



Office of the Clerk/Treasurer
W239 N2242 Pewaukee Road
Waukesha WI 53188
Phone: 262-691-0770

**COMMON COUNCIL
MEETING NOTICE AND AGENDA
Monday, July 7, 2025
6:30 PM**

Pewaukee City Hall Common Council Chambers
W240N3065 Pewaukee Road, Pewaukee, WI

1. Call to Order and Pledge of Allegiance
2. Public Comment - Please limit your comments to two minutes. If further time for discussion is needed, please contact your District Alderperson prior to the meeting.
3. Consent Agenda
 - 3.1 Approve the Accounts Payable Listing Dated July 7, 2025
4. Plan Commission - Conditional Use Permit [Fuchs]
 - 4.1 **PUBLIC HEARING**, Discussion and Possible Action Regarding a Conditional Use Permit for the Purpose of Operating a Retail Tobacco and Vape Shop Located at N20 W22951 Watertown Road, Suite 105 (PWC 0958-982-004) as Requested by Smokeexpress LLC / Cloud 9
5. Plan Commission - Certified Survey Maps [Fuchs]
 - 5.1 Discussion and Possible Action Regarding a Certified Survey Map to Create a 5-Acre Parcel Containing the Existing Farmhouse, Barns and Outbuildings for the Winkleman Farm Property Located at N47 W26699 Lynndale Road (PWC 0882-999) as Requested by Brian and Kevin Kazmierczak
6. Engineering
 - 6.1 Discussion and Possible Action to Approve an Intergovernmental Agreement and Cost Share with the City of Brookfield for the Shared Quiet Zone Improvements for Springdale Road (CTH SR) [Wagner]
7. Public Comment - Please limit your comments to two minutes. If further time for discussion is needed, please contact your District Alderperson prior to the meeting.
8. Adjournment

Kelly Tarczewski
Clerk/Treasurer
July 3, 2025

NOTICE

It is possible that members of other governmental bodies of the municipality may be in attendance to gather information that may form a quorum at the above stated meeting. No action will be taken by any governmental body other than the governmental body specifically referred to above in this notice.

Any person who has a qualifying disability under the Americans with Disabilities Act that requires the meeting or materials at the meeting to be in an accessible format must contact the Clerk/Treasurer, Kelly Tarczewski, at (262) 691-0770 three business days prior to the meeting so that arrangements may be made to accommodate your request.

07/01/2025 10:46 AM
User: FIORENTINO
DB: City Of Pewaukee

CHECK DISBURSEMENT REPORT FOR PEWAUKEE
CHECK DATE FROM 06/13/2025 - 07/01/2025

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
06/18/2025	400	143258*#	A&M CLEANING SOLUTIONS	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	1,020.00
				HIGHWAY - CONTRACTED JANITORIAL	52400	53100	906.66
				CHECK 400 143258 TOTAL FOR FUND 100:			1,926.66
06/18/2025	400	143259	AIR ONE EQUIPMENT	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	106.75
06/18/2025	400	143260	AIRGAS USA	FIRE PROTECTIVE SERVICES - EMS	53450	52230	187.53
				FIRE PROTECTIVE SERVICES - EMS	53450	52230	315.06
				FIRE PROTECTIVE SERVICES - EMS	53450	52230	68.01
				CHECK 400 143260 TOTAL FOR FUND 100:			570.60
06/18/2025	400	143261*#	ALL-WAYS CONTRACTORS, INC	HIGHWAY - GROUNDS MAINTENANCE	52420	53100	60.00
06/18/2025	400	143262	ASSOCIATED BAG COMPANY	PARKS - BUILDING REPAIRS & MAINT	52410	55200	313.40
				PARKS - GROUNDS MAINTENANCE	52420	55200	700.00
				CHECK 400 143262 TOTAL FOR FUND 100:			1,013.40
06/18/2025	400	143263	BATTERIES PLUS LLC	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	158.95
06/18/2025	400	143264	BUMPER TO BUMPER	HIGHWAY - OPERATING SUPPLIES	53400	53100	130.18
06/18/2025	400	143269	DIVERSIFIED BENEFIT SERVICES, INC.	INSURANCE CONSULTANT	52150	51930	211.60
06/18/2025	400	143270	EHLERS	MISCELLANEOUS REVENUES	48900	00000	6,500.00
06/18/2025	400	143271*#	ELLIOTTS ACE HARDWARE	PARKS - EQUIP REPAIR & MAINT	52430	55200	73.98
				PARKS - NEW EQUIPMENT	53950	55200	20.58
				CHECK 400 143271 TOTAL FOR FUND 100:			94.56
06/18/2025	400	143273	FIRE SERVICE INC	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	311.78
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	312.73
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	327.95
				CHECK 400 143273 TOTAL FOR FUND 100:			952.46
06/18/2025	400	143274	FLEMING'S FIRE 1, INC	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	71.73
				FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	146.79
				FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	134.28
				FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	84.24
				CHECK 400 143274 TOTAL FOR FUND 100:			437.04

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
06/18/2025	400	143275#	FORWARD TS	BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	33.00
				RECREATION PROGRAM - OPERATING SUPPLIES	53400	55300	283.58
				CHECK 400 143275 TOTAL FOR FUND 100:			316.58
06/18/2025	400	143276	FROGGY'S FOG LLC	FIRE PROTECTIVE SERVICES - TRAINING	52980	52230	69.98
06/18/2025	400	143277	GRAINGER	HIGHWAY - OPERATING SUPPLIES	53400	53100	32.71
06/18/2025	400	143280	HAZEL NAKATSUJI	PARK RECREATION PROGRAMS	46721	00000	43.00
06/18/2025	400	143281	HINKLEY SPRINGS	FIRE ADMINISTRATION - OPERATING	53400	52210	298.24
06/18/2025	400	143282	JK POWER SYSTEMS	BUILDING SERVICES DUE TO VILLAGE	24400	00000	200.00
06/18/2025	400	143283#	JOHNS DISPOSAL SERVICE	MISCELLANEOUS REVENUES	48900	00000	327.50
				RECYCLE - GARBAGE COLLECTION	52800	53620	19,874.35
				CHECK 400 143283 TOTAL FOR FUND 100:			20,201.85
06/18/2025	400	143284	JOHNSON'S NURSERY	SERVICE FEES	52900	53635	1,504.80
06/18/2025	400	143285	JX ENTERPRISES, INC.	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	269.94
				HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	(201.96)
				CHECK 400 143285 TOTAL FOR FUND 100:			67.98
06/18/2025	400	143286	KAESTNER AUTO ELECTRIC CO.	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	10.18
06/18/2025	400	143287#	KMB ELECTRIC	CITY HALL - EQUIP REPAIR & MAINT	52430	51600	2,852.46
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	926.12
				CHECK 400 143287 TOTAL FOR FUND 100:			3,778.58
06/18/2025	400	143288	KWIK TRIP INC.	FIRE PROTECTIVE SERVICES - FUEL	53420	52230	5,626.17
				FIRE PROTECTIVE SERVICES - FUEL	53420	52230	6,738.93
				CHECK 400 143288 TOTAL FOR FUND 100:			12,365.10
06/18/2025	400	143289	LAKELAND SUPPLY, INC.	PARKS - BUILDING REPAIRS & MAINT	52410	55200	988.19
06/18/2025	400	143290	LIFE-ASSIST INC	FIRE PROTECTIVE SERVICES - EMS	53450	52230	637.55
				FIRE PROTECTIVE SERVICES - EMS	53450	52230	1,008.73
				CHECK 400 143290 TOTAL FOR FUND 100:			1,646.28
06/18/2025	400	143291	MADISON HARTMANN	RECREATION PROGRAM - LEADERS WAGES	51210	55300	44.07

