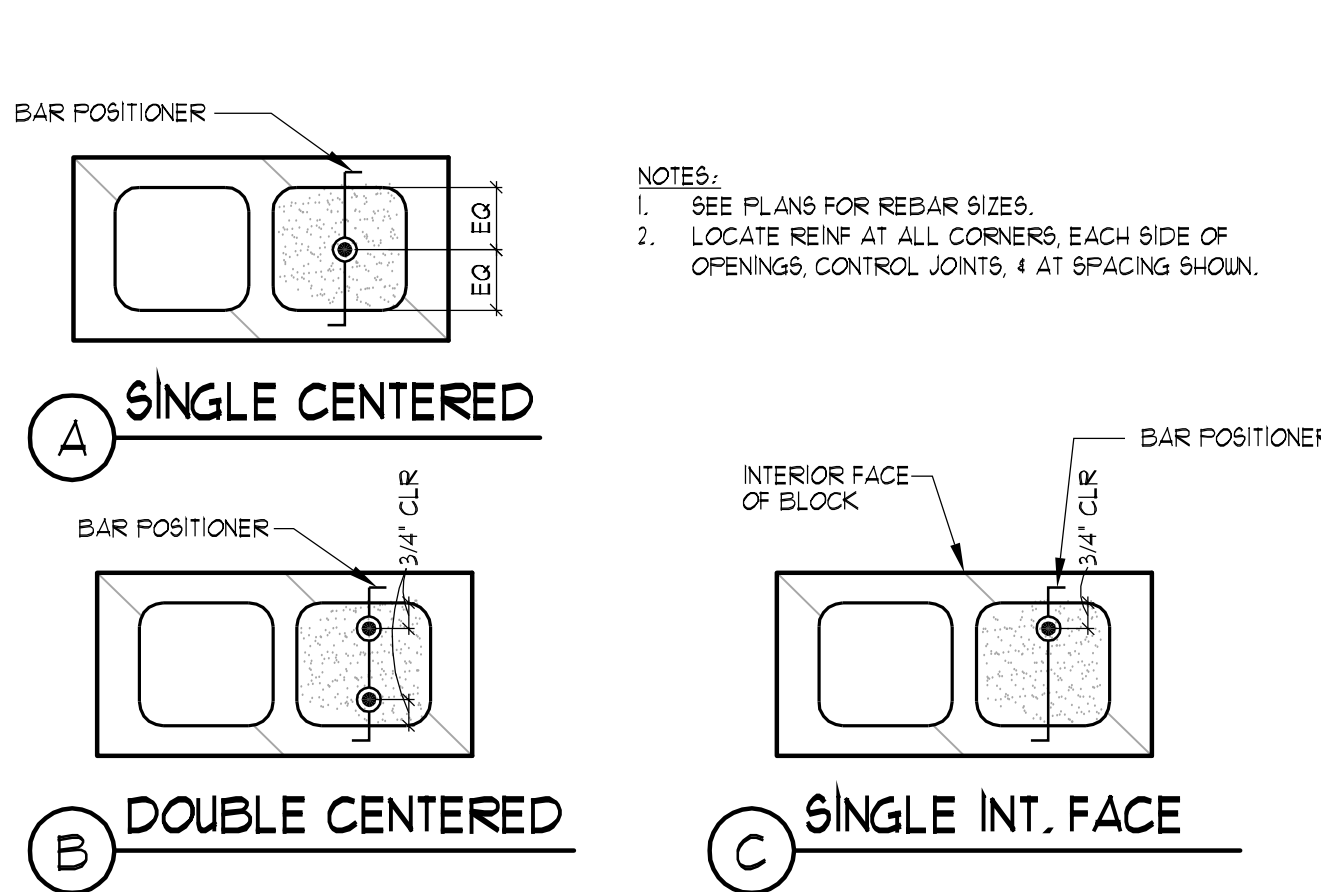
LOAD BEARING DOOR BOXED HEADER

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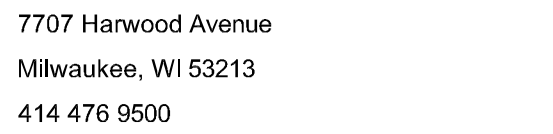
TYPICAL CONTROL JOINT (CJ) @ MASONRY WALL

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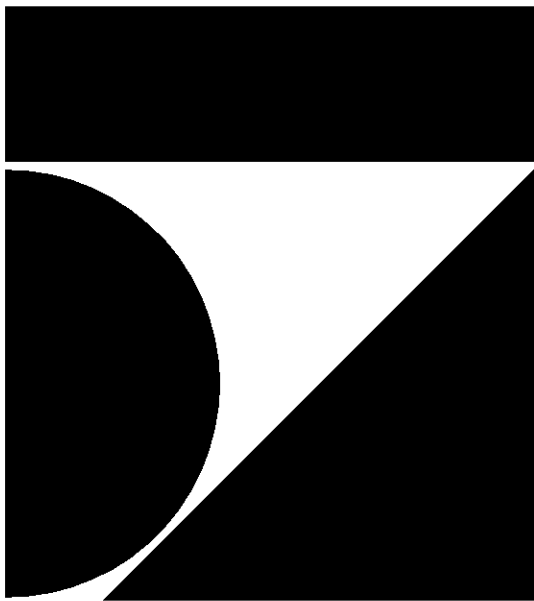


TYPICAL VERTICAL WALL REINF.

SCALE: N.T.S.



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LANDSCAPE DETAILS,
SCHEDULES & NOTES

Project

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COUNTY HWY "F" &
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PEWAUKEE, WI

Date

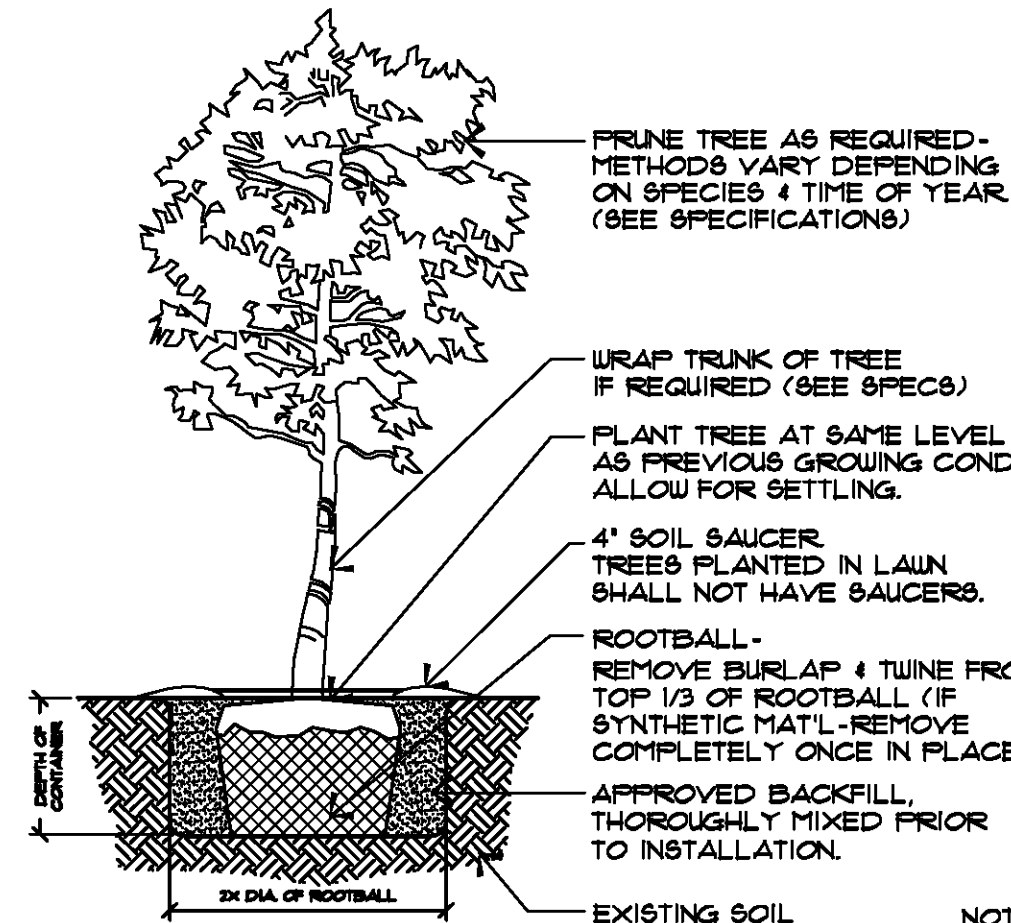
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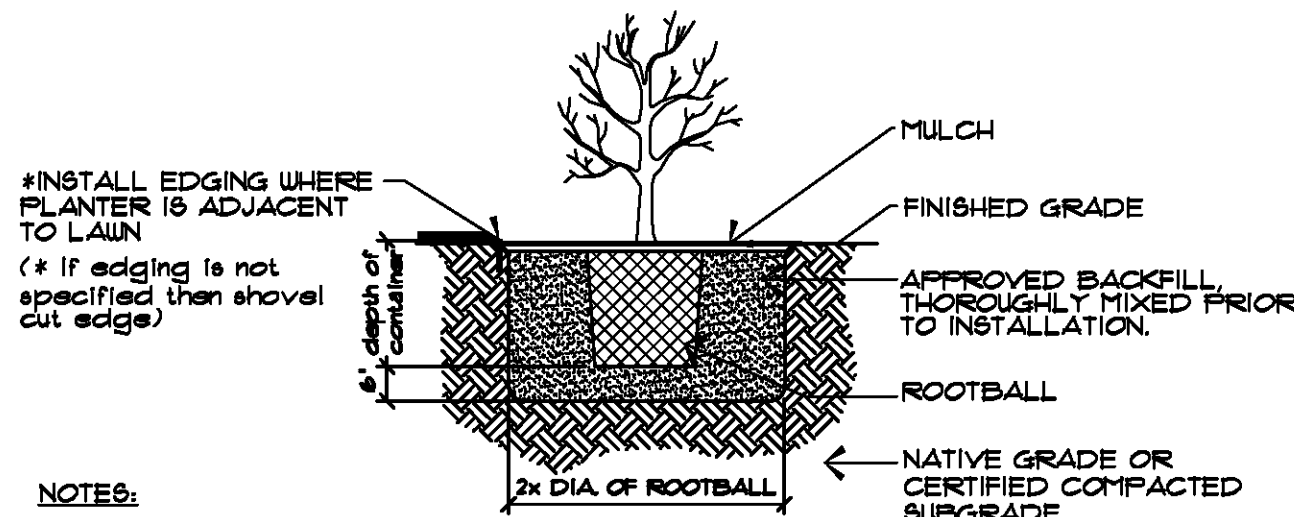


TREE PLANTING

NOT TO SCALE

NOTES:

-SEE PLANTING SPECS PRIOR TO INSTALLATION OF PLANT MATERIALS.



SHRUB PLANTING

NOT TO SCALE

Plant Schedule

1. All written dimensions supercede scaled dimensions.
2. All dimensions are taken from face of curb, wall or existing building foundations.
3. The Contractor shall verify location of all underground utilities and additional information prior to commencement of site construction.
4. Rough grading and drainage is to be completed prior to Landscape Contractor's work. Verify all existing site and grading conditions prior to construction.
5. All work shall be in conformance with all applicable local codes & ordinances.
6. All areas disturbed by grading or site construction shall be fine graded and seeded. See plans for seed locations.
7. Contractor shall verify plant quantities shown on plan and provide a list to the Client identifying the species and sized to be used throughout the project. The Landscape Architect reserved the right to reject any sub-standard planting material. Such rejected material shall be removed from the project site immediately.
8. All planting beds shall receive a blended topsoil mix to a depth of 6". Contractor shall provide positive drainage away from all buildings for a minimum of 10'. Remove excessive clay, gravel & stones which would be detrimental to healthy plant growth. Roto-til new topsoil into existing soil.
9. All perennial and groundcover areas shall receive a blend of organic soil amendments prior to planting. Roto-til the amendments into the existing soil to a depth of 12". Avoid damage to existing tree roots where applicable by lightly working amendments into soil with pitch fork

Add per 100 square feet:
1-2 c.f. bale of Peat Moss
1/2 lb. of 5-10-5 garden fertilizer (Ozsmocote or Milorganite)
1/2 lb. granular sulphur
1/2 lb. Bone meal
1/4 c.y. of mushroom compost
10. All perennial and groundcover areas shall receive a 1-2" layer of shredded bark mulch. Do not allow mulch to touch stems or leaves of perennials! All woody planting areas shall receive a 3" layer. Unless otherwise noted, no landscape fabric or weed barrier is to be installed.
11. Unless otherwise shown, all perennials & shrubs to be planted in a triangular arrangement. For plants not shown individually, refer to the spacing shown in the plant schedule.
12. Before 60-day maintenance period ends, Contractor to install a 6" shovel-cut bed edge wherever noted.

SEEDING INSTALLATION

- Optimally, seeding shall be completed between 5/1 and 6/15, or between 9/1 and 10/1.
- No seeding shall occur if the wind exceeds 6 MPH.
- Prior to applying the seed, Contractor shall stake the seeding zones for approval by Landscape Architect
- Seeds shall be viable and will be mixed using a sand filler material
- Straw mulch shall be clean without seeds and blown onto seedbed at a rate of 55 bales per acre
- Based on availability, seed not available may be substituted following approval by Landscape Architect.

SEED MIXES (See plans for locations)

MAINTAINED TURF:

"Bluemound Top Quality Lawn Seed Mix."
Available from Prince Seed Corp., Marshfield WI, 800-777-2486. Or approved equal.
To be installed & maintained per supplier's specifications.

- 10% Apollo Kentucky Bluegrass
- 10% Midnight Kentucky Bluegrass
- 15% Viva Kentucky Bluegrass
- 15% Dragon Kentucky Bluegrass
- 20% Creeping Red Fescue
- 15% Palmer III Perennial Ryegrass
- 15% Panther Perennial Ryegrass

Apply @ 5 lbs per 1000 SF.

PRAIRIE MIX:

"Short Prairie For Medium Soils."
Available from Prairie Nursery, Westfield WI, 800-476-9453. Or approved equal.
To be installed & maintained per supplier's specifications.

Apply @ 4 lbs per AC. Also apply Annual Ryegrass cover-crop @ 5 lbs per AC.

WETLAND MIX:

"Detention Basin Wet Prairie Mix."
Available from Prairie Nursery, Westfield WI. Or Approved equal.
To be installed & maintained per supplier's specifications.

Apply @ 4 lbs per AC.