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Fund: 100 GENERAL FUND							
06/18/2025	400	143292*#	MENARDS	FIRE ADMINISTRATION - OPERATING	53400	52210	56.97
				FIRE ADMINISTRATION - OPERATING	53400	52210	37.02
				FIRE ADMINISTRATION - NEW EQUIPMENT	53950	52210	399.90
				HIGHWAY - GROUNDS MAINTENANCE	52420	53100	59.98
				ENGINEERING - OPERATING SUPPLIES	53400	53110	4.99
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	5.62
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	28.45
				PARKS - GROUNDS MAINTENANCE	52420	55200	16.61
				PARKS - GROUNDS MAINTENANCE	52420	55200	22.36
				PARKS - EQUIP REPAIR & MAINT	52430	55200	43.48
				CHECK 400 143292 TOTAL FOR FUND 100:			675.38
06/18/2025	400	143293	MILLER-BRADFORD & RISBERG, INC	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	5,072.96
06/18/2025	400	143294	MOTION & CONTROL ENTERPRISES LLC	HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	29.30
				HIGHWAY - EQUIP REPAIR & MAINT	52430	53100	11.67
				CHECK 400 143294 TOTAL FOR FUND 100:			40.97
06/18/2025	400	143296	NORA SACKRISON	RECREATION PROGRAM - LEADERS WAGES	51210	55300	66.03
06/18/2025	400	143297	PARKING LOT MAINTENANCE	HIGHWAY - CRACK FILLING	52310	53100	16,650.00
06/18/2025	400	143298*#	RUEKERT & MIELKE, INC.	ENGINEERING - OUTSIDE ENGINEERING	52190	53110	999.00
				ENGINEERING - OUTSIDE ENGINEERING	52190	53110	6,494.00
				CHECK 400 143298 TOTAL FOR FUND 100:			7,493.00
06/18/2025	400	143299	RUNDLE-SPENCE	CITY HALL - BUILDING REPAIRS & MAINT	52410	51600	47.73
				CITY HALL - BUILDING REPAIRS & MAINT	52410	51600	22.35
				CHECK 400 143299 TOTAL FOR FUND 100:			70.08
06/18/2025	400	143300	RUSS'S MULCH & TOPSOIL	PARKS - GROUNDS MAINTENANCE	52420	55200	490.00
06/18/2025	400	143301	SAFELITE AUTOGLASS	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	509.93
06/18/2025	400	143302	SENSIT TECHNOLOGIES	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	280.66
06/18/2025	400	143303	SETCOM CORPORATION	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	105.35
06/18/2025	400	143304	SHARE CORPORATION	HIGHWAY - OPERATING SUPPLIES	53400	53100	687.76
06/18/2025	400	143305	SHERWIN-WILLIAMS	PARKS - BUILDING REPAIRS & MAINT	52410	55200	57.45
06/18/2025	400	143306	SITEONE LANDSCAPE SUPPLY LLC	PARKS - GROUNDS MAINTENANCE	52420	55200	252.41

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Fund: 100 GENERAL FUND							
06/18/2025	400	143307#	SOFT WATER, INC.	CITY HALL - BUILDING REPAIRS & MAINT	52410	51600	100.00
				FIRE ADMINISTRATION - OPERATING	53400	52210	42.00
				FIRE ADMINISTRATION - OPERATING	53400	52210	70.00
				CHECK 400 143307 TOTAL FOR FUND 100:			212.00
06/18/2025	400	143308	STARK PAVEMENT CORP	HIGHWAY - ROAD REPAIRS	53730	53100	92.40
06/18/2025	400	143309	STRYKER SALES CORPORATION	FIRE PROTECTIVE SERVICES - EMS	53450	52230	401.65
06/18/2025	400	143310	THE UPS STORE	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	34.12
06/18/2025	400	143311*#	TRUGREEN PROCESSING	PARKS - GROUNDS MAINTENANCE	52420	55200	1,208.48
06/18/2025	400	143312	UNIFIRST CORP	FIRE ADMINISTRATION - OPERATING	53400	52210	64.29
				FIRE ADMINISTRATION - OPERATING	53400	52210	113.51
				CHECK 400 143312 TOTAL FOR FUND 100:			177.80
06/18/2025	400	143313*#	VESTIS	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	39.80
				HIGHWAY - UNIFORMS	53410	53100	93.18
				HIGHWAY - UNIFORMS	53410	53100	93.18
				CHECK 400 143313 TOTAL FOR FUND 100:			226.16
06/18/2025	400	143315	WAUKESHA CO TECHNICAL COLLEGE	FIRE PROTECTIVE SERVICES - TRAINING	52980	52230	1,040.57
06/18/2025	400	143316	WAUKESHA CO TREASURER	FIRE PROTECTIVE SERVICES - EQUIP REPAIR	52430	52230	185.94
06/18/2025	400	143317	WI LEGAL BLANK CO., INC.	RECREATION PROGRAM - OPERATING SUPPLIES	53400	55300	370.00
06/18/2025	400	143318#	WILL ENTERPRISES	BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	507.43
				RECREATION PROGRAM - OPERATING SUPPLIES	53400	55300	437.44
				PLANNER - OPERATING SUPPLIES	53400	56300	165.63
				CHECK 400 143318 TOTAL FOR FUND 100:			1,110.50
06/27/2025	400	143320	1ST AYD	FIRE ADMINISTRATION - OPERATING	53400	52210	1,071.80
				FIRE ADMINISTRATION - OPERATING	53400	52210	1,003.60
				CHECK 400 143320 TOTAL FOR FUND 100:			2,075.40
06/27/2025	400	143321	AIRGAS USA	FIRE PROTECTIVE SERVICES - EMS	53450	52230	231.49
06/27/2025	400	143322*#	ARC DOCUMENT SOLUTIONS LLC	ENGINEERING - OPERATING SUPPLIES	53400	53110	10.96
06/27/2025	400	143323	BATZNER PEST CONTROL	PARKS - BUILDING REPAIRS & MAINT	52410	55200	86.17

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Fund: 100 GENERAL FUND							
06/27/2025	400	143324	BUNZELS MEAT AND CATERING	EMPLOYEE SERVICES - SERVICE RECOGNITION	53430	51430	2,285.29
06/27/2025	400	143325	CENTER FOR INTERNET SECURITY, INC	IT - OTHER PROFESSIONAL SERVICES	52190	51450	995.00
06/27/2025	400	143327	CONWAY SHIELD	FIRE PROTECTIVE SERVICES - NEW	53950	52230	9,337.00
				FIRE PROTECTIVE SERVICES - NEW	53950	52230	295.00
				CHECK 400 143327 TOTAL FOR FUND 100:			9,632.00
06/27/2025	400	143328	ELEVITY GORDON FLESCH CO INC	IT - OTHER PROFESSIONAL SERVICES	52190	51450	151.00
				IT - OTHER PROFESSIONAL SERVICES	52190	51450	6.00
				CHECK 400 143328 TOTAL FOR FUND 100:			157.00
06/27/2025	400	143329*#	ELLIOTTS ACE HARDWARE	FIRE ADMINISTRATION - OPERATING	53400	52210	47.98
06/27/2025	400	143331	FIRE SERVICE INC	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	3,081.90
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	546.00
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	4,267.36
				FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	(260.00)
				CHECK 400 143331 TOTAL FOR FUND 100:			7,635.26
06/27/2025	400	143332	FORWARD TS	FIRE ADMINISTRATION - OPERATING	53400	52210	79.27
06/27/2025	400	143333	FOTH INFRASTRUCTURE &	PLANNER - OTHER PROFESSIONAL SERVICES	52190	56300	2,534.40
06/27/2025	400	143334	FRIENDS OF THE PARKS OF PEWAUKEE	FIREWORKS	53400	55470	10,000.00
06/27/2025	400	143335	HURD, AMI	CLERK/TREASURER - MILEAGE	53300	51420	16.10
06/27/2025	400	143336	IS OUTFITTERS	IT - OTHER PROFESSIONAL SERVICES	52190	51450	680.00
				IT - OTHER PROFESSIONAL SERVICES	52190	51450	1,005.00
				CHECK 400 143336 TOTAL FOR FUND 100:			1,685.00
06/27/2025	400	143337	J&L TIRE AND SERVICE CENTER	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	462.80
06/27/2025	400	143338	KELLY TARCZEWSKI	ELECTIONS - OPERATING SUPPLIES	53400	51440	29.95
06/27/2025	400	143339	LANGE ENTERPRISES, INC	PARKS - GROUNDS MAINTENANCE	52420	55200	39.12
06/27/2025	400	143340	LIFE-ASSIST INC	FIRE PROTECTIVE SERVICES - EMS	53450	52230	242.07
				FIRE PROTECTIVE SERVICES - EMS	53450	52230	952.55
				CHECK 400 143340 TOTAL FOR FUND 100:			1,194.62

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 100 GENERAL FUND							
06/27/2025	400	143341#	MENARDS	POLICE - COMMUNITY PROGRAM	52180	52100	54.00
				FIRE ADMINISTRATION - OPERATING	53400	52210	55.13
				FIRE ADMINISTRATION - OPERATING	53400	52210	16.99
				FIRE ADMINISTRATION - NEW EQUIPMENT	53950	52210	412.53
				ENGINEERING - OPERATING SUPPLIES	53400	53110	7.99
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	313.83
				PARKS - NEW EQUIPMENT	53950	55200	26.99
				PARKS - NEW EQUIPMENT	53950	55200	15.96
				CHECK 400 143341 TOTAL FOR FUND 100:			903.42
06/27/2025	400	143343	NICK PHALIN	RECREATION PROGRAM - MILEAGE	53300	55300	110.60
06/27/2025	400	143344#	ODP BUSINESS SOLUTIONS LLC	CLERK/TREASURER - OPERATING SUPPLIES	53400	51420	26.68
				CITY HALL - OPERATING SUPPLIES	53400	51600	23.40
				CHECK 400 143344 TOTAL FOR FUND 100:			50.08
06/27/2025	400	143345	Ohana Family, LLC	BEB23-0013	23173	00000	2,000.00
06/27/2025	400	143346	PORT-A-JOHN	PARKS - BUILDING REPAIRS & MAINT	52410	55200	162.00
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	162.00
				PARKS - BUILDING REPAIRS & MAINT	52410	55200	162.00
				CHECK 400 143346 TOTAL FOR FUND 100:			486.00
06/27/2025	400	143347	PREMIUM WATERS, INC	PARKS - OPERATING SUPPLIES	53400	55200	90.99
06/27/2025	400	143348	PROHEALTH PHARMACY WAUKESHA	FIRE PROTECTIVE SERVICES - EMS	53450	52230	1,151.16
06/27/2025	400	143351	RUSS'S MULCH & TOPSOIL	PARKS - GROUNDS MAINTENANCE	52420	55200	210.00
				PARKS - GROUNDS MAINTENANCE	52420	55200	175.00
				CHECK 400 143351 TOTAL FOR FUND 100:			385.00
06/27/2025	400	143352	SHIELD SOLUTIONS	FIRE PROTECTIVE SERVICES - OPERATING	53400	52230	313.50
				FIRE PROTECTIVE SERVICES - OPERATING	53400	52230	6.50
				CHECK 400 143352 TOTAL FOR FUND 100:			320.00
06/27/2025	400	143353	SOERENS FORD	FIRE PROTECTIVE SERVICES - VEHICLE	52440	52230	87.53
06/27/2025	400	143356	TDS	FIRE ADMINISTRATION - PHONE & CELL	52260	52210	159.74
				FIRE ADMINISTRATION - PHONE & CELL	52260	52210	292.75
				CHECK 400 143356 TOTAL FOR FUND 100:			452.49