SEEDING NOTES

1. The seedbed shall be prepared for optimal native seed germination after placement of the landscape trees.
2. This work shall consist of preparing the seedbeds and furnishing, sowing and mulching the required seed on the various seeded turf areas, as outlined in the site plans or other areas designated by the Landscape Architect, all in accordance with the requirements of this specification.
3. Grading and topsoiling shall be completed before sowing the seed mix. The area to be seeded shall be worked with discs, harrows, or other appropriate equipment until a reasonably even and loose seedbed is obtained immediately in advance of the seeding.
4. The seed mixture shall be sown by means of equipment adapted to the purpose, or it may be scattered uniformly over the areas to be seeded. Scattering seed by hand shall be done only with satisfactory hand seeders and only at such times when the air is sufficiently calm to prevent seeds from blowing away. If the area is hand sown, the soil surface must be raked following seeding.
5. Clean straw, free of debris and seeds, shall be applied as mulch on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre. Mulch material shall be chopped and blown into the seeded area.

Plant Schedule

P L A N T L I S T						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS

DECIDUOUS CANOPY TREES

Acce. 'Aut.'	4	Acce. Freeman 'Autumn Blaze'	Autumn Blaze Maple	28' Cal.	B/B	
Acce. 'Gre'	3	Acce. snc. 'Green Mountain'	Green Mountain Sugar Maple	3' Cal.	B/B	
Gla. 'Shal'	8	Gleditsia tr. 'Shademaster'	Shademaster Honeylocust	3' Cal.	B/B	
Til. 'Sue'	3	Tilia ton. 'Sterling Silver'	Sterling Silver Linden	3' Cal.	B/B	

DECIDUOUS UNDERSTORY TREES

Cre. 'Un'	1	Crataegus vtr. 'Unmarking'	Unmarking Hawthorn	2' cal.	B/B	
Mal. 'Ada'	1	Malus 'Adams'	Adams Crabapple	28' Cal.	B/B	
Py. 'Aut.'	10	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Pear	2' Cal.	B/B	
Sy. 'Ivo'	3	Syringa ret. 'Ivory Silk'	Ivory Silk Jap. Tree Lilac	28' Cal.	B/B	

CONIFEROUS SHRUBS

Jun. 'Kall'	55	Juniperus chl. 'Kallay's Compact'	Kallay's Compact Juniper	8 Gal.	Com.	
Tax. 'Gem'	22	Taxus x media 'Gem'	Gem Dwarfed Tree	8 Gal.	Com.	

DECIDUOUS SHRUBS

Col. 'Luc'	24	Coloreaster lucida	Hedge Coloreaster	18-24" Ht.	Com.	
Col. 'Van'	46	Coloreaster x. 'Vernal'	Hedge Coloreaster	15-18" Ht.	Com.	
Euc. 'Com'	10	Eucryphia alata 'Compacta'	Compact Burning Bush	48-60" Ht.	B/B	
For. 'Happ'	21	Forseythia 'Happy Centennial'	Happy Centennial Forsythia	18' Ht.	Com.	
Hydr. 'Ank'	26	Hydrangea arb. 'Annabelle'	Annabelle Hydrangeas	36" Ht.	Com.	
Rhu. 'Gros'	29	Rhus aromatica 'Gros Low'	Gros Low Sumac	18' Ht.	Com.	
Rosa. 'CRU'	44	Rosa 'Carefree Wonder'	Carefree Wonder Rose	18' Ht.	Com.	
Spi. 'Pro'	40	Spiraea jap. 'Proserpine'	Proserpine Spirea	24-30' Ht.	Com.	
Spi. 'Gra'	56	Spiraea ch. 'Graham'	Graham's Spirea	24-30' Ht.	Com.	
Sy. 'Pall'	8	Syringa meyeri 'Pallison'	Pallison Lilac	36-56" Ht.	B/B	
Vib. 'Aut.'	21	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	48' Ht.	B/B	

PERENNIALS & GRASSES

Hem. 'Hig'	32	Hemerocallis 'Higerson'	Higerson Daylily	1 Gal.	Com.	
Mis. 'Flor.'	10	Miscanthus sin. 'Flaming Light'	Flaming Light Pampasgrass	1 Gal.	Com.	



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ENGINEERS, SURVEYORS & CONSULTANTS
9722 WATERTOWN PLANK ROAD
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WATERTOWN, WI 53126
T 414-303-9515 F 414-303-9516

J.J.S.
09/11/06

REVISED GRADES ALONG WATERWAY

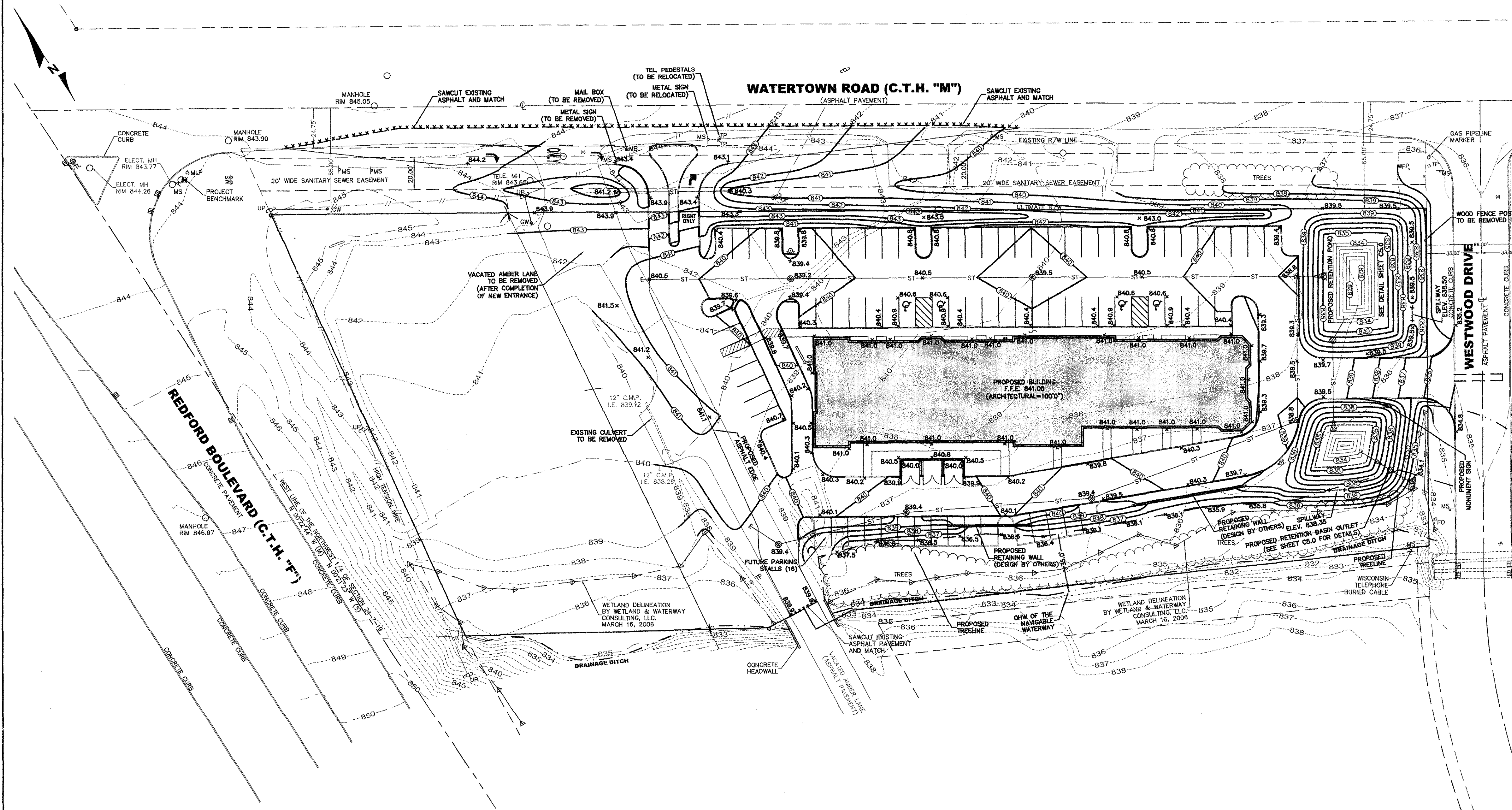
SITE GRADING PLAN PEWAUKEE CROSSINGS C.T.H. "F" & C.T.H. "M" PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

*actually
located on
waterway*

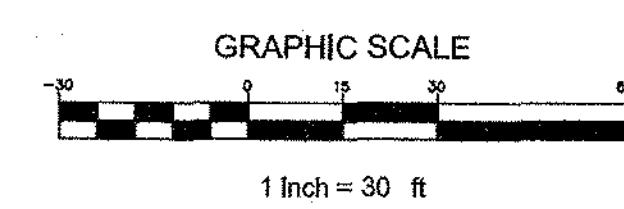
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MILW. AREA 226-1181

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE EXACT LOCATION OF ANY UTILITY SHALL BE DETERMINED BY FIELD SURVEY.

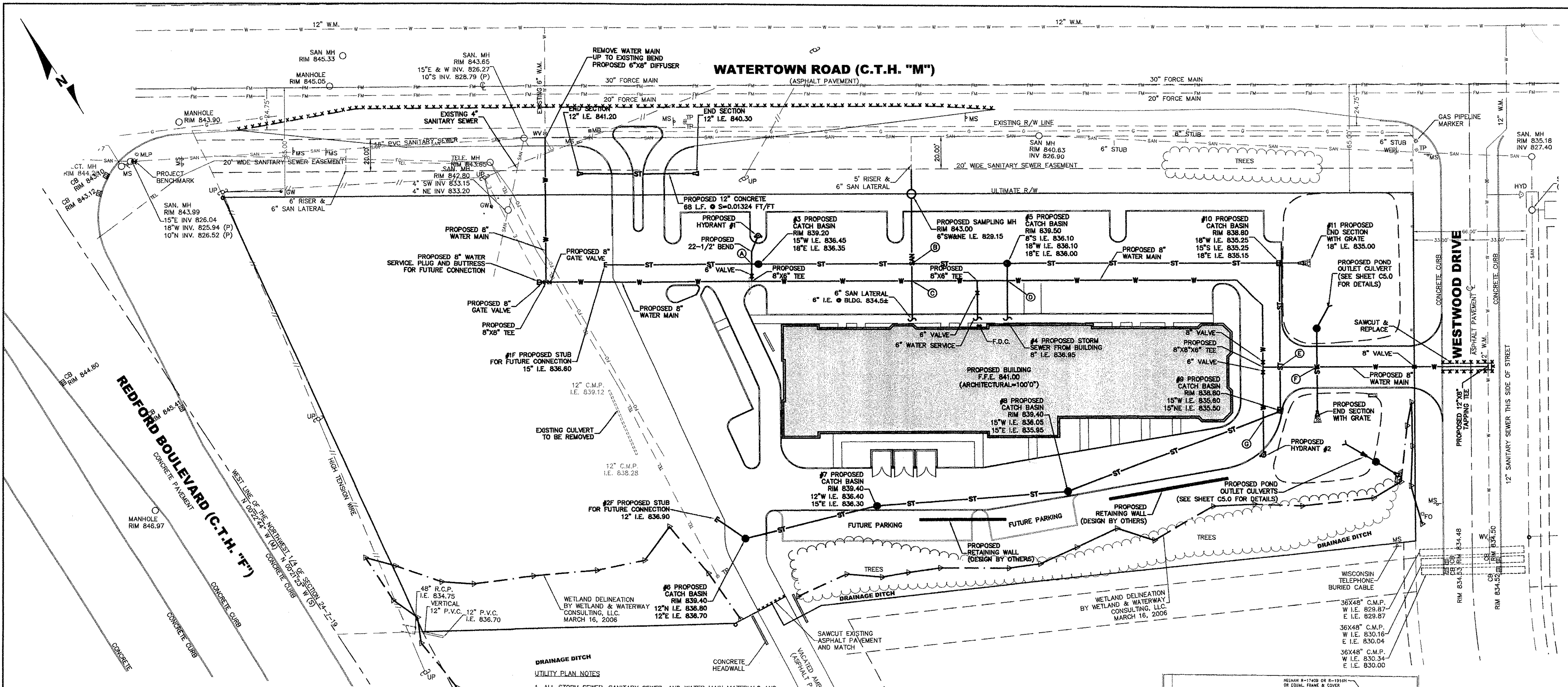


GRADING NOTES:

- 1.) ALL ELEVATIONS ALONG PROPOSED CURB ARE AT THE BOTTOM OF CURB.
- 2.) ALL WORK IN C.T.H. "M" (WATERTOWN ROAD) SHALL BE PERMITTED BY WAUKESHA COUNTY AND PERFORMED ACCORDING TO WAUKESHA COUNTY SPECIFICATIONS.
- 3.) PROPOSED ENTRANCE DRIVE, RIGHT-TURN LANE, ACCELERATION LANE, AND DRAINAGE ALONG WATERTOWN ROAD SUBJECT TO CHANGE PER WAUKESHA COUNTY REVIEW.

LEGEND

- SAWCUT LINE MATCH
- EXISTING PAVEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- EXISTING STORM SEWER
- PROPOSED STORM SEWER



UTILITY CROSSING SCHEDULE

CODE	TYPE	COVER	RIM ELEV.	SIZE (INCHES)	INVERT IN	INVERT OUT	REMARKS
A	15" STM I.E. 836.47, 6" WAT I.E. 832.3±						
B	18" STM I.E. 836.20, 6" SAN I.E. 833.8±						
C	6" SAN I.E. 834.0±, 8" WAT I.E. 831.5±						
D	8" STM I.E. 836.21, 8" WAT I.E. 832.8±						
E	15" STM I.E. 835.43, 8" WAT I.E. 832.4±						
F	14"x23" STM I.E. 834.68, 8" WAT I.E. 832.0±						
G	15" STM I.E. 835.62, 6" WAT I.E. 832.2±						

STORM WATER STRUCTURE SCHEDULE

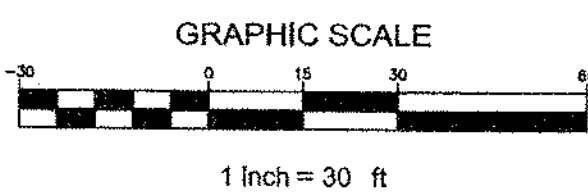
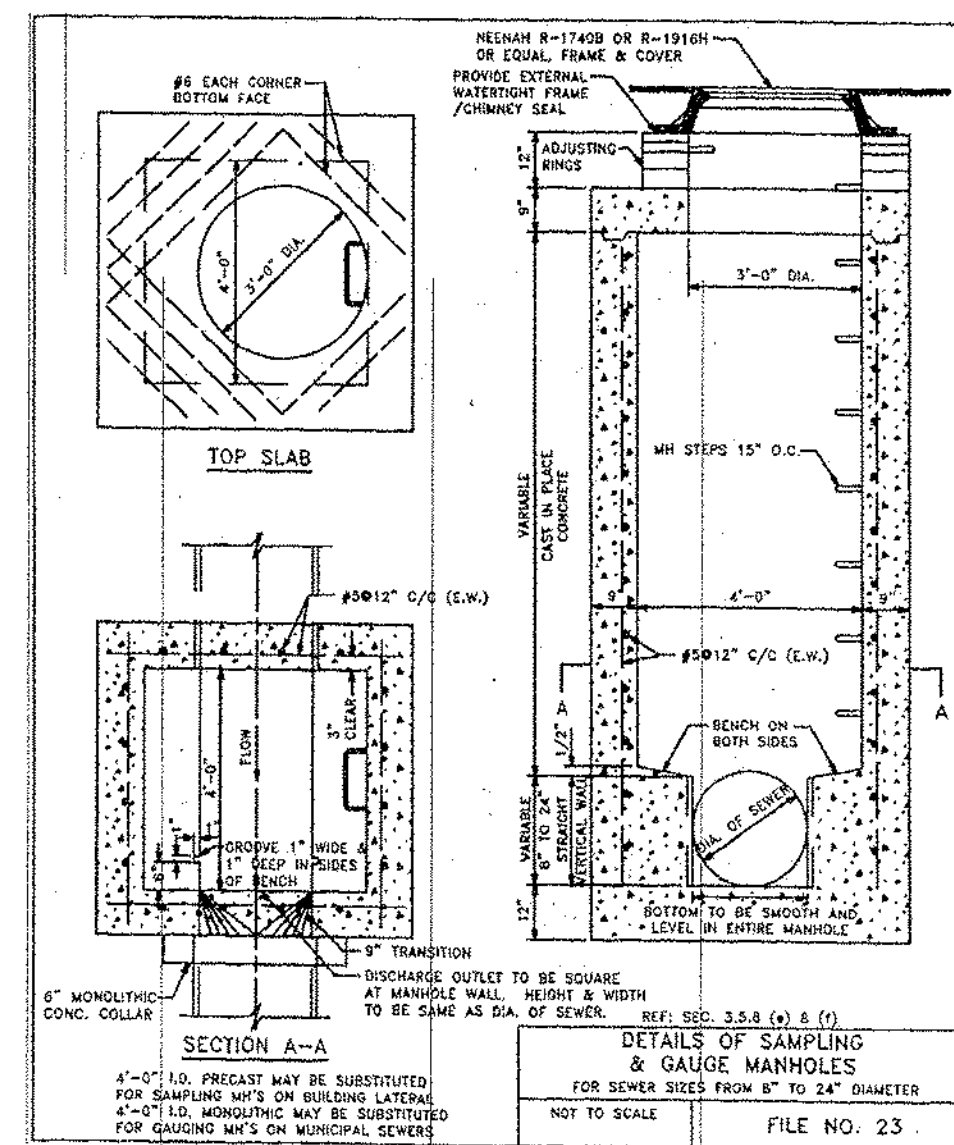
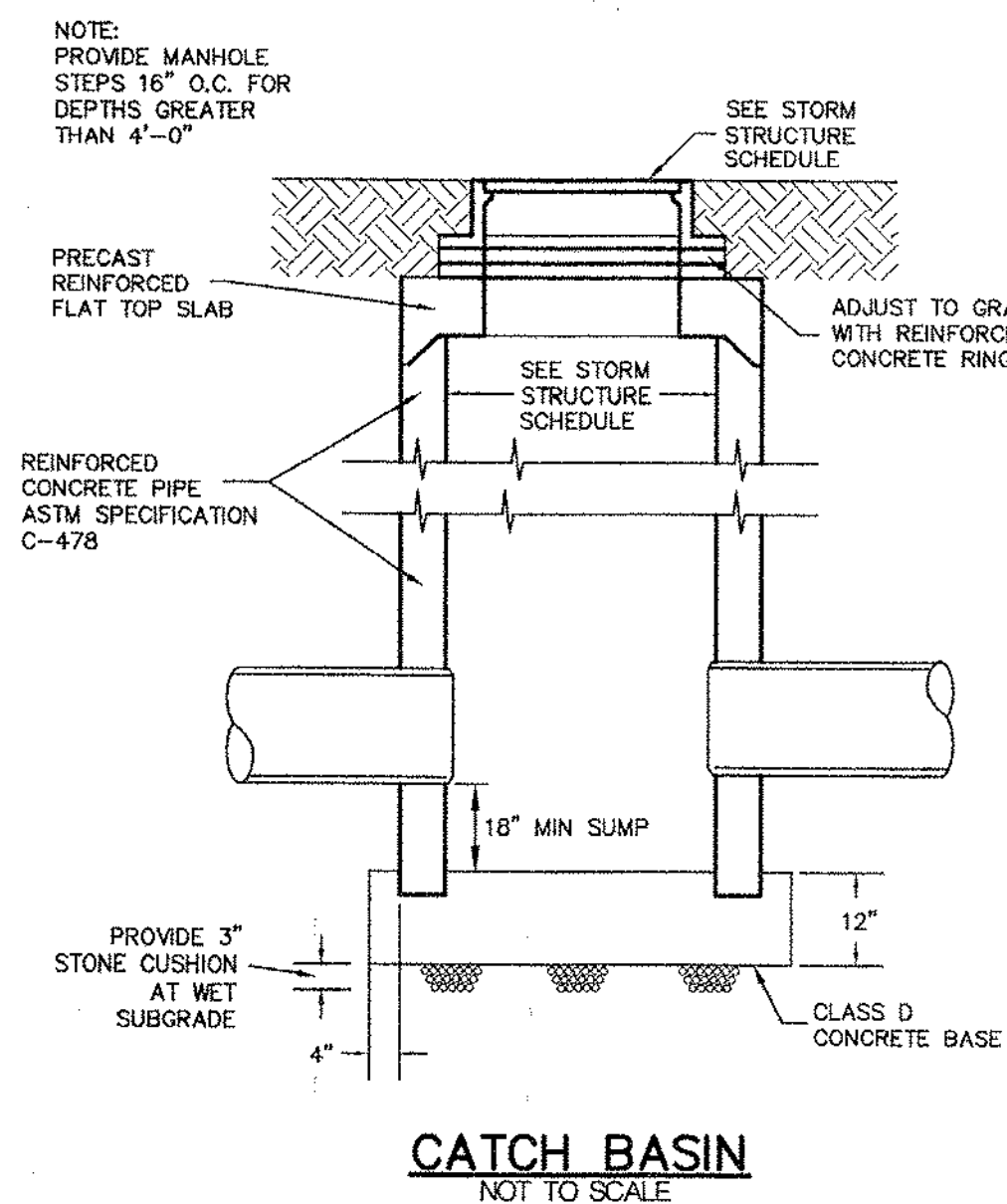
CODE	TYPE	COVER	RIM ELEV.	SIZE (INCHES)	INVERT IN	INVERT OUT	REMARKS
3	42" DIAMETER CATCH BASIN	R-2501-A	839.20	15	836.45	836.35	
5	42" DIAMETER CATCH BASIN	R-2501-A	839.50	18	836.10	836.00	
6	42" DIAMETER CATCH BASIN	R-2501-A	839.40	12	836.80	836.70	
7	42" DIAMETER CATCH BASIN	R-3229-A	839.10	15	836.40	836.30	
8	42" DIAMETER CATCH BASIN	R-3229-A	839.10	15	836.05	835.95	
9	42" DIAMETER CATCH BASIN	R-3229-A	838.80	15	835.60	835.50	
10	42" DIAMETER CATCH BASIN	R-3229-A	838.80	18	835.25	835.15	

UTILITY PLAN NOTES

1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND WISCONSIN ADMINISTRATIVE PLUMBING CODE, UNLESS OTHERWISE SPECIFIED ON PLANS.
2. PROPOSED WATER MAIN SHALL HAVE A MINIMUM OF 6' OF COVER.
3. CONTRACTOR TO VERIFY ALL SEWER AND WATER CONNECTIONS BEFORE ANY CONSTRUCTION.
4. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE PER CITY OF PEWAUKEE, AND WAUKESHA COUNTY REQUIREMENTS AND SPECIFICATIONS.
5. SEE INTERIOR PLUMBING PLANS FOR THE EXACT SIZE AND LOCATION OF PROPOSED WATER AND SANITARY CONNECTIONS TO THE PROPOSED BUILDING.
6. ALL EXTERIOR UTILITY PIPE MATERIAL SHALL CONFORM TO WS. ADMIN. CODE COMM 84.30 AND THE CITY OF PEWAUKEE REQUIREMENTS.
7. INVERT ELEVATIONS LISTED IN THE UTILITY CROSSING SCHEDULE PROVIDE MINIMUM SEPARATION FOR UTILITY CROSSINGS.
8. ALL UTILITIES WITHIN THE RIGHT OF WAY TO 5 FEET BEHIND THE CURB AND GUTTER SHALL HAVE SLURRY BACKFILL.
9. WATER UTILITY MUST BE NOTIFIED 48 HOURS IN ADVANCE FOR THE FOLLOWING ACTIVITIES: WATER MAIN TAP OR OPEN CUTTING, WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN SAMPLING, AND ANY OTHER TIME WATER WILL NEED TO BE UTILIZED. CONTACT JANE MUELLER AT 262 691 0804.
10. ALL OPEN-ENDED PIPE OUTLETS FROM STORM SEWERS SHALL HAVE A GRATE TO SECURE THE OPEN END OF THE PIPE.

STORM WATER PIPE SCHEDULE

FROM	TO	WATER DISCHARGE (CFS)	SIZE (DIA.)	LENGTH (FT.)	SLOPE (FT/FT)	MATERIAL
1F	3	2.57	15"	90	0.00167	H.D.P.E. (ADS N-12 OR EQUAL)
2F	6	1.62	12"	21	0.00476	H.D.P.E. (ADS N-12 OR EQUAL)
3	5	4.25	18"	145	0.00172	H.D.P.E. (ADS N-12 OR EQUAL)
4	5	2.16	8"	36	0.02361	H.D.P.E. (ADS N-12 OR EQUAL)
5	10	7.13	18"	160	0.00469	H.D.P.E. (ADS N-12 OR EQUAL)
6	7	2.10	12"	79	0.00380	H.D.P.E. (ADS N-12 OR EQUAL)
7	8	2.80	15"	112	0.00223	H.D.P.E. (ADS N-12 OR EQUAL)
8	9	3.23	15"	133	0.00263	H.D.P.E. (ADS N-12 OR EQUAL)
9	10	3.46	15"	87	0.00287	H.D.P.E. (ADS N-12 OR EQUAL)
10	11	10.94	18"	12	0.01250	H.D.P.E. (ADS N-12 OR EQUAL)



LEGEND

-----	SAW CUT LINE MATCH EXISTING PAVEMENT
-----	EXISTING CONTOUR
-----	PROPOSED CONTOUR
-----	PROPOSED ELEVATION
-----	EXISTING STORM SEWER
-----	PROPOSED STORM SEWER

NOTE: ALL ELEVATIONS ALONG PROPOSED CURB ARE AT THE BOTTOM OF CURB.

SITE UTILITY PLAN

PEWAUKEE CROSSINGS

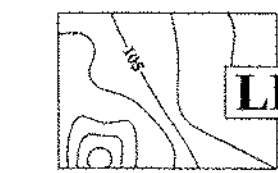
C.T.H. "F" & C.T.H. "M"

PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

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SHEET 2 OF 5

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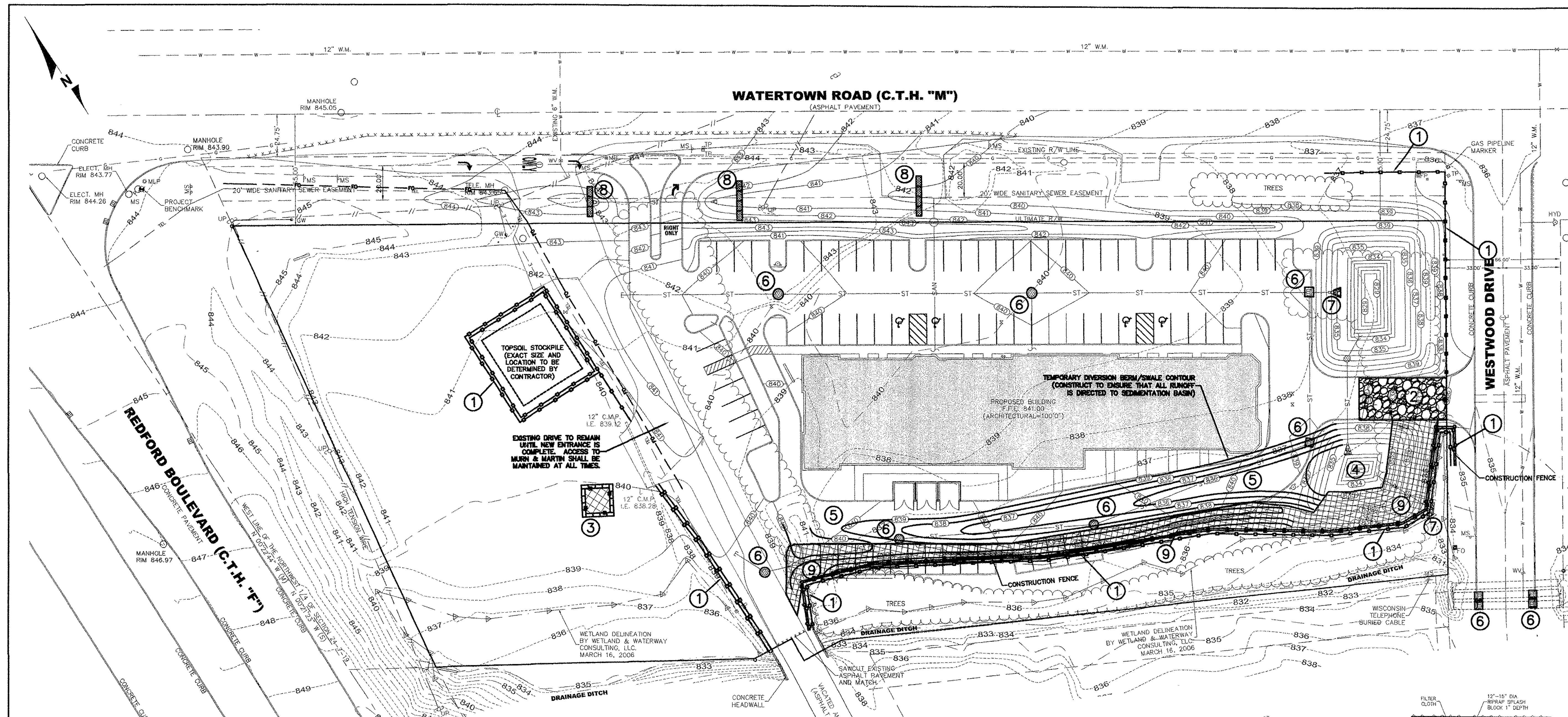
LAND INFORMATION SERVICES, INC.
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9022 WATERTOWN PLANK ROAD
BUILDING 34
WATERTOWN, WI 53226
TEL: 480-9000 FAX: 480-9001