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06/27/2025	400	143357	TREVOR MISIAK	FIRE PROTECTIVE SERVICES - TRAINING	52980	52230	600.00
06/27/2025	400	143358#	TRUGREEN PROCESSING	PARKS - GROUNDS MAINTENANCE	52420	55200	238.31
				BOAT LAUNCH MAINTENANCE	52460	55460	55.97
				CHECK 400 143358 TOTAL FOR FUND 100:			294.28
06/27/2025	400	143359	VERIZON	FIRE ADMINISTRATION - PHONE & CELL	52260	52210	13.62
06/27/2025	400	143360	VILLAGE OF PEWAUKEE	LIBRARY - OPERATING SUPPLIES	53400	55110	72,488.91
06/27/2025	400	143361#	WAUKESHA CO TREASURER	CITY HALL - DATA PROCESSING	52160	51600	13,341.35
				POLICE - OVERTIME	52150	52100	16,845.41
				POLICE - CONTRACT FOR SERVICES	52160	52100	299,114.69
				POLICE - CONTRACT FOR SERVICES	52160	52100	299,114.69
				CHECK 400 143361 TOTAL FOR FUND 100:			628,416.14
06/27/2025	400	143362*#	WILL ENTERPRISES	CLERK/TREASURER - UNIFORMS	53410	51420	107.71
				BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	123.38
				ENGINEERING - OPERATING SUPPLIES	53400	53110	140.45
				CHECK 400 143362 TOTAL FOR FUND 100:			371.54
06/30/2025	100	143436	CITY OF PEWAUKEE	CASH IN CHECKING CHASE (POOLED)	11200	00000	1,000,000.00
07/01/2025	400	143363	ADVANCE NAME PLATE & BADGE	BUILDING SERVICES - OPERATING SUPPLIES	53400	52400	14.93
07/01/2025	400	143364	AIRGAS USA	HIGHWAY - OPERATING SUPPLIES	53400	53100	38.22
07/01/2025	400	143365	ARROW TERMINAL, LLC	HIGHWAY - OPERATING SUPPLIES	53400	53100	554.92
07/01/2025	400	143367	BEST ELECTRIC	ELECTRICAL PERMITS	44301	00000	60.00
07/01/2025	400	143368	BEVERLY LANGERUD	PARK RECREATION PROGRAMS	46721	00000	24.00
07/01/2025	400	143369*#	BUMPER TO BUMPER	HIGHWAY - OPERATING SUPPLIES	53400	53100	89.60
				HIGHWAY - OPERATING SUPPLIES	53400	53100	13.98
				CHECK 400 143369 TOTAL FOR FUND 100:			103.58
07/01/2025	400	143370*#	CINTAS	HIGHWAY - OPERATING SUPPLIES	53400	53100	49.48
07/01/2025	400	143372	COREY OIL	HIGHWAY - FUEL	53420	53100	4,526.60
				HIGHWAY - FUEL	53420	53100	3,512.90
				CHECK 400 143372 TOTAL FOR FUND 100:			8,039.50

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07/01/2025	400	143373	Douglas Venenga & Sandra Majors	BOB24-0006	23175	00000	500.00
07/01/2025	400	143374	ELECTION SYSTEMS & SOFTWARE	ELECTIONS - EQUIP REPAIR & MAINT	52430	51440	1,903.20
07/01/2025	400	143375	ELEVITY GORDON FLESCH CO INC	IT - SOFTWARE MAINTENANCE & UPDATES	52480	51450	5,079.80
07/01/2025	400	143376	FORWARD TS	CLERK/TREASURER - EQUIP REPAIR & MAINT	52430	51420	197.63
07/01/2025	400	143378	JAMES IMAGING SYSTEMS	IT - OTHER PROFESSIONAL SERVICES	52190	51450	65.00
07/01/2025	400	143379	Korndoerfer Homes	BEB24-0023	23173	00000	2,000.00
07/01/2025	400	143380	KSENIJA WASIELEWSKI	PARK RECREATION PROGRAMS	46721	00000	24.00
07/01/2025	400	143381	LAKE COUNTRY INSPECTIONS, LLC	BUILDING SERVICES - OTHER PROFESSIONAL	52190	52400	190.00
				BUILDING SERVICES - OTHER PROFESSIONAL	52190	52400	11,637.50
				CHECK 400 143381 TOTAL FOR FUND 100:			11,827.50
07/01/2025	400	143382	LANGE ENTERPRISES, INC	HIGHWAY - ROAD SIGNS & MARKINGS	53720	53100	1,185.50
				HIGHWAY - ROAD SIGNS & MARKINGS	53720	53100	137.50
				HIGHWAY - ROAD SIGNS & MARKINGS	53720	53100	66.85
				CHECK 400 143382 TOTAL FOR FUND 100:			1,389.85
07/01/2025	400	143383	LINCOLN CONTRACTORS	HIGHWAY - OPERATING SUPPLIES	53400	53100	70.61
07/01/2025	400	143385*#	MENARDS	CITY HALL - BUILDING REPAIRS & MAINT	52410	51600	37.99
				HIGHWAY - OPERATING SUPPLIES	53400	53100	32.98
				PARKS - SAFETY EQUIPMENT	53480	55200	17.53
				CHECK 400 143385 TOTAL FOR FUND 100:			88.50
07/01/2025	400	143386	MID-AMERICAN RESEARCH CHEMICAL	HIGHWAY - OPERATING SUPPLIES	53400	53100	223.06
07/01/2025	400	143387	MOTION CONNECTED	EMPLOYEE SERVICES - EMPLOYEE WELLNESS	52700	51430	405.00
07/01/2025	400	143388*#	MSA PROFESSIONAL SERVICES INC	ENGINEERING - OUTSIDE ENGINEERING	52190	53110	43.75
07/01/2025	400	143389	NAPA AUTOMOTIVE SUPPLY OF SUSSEX	HIGHWAY - OPERATING SUPPLIES	53400	53100	125.40
07/01/2025	400	143390	OCCUPATIONAL HEALTH CENTERS	EMPLOYEE SERVICES - EMPLOYMENT EXAMS	52150	51430	226.00
07/01/2025	400	143391*#	ODP BUSINESS SOLUTIONS LLC	ENGINEERING - OPERATING SUPPLIES	53400	53110	71.98
07/01/2025	400	143392	PARKING LOT MAINTENANCE	HIGHWAY - CRACK FILLING	52310	53100	18,900.00
07/01/2025	400	143395	R&R INSURANCE SERVICES	WORKER'S COMPENSATION	55110	51930	21,786.00