EROSION CONTROL PLAN
PEWAUKEE CROSSINGS
C.T.H. "F" & C.T.H. "M"
PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

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SHEET 3 OF 5

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CONSTRUCTION SCHEDULE

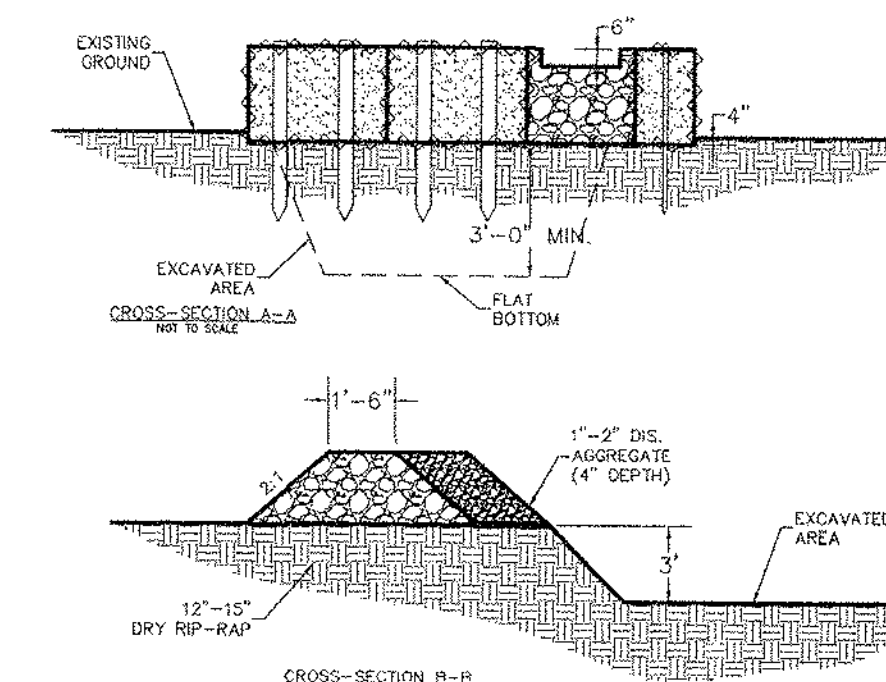
1. INSTALL SILT FENCE AND CONSTRUCTION FENCE (WDNR CONSERVATION PRACTICE STANDARD 1056).
2. INSTALL CONSTRUCTION EXIT (WDNR CONSERVATION PRACTICE STANDARD 1057).
3. INSTALL TEMPORARY DEWATERING BASIN.
4. CONSTRUCT PROPOSED SEDIMENTATION BASIN, IMMEDIATELY VEGETATE AND MULCH WITH A FAST-GROWING GRASS SEED MIXTURE (WDNR CONSERVATION PRACTICE STANDARD 1064, 1059 AND 1058) AND INSTALL EROSION MATTING ON ALL SLOPES OF 4:1 OR GREATER. ALL DEWATERING ACTIVITIES SHALL BE DIRECTED TO THE TEMPORARY DEWATERING BASIN.
5. CONSTRUCT DIVERSION SWALE FROM EAST TO WEST USING SOILS EXCAVATED FROM THE SEDIMENTATION BASIN. IMMEDIATELY VEGETATE AND MULCH WITH A FAST-GROWING GRASS SEED MIXTURE (WDNR CONSERVATION PRACTICE STANDARD 1064, 1059 AND 1058) AND INSTALL EROSION MATTING ON ALL SLOPES OF 4:1 OR GREATER, AS WORK ON THE BERM PROGRESSES WESTWARD.
6. REMOVE TEMPORARY DEWATERING BASIN AND RE-DIRECT ALL DEWATERING PRACTICES TO SEDIMENTATION BASIN.
7. STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR THE REMAINDER OF THE SITE. STOCKPILE SOIL IN AREA INDICATED ON THE EROSION CONTROL PLAN AND SURROUND PILE WITH SILT FENCE AS SHOWN ON PLAN.
8. EXCAVATE FOR FOOTINGS.
9. CONSTRUCT PROPOSED BUILDING.
10. INSTALL UTILITIES TO BUILDING. INSTALL STORM SYSTEM IN PARKING LOT.
11. INSTALL INLET PROTECTION (WDNR CONSERVATION PRACTICE STANDARD 1060).
12. CONSTRUCT CONCRETE CURB AND GUTTER, ASPHALT AND CONCRETE PAVEMENT AREAS AND CONCRETE SIDEWALK AS SHOWN ON PLAN.
13. PERFORM FINAL GRADING OF SITE.
14. SEED/SOD THE DISTURBED AREA IMMEDIATELY UPON COMPLETION OF FINAL GRADING (WDNR CONSERVATION PRACTICE STANDARD 1059 AND 1058).
15. UPON COMPLETION OF CONSTRUCTION AND ONCE VEGETATION HAS BEEN ESTABLISHED, REMOVE TEMPORARY EROSION CONTROL MEASURES AND SEED/SOD DISTURBED AREAS.

MAINTENANCE PLAN

1. ALL CONSTRUCTION TRAFFIC TO ENTER/EXIT SITE AT THE SPECIFIED LOCATION VIA WESTWOOD DRIVE.
2. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 0.5 FEET DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
4. ALL SEEDING AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. ANY SEDIMENT REACHING A PUBLIC RIGHT OF WAY SHALL BE CLEANED (NOT FLUSHED) AT THE END OF EACH WORKDAY.
6. IMPLEMENT WINTER STABILIZATION PLAN PRIOR TO FREEZING ACTIVITIES.
7. FINAL STABILIZATION OF THE SITE IS APPROXIMATELY SIX MONTHS.
8. RESPONSIBILITY FOR FOLLOWING THE MAINTENANCE PLAN SHALL FALL ON THE GENERAL CONTRACTOR.

WINTER STABILIZATION CONTINGENCY PLAN

1. ALL DISTURBED AREAS TO BE STABILIZED AND/OR VEGETATED BY NOVEMBER 1, 2006.
2. IF SITE IS NOT STABILIZED BY NOVEMBER 1, 2006, THE FOLLOWING PROCEDURES SHOULD BE TAKEN:
 - A. INSPECT SILT FENCE AND REPAIR AS NECESSARY TO MAINTAIN A BARRIER.
 - B. INSPECT DIVERSION SWALE/BERM TO ENSURE SITE RUNOFF WILL BE DIRECTED TO SEDIMENTATION BASIN.
 - C. ENSURE EROSION MATTING PLACEMENT, RESEED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER, ONE MONTH PRIOR TO WINTER SEASON.
 - D. INSPECT SEDIMENTATION BASIN AND REGRADE AS NECESSARY.
 - E. ALL UNVEGETATED AREAS SHALL BE SPRAYED WITH A POLYMER/TACKIFIER TO STABILIZE FOR THE DURATION OF THE WINTER SEASON.



TEMPORARY DEWATERING BASIN

NOT TO SCALE

SITE DEWATERING NOTES

1. ANY SITE DEWATERING MUST INCLUDE TREATMENT OF WATER TO REMOVE SEDIMENT PRIOR TO DISCHARGE TO THE WATERWAY.
2. ALL SITE RUNOFF SHALL BE DIRECTED TO THE SEDIMENTATION BASIN VIA THE DIVERSION SWALE/BERM, DURING CONSTRUCTION.
3. ALL DEWATERING SHALL BE DIRECTED TO THE SEDIMENTATION BASIN, DURING CONSTRUCTION.
4. NO SITE DEWATERING SHALL BE DISCHARGED DIRECTLY INTO THE WATERWAY.
5. PUMPING RATE INTO TEMPORARY DEWATERING BASIN SHALL NOT EXCEED 70 GPM.

LEGEND

XXXXXXX	SAWCUT LINE MATCH
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED ELEVATION
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER

NOTE: ALL ELEVATIONS ALONG PROPOSED CURB ARE AT THE BOTTOM OF CURB.

EROSION CONTROL PRACTICES SCHEDULE

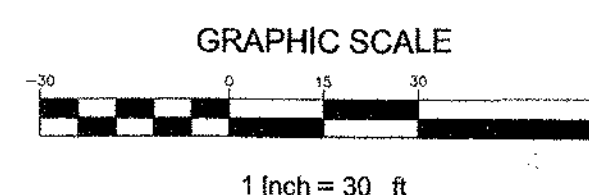
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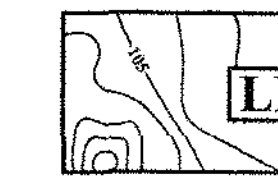
- 1 SILT FENCE
- 2 CONSTRUCTION EXIT
- 3 TEMPORARY DEWATERING BASIN
- 4 SEDIMENTATION BASIN
- 5 DIVERSION SWALE/BERM
- 6 INLET GRATE SCREEN
- 7 OUTLET PROTECTION FOR END APRON
- 8 STAKED STRAW BALES
- 9 EROSION MATTING

TO OBTAIN LOCATIONS OF PARCELS UNDERGOING PRACTICES, PLEASE CALL:
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TOLL FREE
MIS STATUTE 182.02(2)(7)(a)
REGULATORY MIN. 5 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 255-1101

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THERE MAY BE VARIATIONS IN THE ACTUAL LOCATIONS OF THESE UTILITIES.

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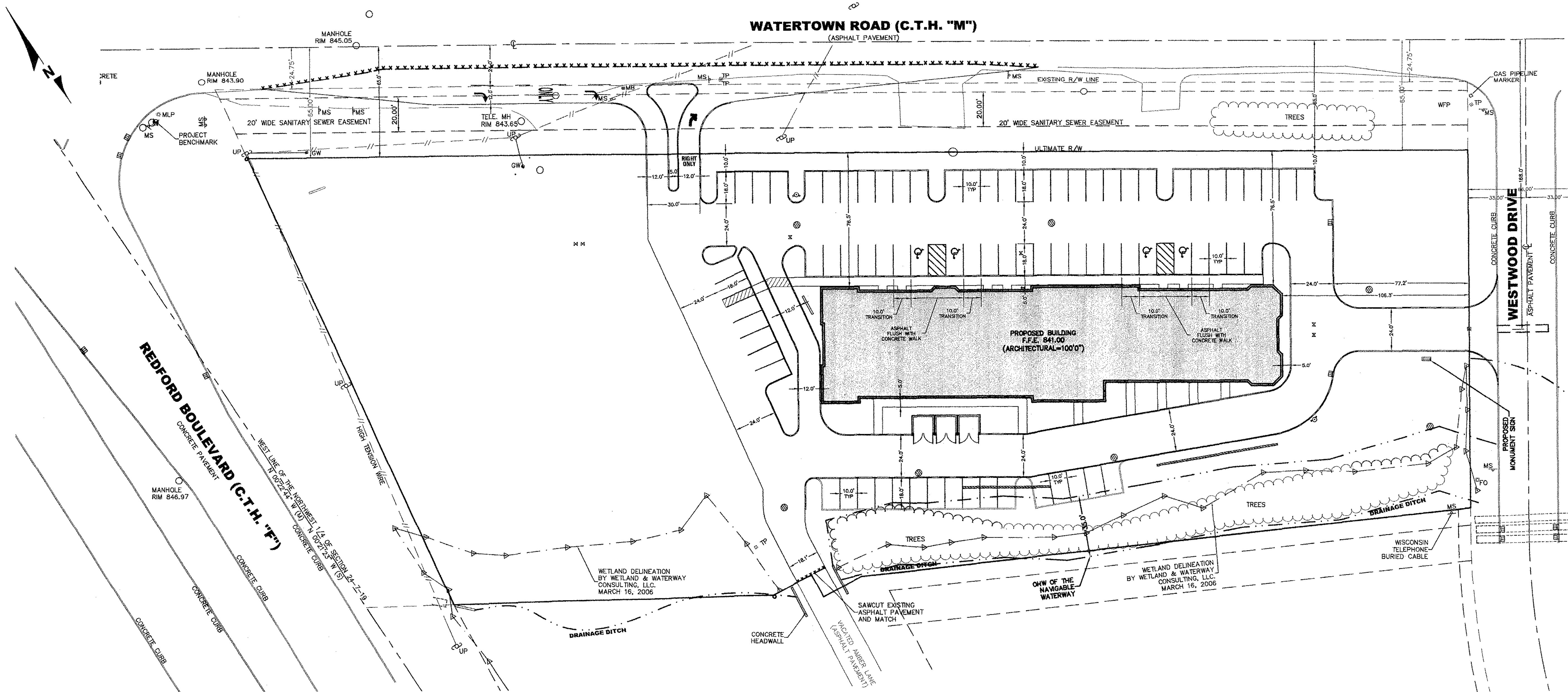
SITE PAVING PLAN
PEWAUKEE CROSSINGS
C.T.H. "F" & C.T.H. "M"
PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

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SHEET 4 OF 5

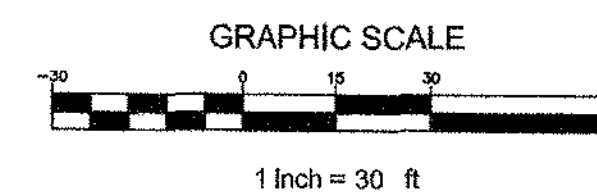
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WATERTOWN ROAD (C.T.H. "M")
(ASPHALT PAVEMENT)

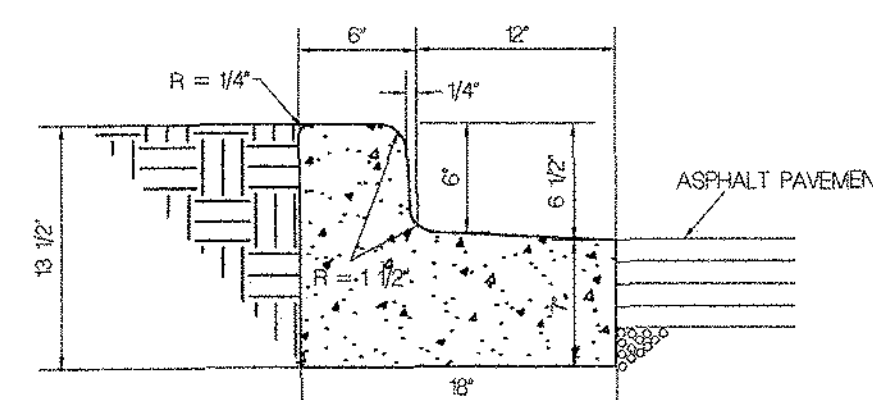


PAVING NOTES:

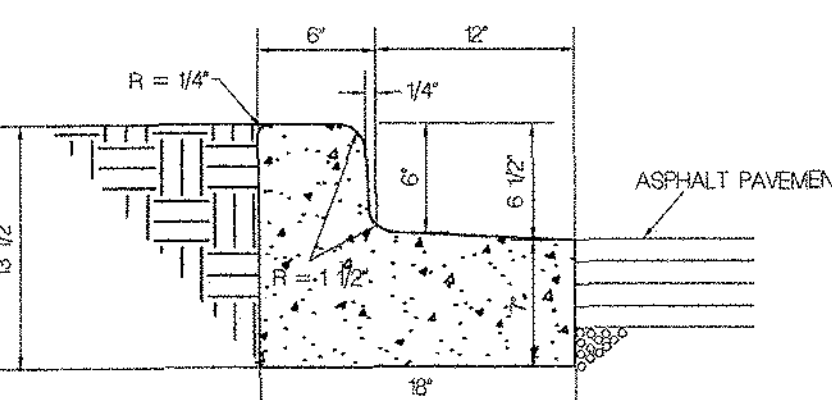
- 1.) ALL DIMENSIONS TAKEN TO FACE OF CURB UNLESS OTHERWISE NOTED. B.O.C.=BACK OF CURB.
- 2.) ALL WORK IN C.T.H. "M" (WATERTOWN ROAD) SHALL BE PERFORMED ACCORDING TO WAUKESHA COUNTY SPECIFICATIONS.
- 3.) PROPOSED ENTRANCE DRIVE, RIGHT-TURN LANE, AND ACCELERATION LANE SUBJECT TO CHANGE PER WAUKESHA COUNTY.