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Fund: 100 GENERAL FUND							
				PROPERTY & LIABILITY	55120	51930	4,500.00
				PROPERTY & LIABILITY	55120	51930	34,128.50
				CHECK 400 143395 TOTAL FOR FUND 100:			60,414.50
07/01/2025	400	143396	ROBERT KEWAN	IT - MILEAGE	53300	51450	222.95
07/01/2025	400	143397	RUSS'S MULCH & TOPSOIL	PARKS - GROUNDS MAINTENANCE	52420	55200	136.00
				PARKS - GROUNDS MAINTENANCE	52420	55200	525.00
				CHECK 400 143397 TOTAL FOR FUND 100:			661.00
07/01/2025	400	143400	SITEONE LANDSCAPE SUPPLY LLC	HIGHWAY - GROUNDS MAINTENANCE	52420	53100	19.15
07/01/2025	400	143404*#	VESTIS	HIGHWAY - CONTRACTED JANITORIAL	52400	53100	39.80
				HIGHWAY - UNIFORMS	53410	53100	93.18
				HIGHWAY - UNIFORMS	53410	53100	95.32
				CHECK 400 143404 TOTAL FOR FUND 100:			228.30
07/01/2025	400	143407	WELDERS SUPPLY COMPANY	HIGHWAY - OPERATING SUPPLIES	53400	53100	166.80
07/01/2025	400	143409	WISCONSIN RURAL WATER ASSOC.	EMPLOYEE SERVICES - SAFETY PERSONAL	53480	51430	944.00
07/01/2025	400	143410	WMCCA TOWN OF BROOKFIELD	COURT - MEETINGS & CONVENTIONS	53210	51200	600.00
				Total for fund 100 GENERAL FUND			1,953,943.52

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 230 STORM WATER MANAGEMENT							
06/18/2025	400	143258*#	A&M CLEANING SOLUTIONS	CONTRACTED JANITORIAL	52400	53650	510.00
				CONTRACTED JANITORIAL	52400	53650	453.34
				CHECK 400 143258 TOTAL FOR FUND 230:			963.34
06/18/2025	400	143261*#	ALL-WAYS CONTRACTORS, INC	DITCH & CULVERT MAINT - DITCH	53520	53652	228.00
06/18/2025	400	143267	CORE & MAIN LP	STORM SEWER MAINT - MAINTENANCE	53510	53651	1,633.80
06/18/2025	400	143292*#	MENARDS	OPERATING SUPPLIES	53400	53650	4.99
06/18/2025	400	143298*#	RUEKERT & MIELKE, INC.	OUTSIDE ENGINEERING	52190	53650	285.18
				OUTSIDE ENGINEERING	52190	53650	285.92
				OUTSIDE ENGINEERING	52190	53650	347.84
				OUTSIDE ENGINEERING	52190	53650	234.36
				OUTSIDE ENGINEERING	52190	53650	344.88
				OUTSIDE ENGINEERING	52190	53650	259.40
				OUTSIDE ENGINEERING	52190	53650	1,121.76
				OUTSIDE ENGINEERING	52190	53650	229.92
				OUTSIDE ENGINEERING	52190	53650	632.28
				OUTSIDE ENGINEERING	52190	53650	611.68
				PROJECTS - HILL 'N DALE	58210	57301	627.60
				PROJECTS - VALLEY BROOK SUB. DITCH	58210	57354	215.50
				CHECK 400 143298 TOTAL FOR FUND 230:			5,196.32
06/18/2025	400	143313*#	VESTIS	CONTRACTED JANITORIAL	52400	53650	19.89
06/27/2025	400	143322*#	ARC DOCUMENT SOLUTIONS LLC	OPERATING SUPPLIES	53400	53650	10.96
06/27/2025	400	143341*#	MENARDS	OPERATING SUPPLIES	53400	53650	7.99
06/27/2025	400	143362*#	WILL ENTERPRISES	OPERATING SUPPLIES	53400	53650	140.45
07/01/2025	400	143369*#	BUMPER TO BUMPER	OPERATING SUPPLIES	53400	53650	35.89
07/01/2025	400	143370*#	CINTAS	OPERATING SUPPLIES	53400	53650	24.74
07/01/2025	400	143384	MACQUEEN EQUIPMENT	STORM WATER - VEHICLE REPAIR & MAINT	52440	53650	139.76

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Fund: 230 STORM WATER MANAGEMENT							
07/01/2025	400	143385*#	MENARDS	OPERATING SUPPLIES	53400	53650	40.72
07/01/2025	400	143388*#	MSA PROFESSIONAL SERVICES INC	COMPUTER/PROGRAM MAINTENANCE	52480	53650	43.75
07/01/2025	400	143391*#	ODP BUSINESS SOLUTIONS LLC	OPERATING SUPPLIES	53400	53650	71.98
07/01/2025	400	143393	PAYNE & DOLAN	CATCH BASIN MAINT - CATCH BASIN	53510	53655	122.36
07/01/2025	400	143398	SERWE IMPLEMENT MUNICIPAL SALES	EQUIPMENT REPAIR & MAINT	52430	53650	1,199.00
07/01/2025	400	143399	SIGNARAMA	STORM WATER - VEHICLE REPAIR & MAINT	52440	53650	350.00
07/01/2025	400	143404*#	VESTIS	CONTRACTED JANITORIAL	52400	53650	19.89
07/01/2025	400	143405	Waldschmidt's Town & Country Mart	EQUIPMENT REPAIR & MAINT	52430	53650	17.94
Total for fund 230 STORM WATER MANAGEMENT							10,271.77

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 420 CAPTIAL ROAD PROJECTS							
06/18/2025	400	143298*#	RUEKERT & MIELKE, INC.	LEXINGTON/TACOMA PH 1	58210	57426	2,468.20
				SPICE CREEK/MEADOWBROOK FARMS #3	58210	57556	412.00
				SPICE CREEK/MEADOWBROOK FARMS PH 4	58210	57557	874.00
				JOSEPH ROAD NEW CONTRACT	58210	57566	1,556.60
				SHADY LANE NEW CONTRACT	58210	57567	1,742.40
				CHECK 400 143298 TOTAL FOR FUND 420:			7,053.20
06/27/2025	400	143349	R.A. SMITH & ASSOC., INC.	QUIET ZONE - DUPLAINVILLE ROAD	58200	56720	417.50
06/27/2025	400	143355*#	STRAND ASSOCIATES, INC	WESTWOOD/CORPORATE CT	58210	57562	2,338.82
				HICKORY GROVE ESTATES	58210	57564	3,644.93
				CHECK 400 143355 TOTAL FOR FUND 420:			5,983.75
				Total for fund 420 CAPTIAL ROAD PROJECTS			13,454.45