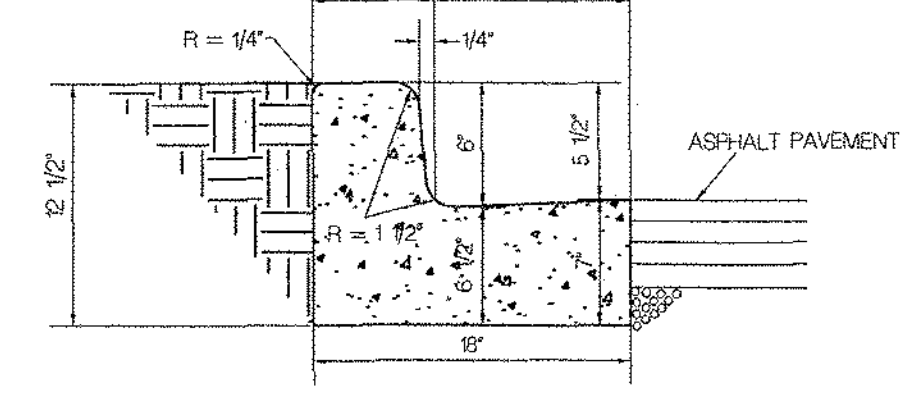
1 SIDEWALK SECTION ADJACENT TO HANDICAPPED PARKING AREA
NOT TO SCALE



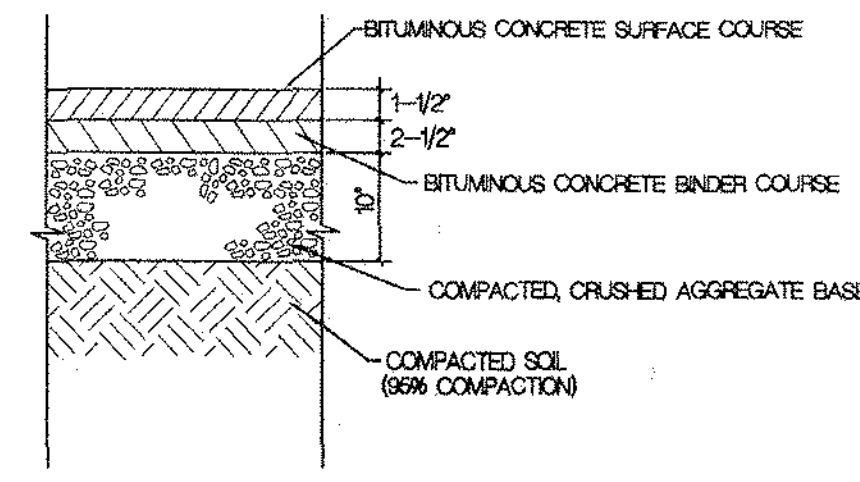
2 HIGH SIDE CONCRETE CURB DETAIL
NOT TO SCALE



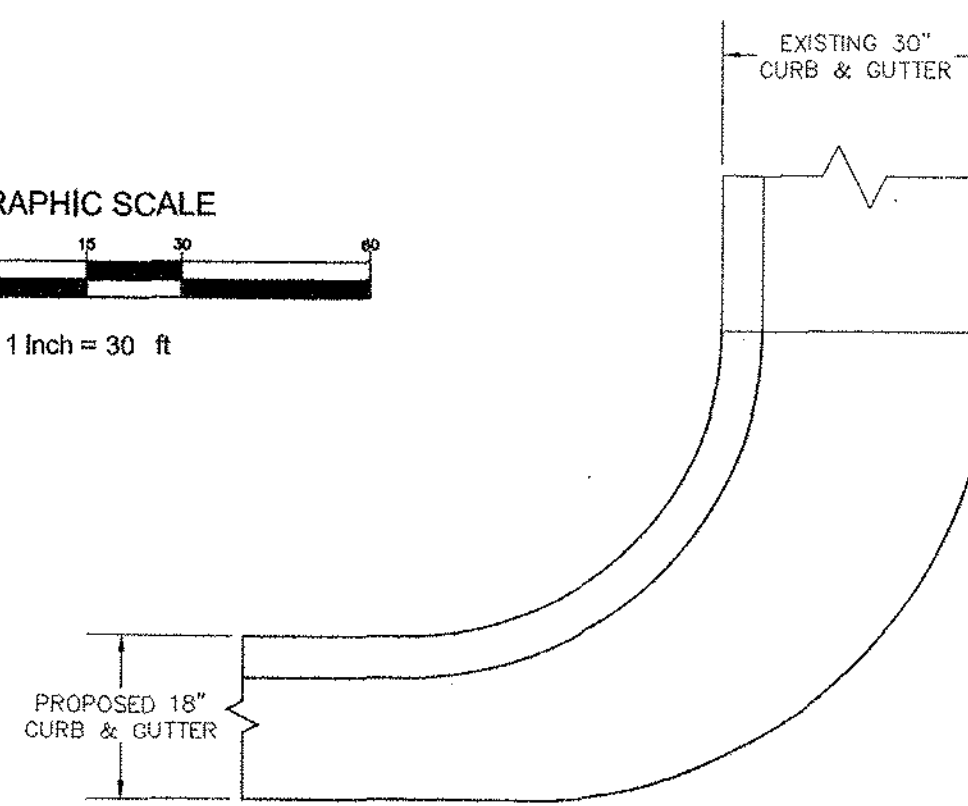
3 LOW SIDE CONCRETE CURB DETAIL
NOT TO SCALE



4 HEAVY DUTY ASPHALT PAVEMENT (PARKING AREA)
NOT TO SCALE

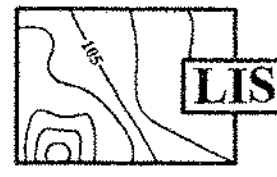


5 CONCRETE CURB TRANSITION DETAIL
NOT TO SCALE



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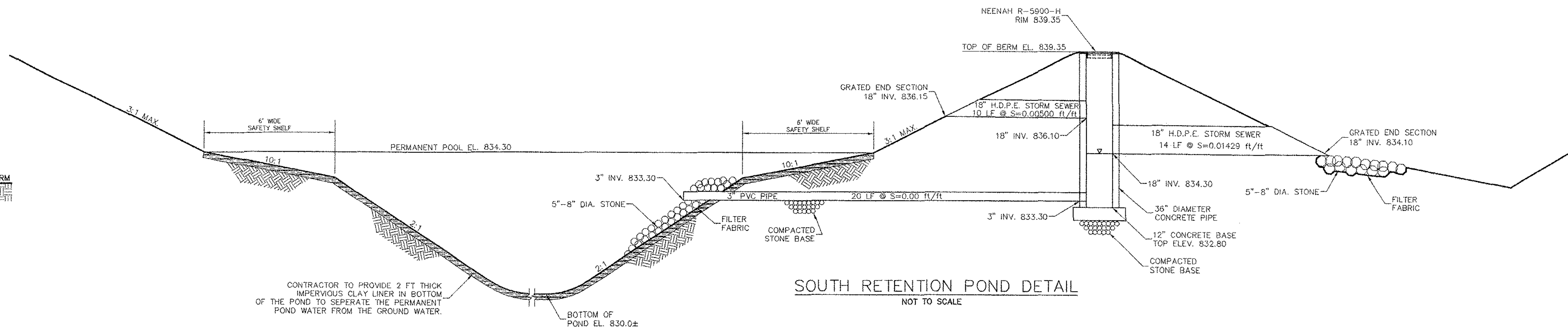
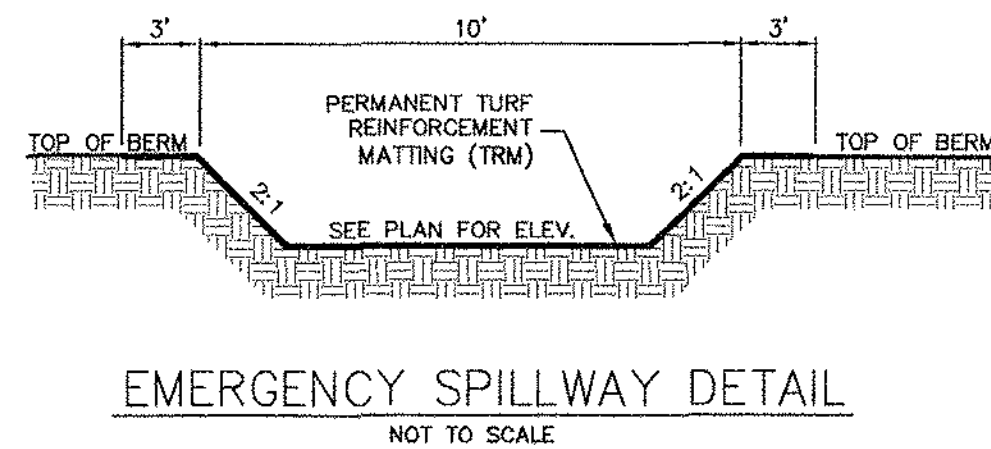
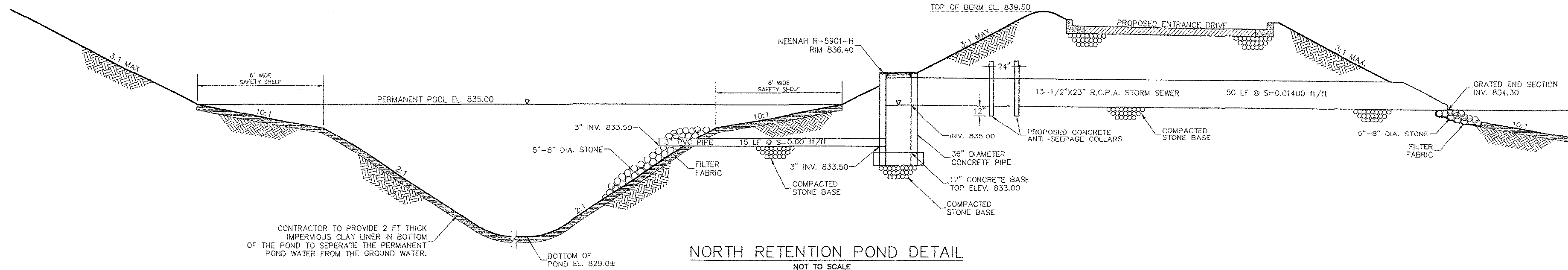
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9722 WATERTOWN PLANK ROAD
BUILDING 545
WAUKESHA, WI 53120
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SITE GRADING & EROSION CONTROL DETAILS
PEWAUKEE CROSSINGS
C.T.H. "F" & C.T.H. "M"
PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