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 440 BIKE & PEDESTRIAN							
06/27/2025	400	143342	MSA PROFESSIONAL SERVICES INC	WATERTOWN ROAD/CTH M NORTH AVE TO	58250	53550	10,580.01
06/27/2025	400	143350	R.H. BATTERMAN & CO INC	PEWAUKEE ROAD (RIVERWOOD TO TOWER)	58235	53550	28,892.00
06/27/2025	400	143355*#	STRAND ASSOCIATES, INC	FIELDHACK PATH	58220	53550	1,356.78
Total for fund 440 BIKE & PEDESTRIAN							40,828.79

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 490 CAPTIAL EQUIPMENT							
06/18/2025	400	143265	BURKE TRUCK & EQUIPMENT	HIGHWAY - CAPITAL EQUIPMENT	58100	57331	64,311.00
06/18/2025	400	143295	MUNSON INC	PARKS - CAPITAL EQUIPMENT	58100	57620	12,270.00
				Total for fund 490 CAPTIAL EQUIPMENT			76,581.00

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 600 WATER UTILITY							
06/17/2025	400	143257*	POSTMASTER	BILLING	53300	00903	4,622.27
06/18/2025	400	143261*#	ALL-WAYS CONTRACTORS, INC	TRANS & DIST MAINT-MAINT OF SERVICES	52400	10675	120.00
06/18/2025	400	143266*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	52.85
06/18/2025	400	143271*#	ELLIOTTS ACE HARDWARE	SOURCE MAINT-MISC WATER SOURCE PLANT	52400	10617	19.77
06/18/2025	400	143279	HAWKINS, INC.	TREATMENT OPS-CHEMICALS	53410	10641	4,249.84
06/18/2025	400	143298*#	RUEKERT & MIELKE, INC.	BLUMD WATER MAIN-BUSSE TO FOSTER	12810	00107	487.00
				TRANS & DIST MAINT-SCADA MAINT	52100	10678	137.50
				CHECK 400 143298 TOTAL FOR FUND 600:			624.50
06/18/2025	400	143311*#	TRUGREEN PROCESSING	SOURCE MAINT-BUILDINGS AND GROUNDS	52310	10611	160.42
				SOURCE MAINT-BUILDINGS AND GROUNDS	52310	10611	270.13
				CHECK 400 143311 TOTAL FOR FUND 600:			430.55
06/18/2025	400	143314	VIRTUE CONSTRUCTION CORPORATION	OTHER GENERAL EQUIPMENT	18571	00399	5,715.00
06/27/2025	400	143326*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	52.84
06/27/2025	400	143330#	FERGUSON WATERWORKS #1476	TRANS & DIST OPS-DIGGERS HOTLINE WATER	52450	10665	66.00
				TRANS & DIST MAINT-MAINT OF SERVICES	52400	10675	439.94
				CHECK 400 143330 TOTAL FOR FUND 600:			505.94
06/27/2025	400	143341*#	MENARDS	SOURCE MAINT-BUILDINGS AND GROUNDS	52310	10611	25.61
				SOURCE MAINT-MISC WATER SOURCE PLANT	52400	10617	349.99
				CHECK 400 143341 TOTAL FOR FUND 600:			375.60
06/27/2025	400	143355*#	STRAND ASSOCIATES, INC	LINDSAY WATER - PARK TO SWAN	12814	00107	2,960.29
				LINDSAY WATER - PARK TO SWAN	12814	00107	1,889.77
				PFAS TREATMET	12818	00107	1,881.23
				WELL # 13 TEST & PRODUCTION WELL	12856	00107	14,496.17
				WELL # 13 TEST & PRODUCTION WELL	12856	00107	6,645.68
				PRE - PAYMENTS	16200	00143	126.98
				ADMIN & GEN OPS-PUBLIC RELATIONS	52180	10923	13,293.52

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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 600 WATER UTILITY				CHECK 400 143355 TOTAL FOR FUND 600:			41,293.64
07/01/2025	400	143371*#	CINTAS CORP	TRANS & DIST OPS-UNIFORMS	53410	10665	46.78
07/01/2025	400	143377#	HAWKINS, INC.	TREATMENT OPS-CHEMICALS	53410	10641	4,871.54
				TREATMENT MAINT-MAINT OF TREATMENT	52400	10652	419.22
				CHECK 400 143377 TOTAL FOR FUND 600:			5,290.76
07/01/2025	400	143388*#	MSA PROFESSIONAL SERVICES INC	ADMIN & GEN OPS-GIS & ASSET MANAGE MAIN	52120	10933	43.75
07/01/2025	400	143391*#	ODP BUSINESS SOLUTIONS LLC	ADMIN & GEN EXPS OPS-OFFICE SUPPLIES	53100	10921	71.98
07/01/2025	400	143394*	POSTMASTER	ADMIN & GEN OPS-NOTICES & PUBLICATION	53307	10921	950.00
07/01/2025	400	143403	USA BLUEBOOK	TRANS & DIST MAINT-MAINT OF METERS	52400	10676	554.52
07/01/2025	400	143406	WATER REMEDIATION TECHNOLOGY	TREATMENT MAINT-WRT RADIUM TREATMENT	52900	10652	4,341.68
07/01/2025	400	143408	WI RURAL WATER ASSOCIATION	ADMIN & GEN OPS-UTILITY MEMB & CONT	53200	10930	120.00
				Total for fund 600 WATER UTILITY			69,482.27

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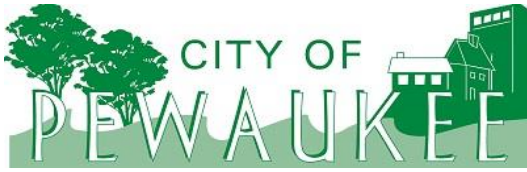
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Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 650 SEWER UTILITY							
06/17/2025	400	143257*	POSTMASTER	BILLING	53300	00903	4,622.28
06/18/2025	400	143266*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	52.84
06/18/2025	400	143268	CRETEX SPECIALTY PRODUCTS	MAINTENANCE OF COLLECTION SYSTEM	52400	01831	4,428.00
				MAINTENANCE OF COLLECTION SYSTEM	52400	01831	1,080.00
				CHECK 400 143268 TOTAL FOR FUND 650:			5,508.00
06/18/2025	400	143272	FERGUSON WATERWORKS #1476	MAINTENANCE OF COLLECTION SYSTEM	52400	01831	409.19
06/18/2025	400	143278	GREGG MARTIN INSTRUMENTATION	OTHER GENERAL EQUIPMENT	18571	01380	2,800.00
06/18/2025	400	143292*#	MENARDS	MAINTENANCE OF COLLECTION SYSTEM	52400	01831	53.94
06/18/2025	400	143298*#	RUEKERT & MIELKE, INC.	SCADA/TELEMETRY MAINT	52100	01831	137.50
06/18/2025	400	143319	ZIGNEGO READY MIX	Gun Club Sewer Study	12831	00107	420.00
06/27/2025	400	143326*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	52.85
06/27/2025	400	143329*#	ELLIOTTS ACE HARDWARE	MAINTENANCE OF PUMPING EQUIPMENT	52400	01832	8.38
06/27/2025	400	143341*#	MENARDS	SUPPLIES AND EXPENSES	53400	01827	25.60
06/27/2025	400	143354	STAAB CONSTRUCTION CORP	Gun Club Sewer Study	12831	00107	325,850.00
06/27/2025	400	143355*#	STRAND ASSOCIATES, INC	KOPMEIER SEWER PIPE REPAIR	12837	00107	5,737.22
07/01/2025	400	143366	BATTERIES PLUS LLC	MAINTENANCE/SCS - CONTROL PANEL	52430	01831	37.95
07/01/2025	400	143371*#	CINTAS CORP	Uniforms & Protective Equipment	53410	01827	46.78
07/01/2025	400	143388*#	MSA PROFESSIONAL SERVICES INC	ADMIN & GEN OPS-GIS & ASSET MANAG MAINT	52120	10933	43.75
07/01/2025	400	143391*#	ODP BUSINESS SOLUTIONS LLC	ADMIN & GEN OPS-OFFICE SUPPLIES	53100	10921	71.98
07/01/2025	400	143394*	POSTMASTER	ADMIN & GEN OPS-NOTICES & PUBLICATIONS	53307	10921	950.00
07/01/2025	400	143401	STARK PAVEMENT CORP	MAINTENANCE OF COLLECTION SYSTEM	52400	01831	540.60

Check Date	Bank	Check #	Payee	Description	Account	Dept	Amount
Fund: 650 SEWER UTILITY							
07/01/2025	400	143402	STRAND ASSOCIATES, INC	Gun Club Sewer Study	12831	00107	13,542.89
07/01/2025	400	143411	ZIGNEGO READY MIX	MAINTENANCE OF COLLECTION SYSTEM	52400	01831	442.50
				Total for fund 650 SEWER UTILITY			361,354.25
TOTAL - ALL FUNDS							2,525,916.05

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Pewaukee, Wisconsin 53072
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REPORT TO THE PLAN COMMISSION

Meeting of June 12, 2025

Date: June 3, 2025

Project Name: SmokeXpress, LLC (DBA Cloud 9) Conditional Use

Project Address/Tax Key No.: N20W22951 Watertown Road, Suite 105 / PWC 0958982004

Applicant: Mohamad Abdelsalam

Property Owner: Pewaukee Retail Partners LLC

Current Zoning: B-6 Mixed Use Business District

2050 Land Use Map Designation: Retail/Service Commercial

Use of Surrounding Properties: Kwik Trip and Accent On Dance Studios to the north, M-2 zoned property to the south, M-1 zoned property to the east, and County Highway F and vacant land to the west.

Project Description and Analysis

The applicant filed a Conditional Use Permit requesting approval of a smoke and vape retail store to occupy existing tenant space located at N20W22951 Watertown Road, Suite 105. The store intends to sell tobacco, vape and CBD related products.

The tenant space has an area of 2,113 square feet. The proposed hours of operations are Monday through Sunday, 9:00 a.m. to 10:00 p.m. According to the applicant, the business will have a combination of four to five full-time and part-time employees. Note there are no beer or liquor sales proposed. The site contains about eighty-two parking spaces, which are shared by all tenants.

The applicant is not proposing any exterior site or building modifications other than signage. It is anticipated that the applicant would propose an illuminated wall sign for the business. The applicant has also indicated that they would like to install window decals advertising certain products. The wall sign and any proposed window signage will require staff review of a Sign Permit Application. The allowance for window signage is below and must be adhered to by the applicant.

Permanent Window Sign shall be placed only on the inside of the window and shall not exceed twenty-five (25) percent of the glass area of the window upon which the sign is displayed. Illuminated window signs shall not be illuminated after the business is closed for the day.

The property is zoned B-6 Mixed Use Business District. Note there is also LC Lowland Conservancy District along the rear or south property line.

The B-6 District allows permitted and conditional uses as allowed within the B-4 and B-5 Districts as well as “Any retail, service or office use that is compatible with those uses listed above as determined by the Plan Commission.”

It can also be noted that the B-6 Mixed Use Business District “is intended to provide for the orderly and attractive grouping of buildings which encompass more than one type of nonindustrial business use which are compatible from a traffic, density and general use standpoint.”

The B-4 District generally permits office use. The district intent states:

“The B-4, Office District is intended to provide for Individual or limited office, professional, and special service uses where the office activity would be compatible with neighborhood residential uses and not necessarily exhibit the intense activity of other business districts.”

The B-5 District generally permits auto sales and services type uses as well as building supply stores, motels and hotels, restaurants, transit stations, and commercial kennels. The B-5 District intent is below for review.

“The B-5, Highway Business District is intended to provide for the orderly and attractive grouping at appropriate locations along principal highway routes of those businesses and customer service establishments which are logically related to and dependent upon highway traffic or which are specifically designed to serve the needs of such traffic.”

It can further be noted that 2017 Act 67 made changes regarding Conditional Use Permits (see requirements below). The applicant has provided detailed information related to the proposed business use for Plan Commission and Common Council consideration.

(de) Conditional use permits.

1. In this paragraph:

- a.** “Conditional use” means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
- b.** “Substantial evidence” means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

2.

- a.** If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
- b.** The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.

3. Upon receipt of a conditional use permit application, and following publication in the city of a class 2 notice under ch. [985](#), the city shall hold a public hearing on the application.
4. Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
5. If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. [\(e\) 10](#).

Recommendation

Staff recommends approval of the proposed Conditional Use Permit for SmokeXpress, LLC (DBA Cloud 9) located at N20W22951 Watertown Road, Suite 105, subject to the following conditions:

1. Applicant shall obtain all other governmental approvals, permits, licenses and the like, required for and applicable to the proposed use and sale of tobacco products, including but not limited to the State of Wisconsin Department of Revenue.
2. Hours of operations shall not extend past 10:00 p.m. without an amendment to this Conditional Use Permit.
3. This Conditional Use Permit shall be subject to periodic review to ensure ongoing compliance with applicable City, County and State standards and regulations.
4. Window signage shall be allowed in accordance with Section 340-9.6E. of the Zoning Code. No other lighting, signage, promotional displays, or advertisements shall be affixed to or displayed on the exterior surface of windows or placed within the interior of the store with the intent or for the purpose of being visible through the windows to the exterior of the storefront. All internal lighting, signage, promotional displays, and advertisements must be positioned and directed such that they are not visible through the windows to the exterior.