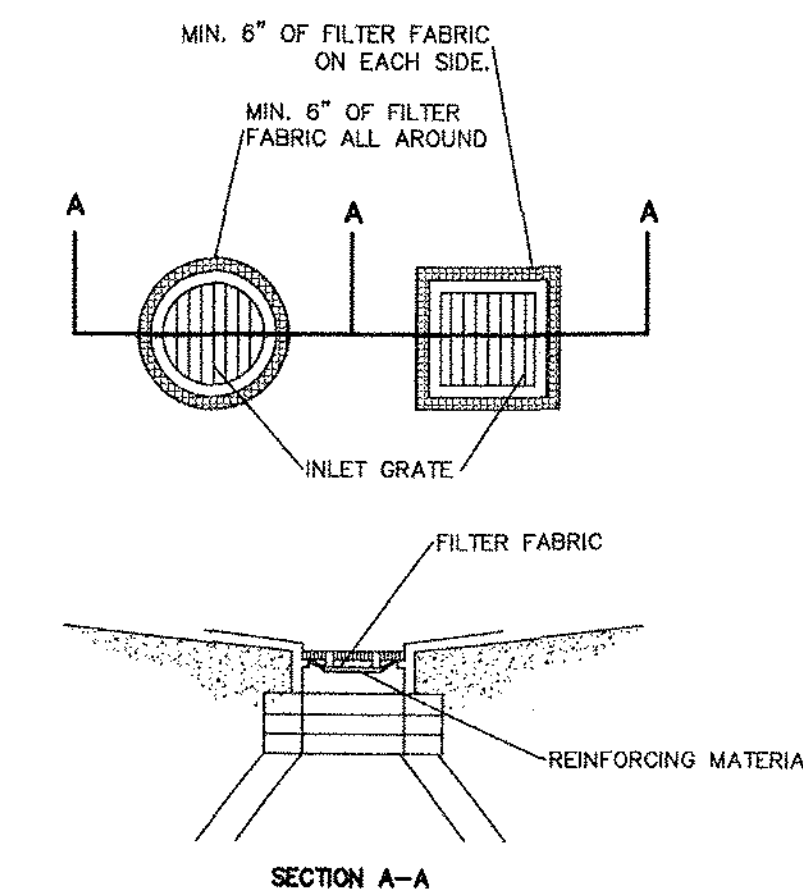
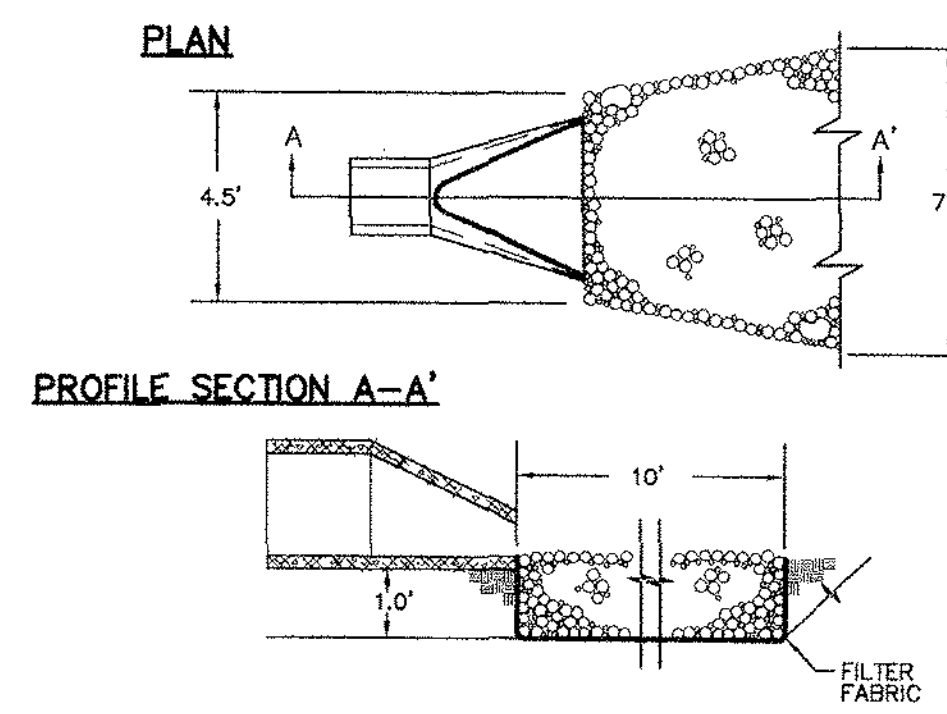
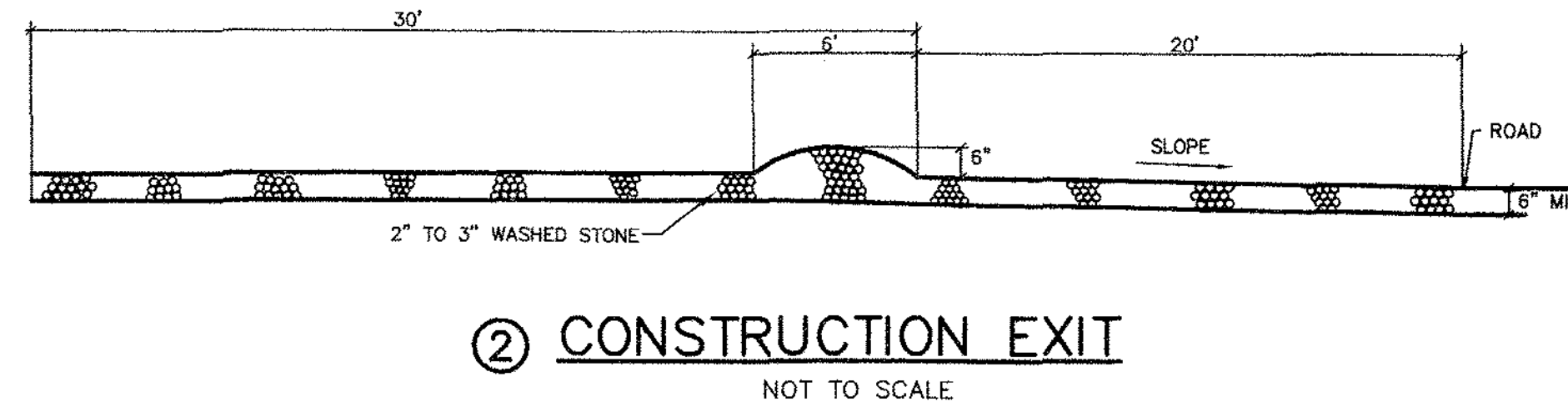
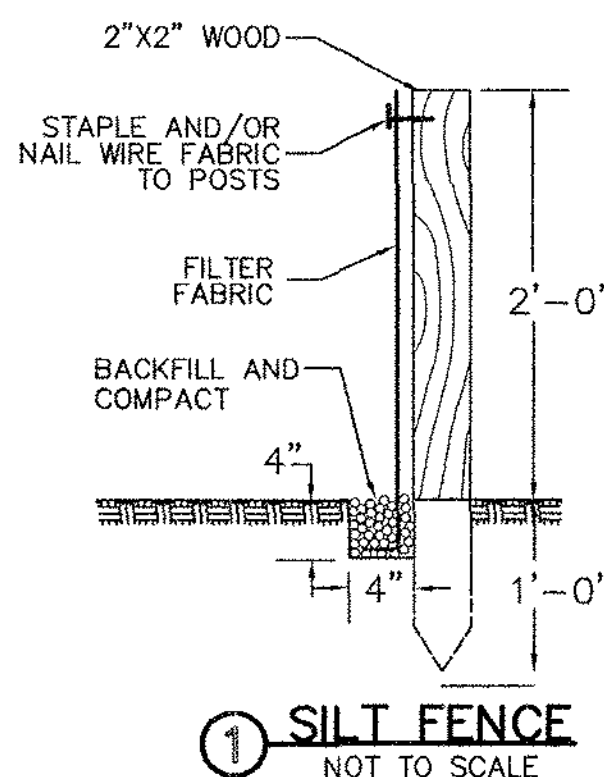
C5.0
SHEET 5 OF 5

X:\CIVIL\2005\C05076\dwg\C05076R12.dwg, Mark Balch



SILT FENCE CONSTRUCTION SPECIFICATIONS

1. CONSTRUCT SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
2. LOCATE POSTS DOWNSLOPE OF FABRIC TO HELP SUPPORT FENCING.
3. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVER LAP TO THE NEXT POST.
4. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 100 LB/LIN. IN. (MINIMUM) - AND WITH A FLOW RATE OF 10 GAL./SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS REACHING A STABILITY OF 90 PERCENT USING TEST METHOD ASTM D-4355.
5. THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4" X 4" TRENCH.
6. THE FILTER FABRIC SHALL BE STAPLED AND/OR NAILED TO THE UPSLOPE SIDE OF THE POSTS, USING AT LEAST 0.5 INCH STAPLES.
7. POST TO BE 2X2" PINE, 3 FEET LONG. THE MAXIMUM SPACING OF POSTS FOR NON-WOVEN SILT FENCE, SHALL BE 3 FEET. (NO SUPPORT CORD IS REQUIRED FOR THE 3 FOOT POST SPACING.) THE MAXIMUM POST SPACING FOR NONWOVEN FABRIC WITH SUPPORT NET AND TOP SUPPORT CORD OR FOR WOVEN FABRIC WITH SUPPORT CORD SHALL BE 8 FEET.

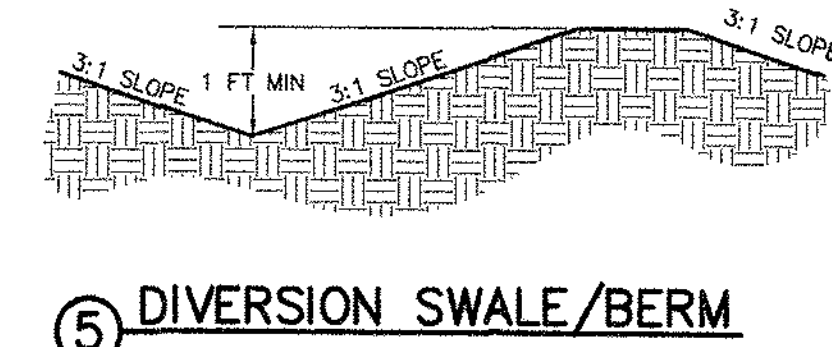
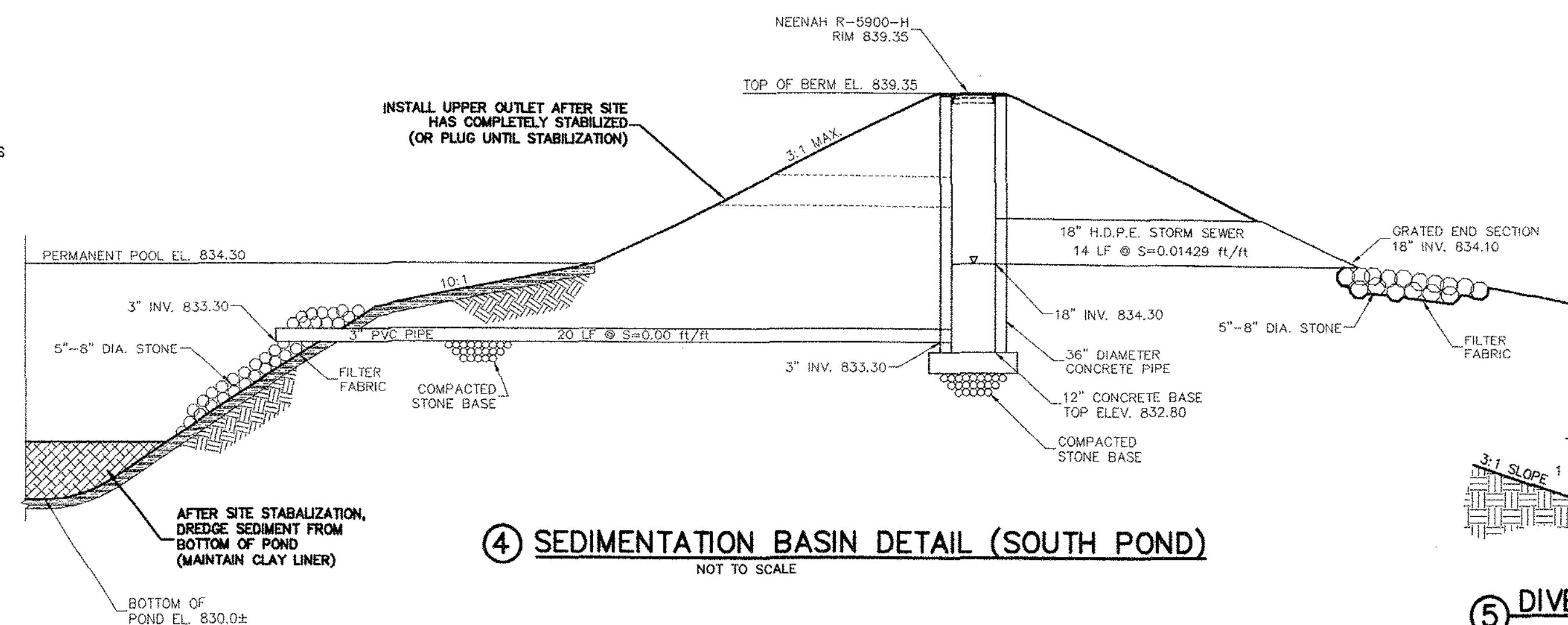
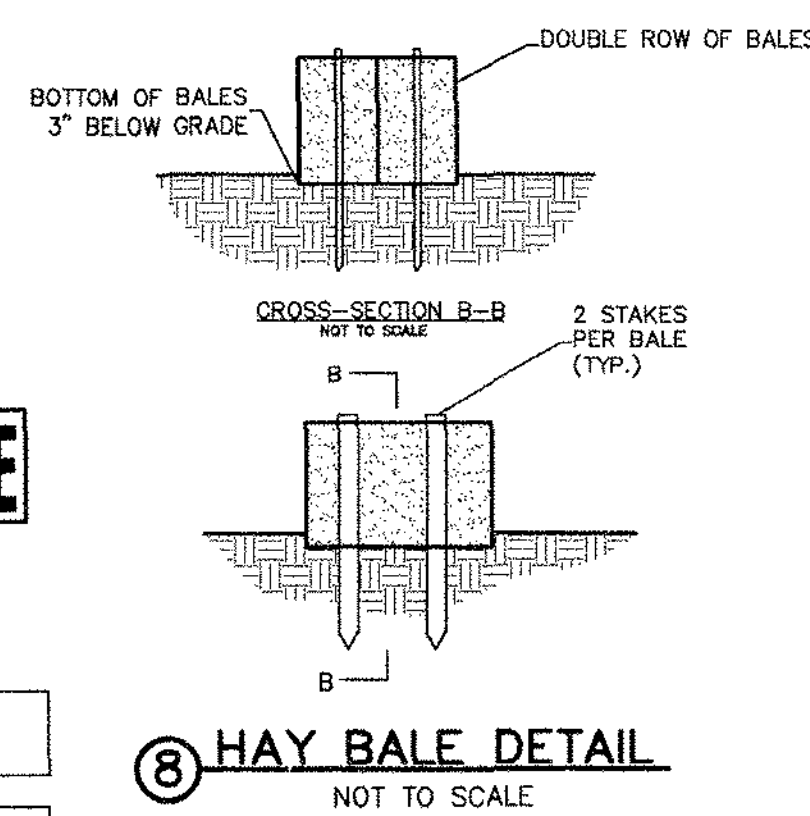


CONSTRUCTION SPECIFICATIONS

1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIPRAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
3. EXERCISE CARE IN RIPRAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
4. PLACE RIPRAP ON ZERO GRADE - TOP OF RIPRAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
5. RIPRAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 6" DIA.
6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

INLET GRATE SCREEN CONSTRUCTION SPECIFICATIONS

1. REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6" BEYOND THE INLET OPENING. A REINFORCING MATERIAL MAY BE REQUIRED TO PREVENT SAGGING.
2. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR AT A DEPTH OF 1". EXTREME CARE SHALL BE TAKEN NOT TO SPILL ACCUMULATED SEDIMENT INTO INLET, WHEN CLEANING OR REPLACING FILTER FABRIC.
3. FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - A. GRAB STRENGTH: 100LBS. (ASTM D-3786)
 - B. MULLEN BURST: 200 PSI (ASTM D-3786)
 - C. EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE, BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - D. WATER FLOW RATE OF 10 GAL./MIN./SQ.FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
 - E. ULTRAVIOLET RADIATION STABILITY OF 90% F. IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT.



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UNDESIGNED CUTOFFS ARE ONLY INFORMATION TO BE USED AS A GUIDE. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE CUTOFF. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE CUTOFF. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE CUTOFF.

Cloud 9 Smoke Shop – Response to Staff Comments

1. Do you have a floor plan designed yet for the tenant space? If so, that should be provided with your submission to Plan Commission.

Response: Yes, we do have a preliminary floor plan for the tenant space. We will include it with our upcoming submission to the Plan Commission.

2. What are your proposed hours of operations?

Response: Our preferred hours are **9:00 AM to 10:00 PM**. However, if staying open past 9:00 PM would require an amendment that could delay the approval process, we're absolutely fine with operating from **8:00 AM to 9:00 PM** instead. We're open to either option—please advise which would be most efficient at this stage.

3. How many employees are anticipated?

Response: We anticipate employing 4 to 5 team members, made up of both full-time and part-time staff to ensure consistent coverage and high-quality customer service throughout all business hours.

Staff responsibilities will include:

- Stocking and organizing inventory
- Cleaning and maintaining store appearance
- Operating the register and handling customer transactions
- Assisting customers with product information and general inquiries

This staffing structure allows us to maintain a clean, organized, and customer-focused environment while ensuring flexible coverage for weekends, sick days, and peak hours.

Employee 1 (Full-Time):

Monday – Friday | 9:00 AM – 4:00 PM

Employee 2 (Full-Time):

Monday – Friday | 4:00 PM – 10:00 PM

Employee 3 (Part-Time):

Saturday & Sunday | 9:00 AM – 4:00 PM

Employee 4 (Part-Time):

Saturday & Sunday | 4:00 PM – 10:00 PM

Employee 5 (Part-Time/Flex): Available as needed for weekend coverage, sick days, and additional support during peak hours or special events.

4. Please confirm there are no beer or liquor sales proposed.

Response: Confirmed! There will be absolutely no beer or liquor sales at Cloud 9. We will only be offering tobacco and related products as permitted.

5. Staff anticipates recommending the following conditions:

5.1 “Applicant shall obtain all other governmental approvals, permits, licenses and the like, required for and applicable to the proposed use and sale of tobacco products, including but not limited to the State of Wisconsin Department of Revenue.”

Response: We fully understand and support this condition. We have already obtained our sales permit through the Wisconsin Department of Revenue, and we have submitted the City of Pewaukee tobacco permit application as part of our Conditional Use materials. If anything additional is needed to complete our approval package, please let us know—we’re eager to make sure everything is properly in order.

Seller’s Permit: 456-1032003553-04

Legal Name: SMOKEEXPRESS LLC

5.2 “Hours of operations shall not extend past 9:00 p.m. without an amendment to this Conditional Use Permit.”

Response: Understood—we accept this condition. If possible, we would like to request an amendment to allow operation until 10:00 PM, but only if this does **not** delay the approval process. If it does, we are happy to proceed with the 9:00 AM to 9:00 PM schedule.

5.3 “This Conditional Use Permit shall be subject to periodic review to ensure ongoing compliance with applicable City, County and State standards and regulations.”

Response: We are completely supportive of this and welcome periodic reviews. We’re committed to staying fully compliant with all regulations.

5.4 “No lighting or promotional displays shall be affixed to or displayed on the exterior surface of windows or affixed to the interior surface of windows if visible from the exterior.”

Response: We understand and will comply with this guideline. The only visible displays we anticipate include modest items such as an “Open” sign and small decals indicating product types (e.g., “Vape,” “CBD,” “Cigars”). We would like to discuss appropriate options for exterior signage visibility, especially since the plaza becomes quite dark in the evenings. If neon signs are not preferred, we’re open to using LED signage with controlled brightness or other city-approved alternatives.

**A COVENANT
REGARDING THE ISSUANCE OF A
CONDITIONAL USE PERMIT
BY THE
CITY OF PEWAUKEE**

**TAX KEY NUMBER(S)
OR PARCEL(S) INVOLVED:** **CONDITIONAL USE
PERMIT:
NO. CUP-25-6-1**

PWC 0958982004

LEGAL DESCRIPTION:

UNIT 1 PEWAUKEE CROSSINGS CONDOMINIUM & UNDIV
INTEREST IN THE COMMON AREAS CREATED UNDER
DECLARATION RECORDED AS DOC #4436009 :: LOCATED IN
LOT 1 CSM #10295 VOL 97/229 PT NW1/4 & SW1/4 OF NW1/4
SEC 24 T7N R19E

**PERSON(S), AGENT(S) OR CORPORATION(S) PETITIONING
FOR PERMIT:**

SmokeXpress LLC/Cloud 9

Recording area

Name & Return Address

City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072

WHEREAS, It is understood by all parties to this covenant that Section 62.23 of WIS. Statutes prescribes the legal basis for the granting of a conditional use permit by a City and Chapter 17 of the City Codes and Ordinances provides for the issuance of such permits as well as the standards by which all such uses will be measured; and,

WHEREAS, The City Plan Commission has held a meeting on June 12, 2025; has reviewed the various elements of the petitioner's proposal; and has recommended that a Conditional Use Permit be granted to the above-named petitioner for the property/parcel identified above; and,

WHEREAS, The City Common Council held a public hearing meeting on July 7, 2025.

NOW, THEREFORE, let it be known that the City Common Council by its action on July 7, 2025 has, hereby, granted a Conditional Use Permit for the following use(s):

Operating a smoke and vape retail store.

FURTHER, such approved use of the above designated parcel(s) are hereby allowed based on the following conditions being continually met:

1. Applicant shall obtain all other governmental approvals, permits, licenses and the like, required for and applicable to the proposed use and sale of tobacco products, including but not limited to the State of Wisconsin Department of Revenue.
2. Hours of operation shall not extend past 10:00pm without an amendment to this Conditional Use Permit.
3. This Conditional Use Permit shall be subject to periodic review to ensure ongoing compliance with applicable City, County and State standards and regulations.
4. Window signage shall be allowed in accordance with Section 340-9.6E. of the Zoning Code. No other lighting, signage, promotional displays, or advertisements shall be affixed to or displayed on the exterior surface of windows or placed within the interior of the store with the intent or for the purpose of being visible through the windows to the exterior of the storefront. All internal lighting, signage, promotional displays, and advertisements must be positioned and directed such that they are not visible through the windows to the exterior.

The parties hereto, namely the City of Pewaukee and the Equitable Owner of the property for which this conditional use has been sought, set their signatures or the signatures of their representatives below, thereby agreeing to the provisions and conditions set forth in this covenant.

Attest:

Signature of equitable owner

Date

Kelly Tarczewski
City Clerk

Steve Bierce
Mayor, City of Pewaukee

Date

State of Wisconsin
County of Waukesha

Signed or attested before me on _____, 2025 by Steve Bierce, Mayor and Kelly Tarczewski, Clerk.

(Seal)

Ami Hurd
My Commission expires _____

This instrument was drafted by Ami Hurd, Deputy Clerk

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STAYING HEALTHY

Cannabidiol (CBD): What we know and what we don't

April 4, 2024

By **Peter Grinspoon, MD**, Contributor; Editorial Advisory Board Member, Harvard Health Publishing



Cannabidiol (CBD) is often covered in the media, and you may see it touted as an add-in booster to your post-workout smoothie or morning coffee. You can even buy a CBD-infused sports bra. But what exactly is CBD? And why is it so popular?

How is cannabidiol different from marijuana, cannabis, and hemp?

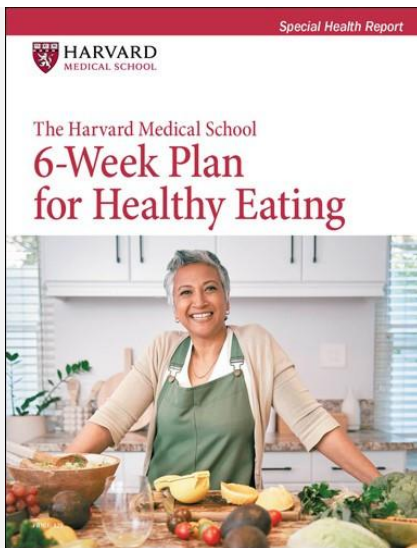
CBD, or cannabidiol, is the second most prevalent active ingredient in cannabis (marijuana). While CBD is an essential component of **medical marijuana**, it is derived directly from the hemp plant, a cousin of marijuana, or manufactured in a laboratory. One of hundreds of components in marijuana, CBD does not cause a high by itself.

According to a report from the World Health Organization, "In humans, CBD exhibits no effects indicative of any abuse or dependence potential.... To date, there is no evidence of public health related problems associated with the use of pure CBD." A recent **study** in the journal *Neuropsychopharmacology* concluded that "acute CBD alone is unlikely to significantly impair daily functioning or workplace performance."

Is cannabidiol legal?

CBD is readily obtainable in most parts of the United States, though its exact legal status has been in flux. All 50 states have laws legalizing CBD with varying degrees of restriction. In December 2015, the FDA eased the regulatory requirements to allow researchers to conduct CBD trials. In 2018, the Farm Bill made hemp legal in the United States, making it virtually impossible to keep CBD illegal — that would be like making oranges legal, but keeping orange juice illegal.

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The Farm Bill removed all hemp-derived products, including CBD, from the Controlled Substances Act, which criminalizes the possession of drugs. In essence, this means that CBD is legal if it comes from hemp, but not if it comes from cannabis (marijuana) – even though it is the exact same molecule. Currently, many people obtain CBD online without a medical marijuana license, which is legal in most states.

The evidence for cannabidiol health benefits

CBD has been touted for a wide variety of health issues, but the strongest scientific evidence is for its effectiveness in treating some of the cruelest childhood epilepsy syndromes, such as Dravet syndrome and Lennox-Gastaut syndrome (LGS), which typically don't respond well to antiseizure medications. In numerous studies, CBD was able to reduce the number of seizures, and, in some cases, stop them altogether. Epidiolex, which primarily consists of CBD, is the **first cannabis-derived medicine** approved by the FDA for these conditions.

Animal studies, and self-reports or research in humans, suggest CBD may also help with:

- **Anxiety**: Studies and clinical trials are exploring the common report that CBD can reduce anxiety.

- **Insomnia:** Studies suggest that CBD may help with both falling asleep and staying asleep, in part by helping address chronic pain and anxiety.
- **Chronic pain:** Increasingly, human studies are substantiating the claims that CBD helps control pain. One animal study from the *European Journal of Pain* suggests CBD could help lower pain and **inflammation** due to **arthritis** when applied to skin. Other research identifies how CBD may inhibit inflammatory and neuropathic pain, which are difficult to treat.
- **Addiction:** CBD can help lower cravings for tobacco and heroin under certain conditions, according to some research in humans. Animal models of addiction suggest it may also help lessen cravings for other addictive substances such as alcohol, cannabis, opiates, and stimulants.

Is CBD safe?

Side effects of CBD could include nausea, fatigue, and irritability. CBD can increase the level of blood thinning and other medicines in your blood by competing for the liver enzymes that break down these drugs. Grapefruit has a similar effect with certain medicines. This interaction is particularly important if you are taking a blood thinner, an anti-epileptic, or an immunosuppressant medication, all of which need to have stable levels in your blood.

People taking high doses of CBD may show abnormalities in liver-related blood tests. Many nonprescription drugs, such as acetaminophen (Tylenol), have this same effect. You should let your doctor know if you are regularly using CBD so that he or she can check your liver enzymes periodically.

A significant safety concern with CBD is that it is primarily marketed and sold as a supplement, not a medication. Currently, the FDA does not regulate the safety and purity of dietary supplements, and no one, really, is regulating the CBD market. So you cannot be sure that the product you buy has **active ingredients at the dose listed on the label**.

In addition, the product may contain other unknown elements. If you buy CBD, it is safest to make sure that there is independent laboratory testing as attested to by a COA (certificate of analysis) that should accompany every CBD product.

How can CBD be taken?

CBD comes in many forms, including oils, tinctures, capsules, patches, vapes, and topical preparations for use on skin. If you're hoping to reduce inflammation and relieve muscle and joint pain, a topical CBD-infused oil, lotion or cream — or even a bath bomb — may be the best option. Alternatively, a CBD patch or a tincture or spray designed to be placed under the tongue allows CBD to directly enter the bloodstream. Doctors don't recommend smoking anything, including CBD.

Outside of the US, the prescription drug Sativex, which uses CBD as an active ingredient, is approved for muscle spasticity associated with multiple sclerosis and for cancer pain. Within the US, Epidiolex is approved for certain types of epilepsy and tuberous sclerosis.

The bottom line on cannabidiol

Some CBD manufacturers have come under government scrutiny for wild, indefensible claims — such as that CBD is a cure-all for cancer or [COVID-19](#), which it is not. We need more research, but CBD is proving to be a helpful, relatively nontoxic option for managing anxiety, insomnia, and chronic pain. Without sufficient high-quality evidence in human studies, we can't pinpoint effective doses, and because CBD currently is typically available as an unregulated supplement, it can be difficult to know exactly what you are getting, or to conduct studies.

If you decide to try CBD, make sure you are getting it from a reputable source. Again, please discuss your use of CBD or any other supplements with your doctor to make sure that it won't affect any other medicines you take.

About the Author



Peter Grinspoon, MD, Contributor; Editorial Advisory Board Member, Harvard Health Publishing

Dr. Peter Grinspoon is a primary care physician, educator, and cannabis specialist at Massachusetts General Hospital; an instructor at Harvard Medical School; and a certified health and wellness coach. He is the author of *Seeing Through the ...* [See Full Bio](#)

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Medical cannabis is available in more delivery methods than ever before, such as gummy bears, dried flowers, pills, lotions, drops and a variety of edibles, *but what exactly does it do?*

With so much misinformation and junk-science on the internet, it is important to get solid facts from doctors and scientists you can trust before deciding if medical marijuana could help you.

Now leading experts at Harvard Medical School are here to help you separate fact from frightening fiction about medical cannabis so you can make informed decisions. There are benefits for some conditions, and no benefit for others. And, while there is a lot of positive talk about cannabis, there are risks—especially if you're over 55.

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Project Title:	CTH F, IH 94 to Duplainville Road	Project #:	202503
Department:	Public Works - Highways	Project Type:	Priority Corridor
Phase:	Formation	Road Name:	Redford Blvd
Budget Action:	As Planned	Manager:	Allison Bussler, DPW Director
Date:	April 13, 2025	Map / Image:	Click Here

CAPITAL BUDGET SUMMARY						
Year	2027	2028	2029	2030	2031	Total
Project Phase	Design		Land Acq	Construction		Project
Expenditure Budget	\$461,600	\$0	\$900,000	\$4,252,000		\$5,613,600
Revenue Budget	\$0	\$0	\$720,000	\$0	\$0	\$720,000
Net Costs After Revenues Applied	\$461,600	\$0	\$180,000	\$4,252,000	\$0	\$4,893,600
COST DOCUMENTATION			REVENUE			
Design	\$2,208,000		Federal STP-M Design			\$1,846,400
WisDOT Design Review	\$100,000		Federal STP-M Real Estate			\$720,000
Land Acquisition	\$900,000		Federal STP-M Construction			\$17,008,000
Construction	\$18,400,000		(All Anticipated)			
Construction Management	\$1,840,000					
WisDOT Construction Review	\$100,000					
Contingency	\$920,000					
Total Project Cost	\$24,468,000		Total Revenue			\$19,574,400
EXPENDITURE BUDGET	\$5,613,600		REVENUE BUDGET			\$720,000

Project Scope & Description

The 1.2-mile project involves the reconstruction of the 6-lane segment of CTH F to bring it up to current standards. Improvements will include replacing the existing concrete pavement and reconfiguring intersections to improve safety. The project will be built under staged construction to maintain traffic flow and business access. The county will apply for federal STP funding for design, real estate, and construction in 2026.

DPW will work with PLU to investigate off-street bike/pedestrian opportunities to connect the Fox River Trail between Frame Park and the new connection between Watertown Road and Brookfield Road.

WisDOT is planning for a major reconfiguration of the CTH F interchange at IH 94. DPW will work with WisDOT to coordinate project scope and schedule to minimize traffic and business impacts.

Location

City of Pewaukee.

Analysis of Need

The existing concrete pavement was built in 1988 and is in poor condition. The concrete pavement was rehabilitated with diamond grinding and dowel bar retrofitting in 2014. Transverse and longitudinal joints are showing signs of advanced deterioration. The concrete pavement will be at the end of its useful life in 2032 and will need to be replaced. CTH F is a 6-lane highway in the project segment, and it carries over 35,000 vehicles per day. CTH F traffic includes over 10% trucks. The 5-year crash rate is 332 per 100 million vehicle miles traveled and almost 4x the statewide average. Fatal and serious crash rate on the project segment is 2.3x the statewide average.

Alternatives

Attempt further rehabilitation. This alternative is not recommended because it is not considered cost-effective due to the poor condition of the existing concrete pavement and the high cost of traffic control needed to maintain traffic for this roadway.

Ongoing Operating Costs

Operating costs are not expected to change.

Previous Action

Approved as a new project in the 2025-2029 capital plan.

RESOLUTION 25-08-23**RESOLUTION IN SUPPORT OF WAUKESHA COUNTY FOR THE PAVEMENT REPLACEMENT, INTERSECTION IMPROVEMENTS, AND BIKE/PEDESTRIAN ACCOMMODATIONS ON CTH F (REDFORD BOULEVARD) BETWEEN INTERSTATE HIGHWAY 94 AND DUPLAINVILLE ROAD**

WHEREAS, CTH F (Redford Boulevard) has regional significance; and

WHEREAS, Waukesha County has a Capital Project (#202503) on CTH F (Redford Boulevard) between IH 94 and Duplainville Road; and

WHEREAS, Waukesha County has scoped a project reconstructing the 6-lane segment to current standards, improving intersections for safety and investigating off-street bike/pedestrian opportunities; and

WHEREAS, CTH F (Redford Boulevard) between IH 94 and Duplainville Road carries over 35,000 vehicles per day; and

WHEREAS, CTH F (Redford Boulevard) between IH 94 and Duplainville Road has a 5-year crash rate of 332 per 100 million vehicle miles traveled which is almost four times the statewide average and fatal/serious injury crash rate two point three times higher than the statewide average; and

WHEREAS, the number of heavy trucks in the traffic stream negatively affects traffic operations and safety and CTH F (Redford Boulevard) between IH 94 and Duplainville Road has an average daily heavy truck percentage of over 10%; and

WHEREAS, Waukesha County has selected reconstruction of the traffic as the locally preferred improvement alternative for the CTH F (Redford Boulevard) Capital Project (#202503); and

WHEREAS, Waukesha County is seeking federal Surface Transportation Program (STP) funding for design, real estate, and construction in 2026; and

WHEREAS, Wisconsin Department of Transportation is planning a major reconfiguration of CTH F interchange at IH 94 which is expected to include bike/pedestrian accommodations to connect the Fox River Trail between Frame Park and the connection on Watertown Road.

NOW, THEREFORE, BE IT HEREBY RESOLVED: That the Common Council of the City of Pewaukee is in full support of the County's reconstruction, safety improvements, and bike/pedestrian accommodations of CTH F (Redford Boulevard).

BE IT FURTHER RESOLVED that the Common Council supports the County's application for federal Surface Transportation Program (STP) funding for design, real estate, and construction.

SEVERABILITY

The several sections of this Resolution shall be declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Resolution.

ADOPTED THIS 18th Day of August 2025.

CITY OF PEWAUKEE

Steve Bierce, Mayor

ATTEST:

Kelly M. Tarczewski, Clerk/Treasurer

Project Title:	CTH F, W. Moreland Blvd to IH 94	Project #:	202504
Department:	Public Works - Highways	Project Type:	Priority Corridor
Phase:	Formation	Road Name:	Redford Blvd
Budget Action:	As Planned	Manager:	Allison Bussler, DPW Director
Date:	April 13, 2025	Map / Image:	Click Here

CAPITAL BUDGET SUMMARY						
Year	2027	2028	2029	2030	2031	Total
Project Phase	Design		Land Acq		Construction	Project
Expenditure Budget	\$525,200	\$0	\$1,326,000	\$0	\$4,861,500	\$6,712,700
Revenue Budget	\$0	\$0	\$1,060,800	\$0	\$0	\$1,060,800
Net Costs After Revenues Applied	\$525,200	\$0	\$265,200	\$0	\$4,861,500	\$5,651,900
COST DOCUMENTATION			REVENUE			
Design		\$2,526,000	Federal STP-M Design			\$2,100,800
WisDOT Design Review		\$100,000	Federal STP-M Real Estate			\$1,060,800
Land Acquisition		\$1,326,000	Federal STP-M Construction			\$19,446,000
Construction		\$21,050,000	(All Anticipated)			
Construction Management		\$2,105,000				
WisDOT Construction Review		\$100,000				
Contingency		\$1,052,500				
Total Project Cost		\$28,259,500	Total Revenue			\$22,607,600
EXPENDITURE BUDGET		\$6,712,700	REVENUE BUDGET			\$1,060,800

Project Scope & Description

The 1.5-mile project involves the reconstruction of CTH F to bring it up to current standards. Improvements will include replacing the existing asphalt and rubblized concrete pavement base, improving the roadway cross section and reconfiguring intersections to improve safety. The project will be built under staged construction to maintain traffic flow and business access. The county will apply for federal STP funding for design, real estate, and construction in 2026.

DPW will work with PLU to investigate off-street bike/pedestrian opportunities to connect the Fox River Trail between Frame Park and the new connection between Watertown Road and Brookfield Road.

SEWRPC's Vision 2050 Plan recommends a jurisdictional change on the 1600-foot segment of Redford Blvd between W. Moreland Blvd and CTH F. DPW will work with the City of Waukesha to determine if a 1600-foot extension of CTH F to W. Moreland Blvd is beneficial and work with the city to include this portion of Redford Blvd into the project to maintain a consistently improved roadway cross section.

WisDOT is planning for a major reconfiguration of the CTH F interchange at IH 94. DPW will work with WisDOT to coordinate project scope and schedule to minimize traffic and business impacts.

Location

City of Pewaukee and City of Waukesha.

Analysis of Need

The original concrete pavement was built in 1978 and was rubblized and overlaid with asphalt surface in 2004. The pavement is in poor condition. Transverse and longitudinal joints are showing signs of advanced deterioration. The existing pavement segment will be at the end of its useful life in 2032 and will need to be replaced. CTH F is a 4-lane highway in the project segment, and it carries over 22,000 vehicles per day. The project segment is a major truck route serving as a critical connection between aggregate sources and IH 94. The 5-year crash rate is 159 per 100 million vehicle miles traveled and almost 2x the statewide average. Fatal and serious crash rate on the project segment is 1.8x the statewide average.

Alternatives

Attempt further rehabilitation. This alternative is not recommended because it is not considered cost-effective due to the poor condition of the existing rubblized concrete pavement and asphalt surface, and the high cost of traffic control needed to maintain traffic for this roadway.

Ongoing Operating Costs

Operating costs are not expected to change.

Previous Action

Approved as a new project in the 2025-2029 capital plan.

RESOLUTION 25-08-24**RESOLUTION IN SUPPORT OF WAUKESHA COUNTY FOR THE PAVEMENT REPLACEMENT, INTERSECTION IMPROVEMENTS, AND BIKE/PEDESTRIAN ACCOMMODATIONS ON CTH F (REDFORD BOULEVARD) BETWEEN INTERSTATE HIGHWAY 94 AND MORELAND BOULEVARD**

WHEREAS, CTH F (Redford Boulevard) has regional significance; and

WHEREAS, Waukesha County has a Capital Project (#202504) on CTH F (Redford Boulevard) between IH 94 and Moreland Boulevard; and

WHEREAS, Waukesha County has scoped a project reconstructing the 4-lane segment to current standards, improving intersections for safety and investigating off-street bike/pedestrian opportunities; and

WHEREAS, CTH F (Redford Boulevard) between IH 94 and Moreland Boulevard carries over 22,000 vehicles per day; and

WHEREAS, CTH F (Redford Boulevard) between IH 94 and Moreland Boulevard has a 5-year crash rate of 159 per 100 million vehicle miles traveled which is almost two times the statewide average and fatal/serious injury crash rate one point eight times higher than the statewide average; and

WHEREAS, CTH F (Redford Boulevard) between IH 94 and Moreland Boulevard is a major truck route serving as a critical connection between aggregate sources and IH 94; and

WHEREAS, Waukesha County has selected reconstruction of the traffic as the locally preferred improvement alternative for the CTH F (Redford Boulevard) Capital Project (#202503); and

WHEREAS, Waukesha County is seeking federal Surface Transportation Program (STP) funding for design, real estate, and construction in 2026; and

WHEREAS, Wisconsin Department of Transportation is planning a major reconfiguration of CTH F interchange at IH 94 which is expected to include bike/pedestrian accommodations to connect the Fox River Trail between Frame Park and the connection on Watertown Road.

NOW, THEREFORE, BE IT HEREBY RESOLVED: That the Common Council of the City of Pewaukee is in full support of the County's reconstruction, safety improvements, and bike/pedestrian accommodations of CTH F (Redford Boulevard).

BE IT FURTHER RESOLVED that the Common Council supports the County's application for federal Surface Transportation Program (STP) funding for design, real estate, and construction.

SEVERABILITY

The several sections of this Resolution shall be declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Resolution.

ADOPTED THIS 18th Day of August 2025.

CITY OF PEWAUKEE

Steve Bierce, Mayor

ATTEST:

Kelly M. Tarczewski, Clerk/Treasurer

RESOLUTION 25-08-25
RESOLUTION FOR THE DESIGNATION OF A QUIET ZONE AT THE CN
RAILROAD CROSSING AT WEYER ROAD (692244T)

WHEREAS, The Common Council of the City of Pewaukee has determined to pursue a designation of Quiet Zone for the railroad crossing located at Weyer Road (crossing number 692244T); and

WHEREAS, the improvements providing the safety features that make the quiet zone attainable will be constructed and paid for by the City of Pewaukee, and

WHEREAS, the City has gathered all pertinent application information for submission to the State and Federal authorities to designate the crossing to be a quiet zone, and

WHEREAS, as part of the submission materials, the City of Pewaukee, being the public agency in which the railroad crossing is located, must indicate cooperation with the request put forth, and

WHEREAS, the City of Pewaukee must, in accordance with 49 CFR 222.43(a)(1), provide a Notice of Intent for installation for a Quiet Zone to all railroads operating over the highway-rail grade crossings within the quiet zone, the State agency responsible for highway and road safety; and the State agency responsible for grade crossing safety,

NOW, THEREFORE, BE IT HEREBY RESOLVED: That the Common Council of the City of Pewaukee is in full support of the designation of a quiet zone for the CN Railroad crossing on Weyer Road.

BE IT FURTHER RESOLVED that the Common Council directs the Director of Public Works to sign any application documents and City Staff is directed to prepare and send out the required Notice of Intent and submit application materials necessary to complete the designation process to the proper agencies.

SEVERABILITY

The several sections of this Resolution shall be declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Resolution.

ADOPTED THIS 18th Day of August, 2025.

CITY OF PEWAUKEE

Steve Bierce, Mayor

ATTEST:

Kelly M. Tarczewski, Clerk/Treasurer

RESOLUTION 25-08-26
RESOLUTION FOR THE DESIGNATION OF A QUIET ZONE AT THE CN
RAILROAD CROSSING AT WATERTOWN ROAD (692232Y)

WHEREAS, The Common Council of the City of Pewaukee has determined to pursue a designation of Quiet Zone for the railroad crossing located at Watertown Road (crossing number 692232Y); and

WHEREAS, the improvements providing the safety features that make the quiet zone attainable will be constructed and paid for by the City of Pewaukee with permission from Waukesha County, and

WHEREAS, the City has gathered all pertinent application information for submission to the State and Federal authorities to designate the crossing to be a quiet zone, and

WHEREAS, as part of the submission materials, the City of Pewaukee, being the public agency in which the railroad crossing is located, must indicate cooperation with the request put forth, and

WHEREAS, the City of Pewaukee must, in accordance with 49 CFR 222.43(a)(1), provide a Notice of Intent for installation for a Quiet Zone to all railroads operating over the highway-rail grade crossings within the quiet zone, the State agency responsible for highway and road safety; and the State agency responsible for grade crossing safety,

NOW, THEREFORE, BE IT HEREBY RESOLVED: That the Common Council of the City of Pewaukee is in full support of the designation of a quiet zone for the CN Railroad crossing on Watertown Road.

BE IT FURTHER RESOLVED that the Common Council directs the Director of Public Works to sign any application documents and City Staff is directed to prepare and send out the required Notice of Intent and submit application materials necessary to complete the designation process to the proper agencies.

SEVERABILITY

The several sections of this Resolution shall be declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Resolution.

ADOPTED THIS 18th Day of August, 2025.

CITY OF PEWAUKEE

Steve Bierce, Mayor

ATTEST:

Kelly M. Tarczewski, Clerk/Treasurer

RESOLUTION 25-08-27
RESOLUTION FOR THE DESIGNATION OF A QUIET ZONE AT THE CN
RAILROAD CROSSING AT GREEN ROAD (692237H)

WHEREAS, The Common Council of the City of Pewaukee has determined to pursue a designation of Quiet Zone for the railroad crossing located at Green Road (crossing number 692237H); and

WHEREAS, the improvements providing the safety features that make the quiet zone attainable will be constructed and paid for by the City of Pewaukee, and

WHEREAS, the City has gathered all pertinent application information for submission to the State and Federal authorities to designate the crossing to be a quiet zone, and

WHEREAS, as part of the submission materials, the City of Pewaukee, being the public agency in which the railroad crossing is located, must indicate cooperation with the request put forth, and

WHEREAS, the City of Pewaukee must, in accordance with 49 CFR 222.43(a)(1), provide a Notice of Intent for installation for a Quiet Zone to all railroads operating over the highway-rail grade crossings within the quiet zone, the State agency responsible for highway and road safety; and the State agency responsible for grade crossing safety,

NOW, THEREFORE, BE IT HEREBY RESOLVED: That the Common Council of the City of Pewaukee is in full support of the designation of a quiet zone for the CN Railroad crossing on Green Road.

BE IT FURTHER RESOLVED that the Common Council directs the Director of Public Works to sign any application documents and City Staff is directed to prepare and send out the required Notice of Intent and submit application materials necessary to complete the designation process to the proper agencies.

SEVERABILITY

The several sections of this Resolution shall be declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the other provisions of the Resolution.

ADOPTED THIS 18th Day of August, 2025.

CITY OF PEWAUKEE

Steve Bierce, Mayor

ATTEST:

Kelly M. Tarczewski, Clerk/Treasurer