Business Narrative

Submitted by: SmokeXpress LLC DBA Cloud 9

Location: N20W22951 Watertown Road, Suite 105, Pewaukee, WI 53072

1. Business Overview & Purpose

Cloud 9 Smoke & Vape is a legal and fully compliant specialty retail store focused on the sale of regulated tobacco, vape, and CBD-related products. Unlike previous applicants, we are not a convenience store or mixed-use market. We are transparent in our purpose and intend to serve the community with safe, lawful, and responsible product offerings, comparable to nearby retailers such as Kwik Trip.

Our product selection includes:

- **Vapes & E-Cigarettes:** Only legal, FDA-regulated products—no homemade or illicit substances
- **CBD & Hemp Products:** Fully compliant with the 2018 U.S. Farm Bill, sourced from licensed manufacturers
- **Premium Cigars:** Stored in a **dedicated climate-controlled humidor** (planned for future development)
- **Tobacco & Vape Accessories:** Hookahs, rolling papers, lighters, and other lawful items

We fully support the City of Pewaukee’s **Ordinance No. 10-12**, prohibiting chemical synthetic cannabinoids, and maintain a strict zero-tolerance policy on unregulated or chemical synthetic products. All of our staff will be thoroughly trained in Wisconsin age-verification and compliance procedures.

2. Project Request Summary

SmokeXpress LLC is requesting a **Conditional Use Permit (CUP)** for the legal operation of a smoke and vape shop at **Suite 105, N20W22951 Watertown Road**, in an existing commercial building. This business model is entirely distinct from a convenience store and will adhere strictly to local, signage, and operating regulations.

3. Zoning Compliance – Section 17.0501

We recognize the city’s obligation under Section 17.0501 of the Zoning Ordinance, which prohibits uses that are:

“Hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the neighborhood or community.”

Cloud 9 Smoke & Vape will:

- **Operate legally and transparently** with appropriate licensing
- **Pose no harm or offensive impact** to the neighborhood or environment
- **Maintain a discreet and tasteful storefront**, free of offensive marketing

- **Follow comparable use precedents**, such as the nearby Kwik Trip, which also sells tobacco legally

We respectfully assert that Cloud 9 qualifies under this section and invites fair evaluation as a compliant business.

4. Response to Prior Denial – Addressing Concerns

We have thoroughly reviewed the City of Pewaukee’s April 1, 2024 denial of a previous CUP application. Below is how we differ and directly respond to each issue raised:

- **Lack of Representation at Hearings:** Our team will be fully present and available for all meetings to represent the application, answer questions, and offer clarifications.
 - **Business Misrepresentation:** We are not a cultural or convenience store. We are a transparent, legal smoke and vape retail store, consistent with permitted uses in the area.
 - **Zoning Compliance Evidence:** We are fully prepared to demonstrate that our store meets zoning permitted uses. Our business use is comparable to approved establishments nearby and have included a document which lists the permitted uses of the building upon purchase in 2016 by the owner.
-

5. Site & Building Improvements

Cloud 9 will professionally upgrade the interior and storefront of Suite 105 to ensure full compliance with city standards. Planned improvements include:

- Custom shelving and secure display showcases
- Flooring and lighting enhancements
- A back office and storage space (separate from retail floor)
- A bathroom which was installed in 2024
- Full security system installation, including surveillance cameras and employee-only access controls
- ADA-compliant layout and customer entrance

All work will be conducted by licensed contractors and will adhere to all applicable City of Pewaukee building, safety, and zoning codes.

6. Future Plans

Cloud 9 has a vision for long-term growth and community involvement, including:

- Installation of a climate-controlled humidor for high-end cigar storage
 - Collaborations with local artists for in-store and exterior custom artwork
 - Continued staff education on compliance and customer safety
 - Potential community outreach efforts to promote responsible product use
 - Annual Donations to the city of pewaukee for city initiatives
-

7. Tentative Development Schedule (~May–June 2025)

Phase	Timeframe
Weeks 1	Final buildout quotes and contractor agreements
Weeks 2	Buildout: shelving, humidifier installation, security system setup
Week 3-4	Final inspections and compliance checks
Grand Opening	~30 days after permit approval

8. Estimated Project Value

Category	Estimated Cost
Interior Buildout, Labor & Permits	~\$50,000
Inventory (Tobacco, Vape, CBD)	~\$150,000
Fixtures, Signage, Art, Equipment	~\$50,000
Total Project Investment	~\$250,000

9. Conclusion

We want to sincerely thank the City of Pewaukee for its thoughtful and thorough approach in reviewing applications like ours. We understand and respect the careful consideration that goes into permitting businesses of this nature, and we fully appreciate the effort to preserve the standards and character of the community.

SmokeXpress LLC, doing business as Cloud 9, is not only transparent about who we are and what we sell — we take pride in being upfront, honest, and professional. We do not intend to disguise our identity or present ourselves as something we're not. We are a smoke shop for adults, focused strictly on offering regulated, legal products for responsible adult use.

One thing we didn't get a chance to share earlier is that, while many of our products are used recreationally, some are also essential to individuals dealing with chronic health conditions. As a healthcare provider, I've had patients share how difficult it is to find **quality, compliant**

products nearby — especially those managing chronic pain from cancer, anxiety, multiple sclerosis, and other conditions. Many have to travel across town to access these products. We hope to become a reliable, local option for those individuals in our community.

Additionally, we want to highlight our full support for the City’s **Ordinance No. 10-12**, which prohibits the sale of chemical synthetic cannabinoids such as Spice, K2, and other “fake marijuana” products. We have a strict zero-tolerance policy when it comes to unregulated or chemical synthetic substances and will **never** offer them in our store. Our goal is to create a safe, trustworthy space — the go-to shop for legal, regulated products that adults in our community can safely rely on.

We also maintain a zero-tolerance policy for loitering, underage customers, or any conduct that could compromise the safety and reputation of our business or the neighborhood. We aim to be a model retail operation — one that contributes not only through tax revenue and local jobs, but also through annual donations to city projects and initiatives that support Pewaukee’s continued growth and well-being.

We’re fully committed to working with the City and Common Council every step of the way. If there are any concerns about our signage, branding, or presentation, we welcome the feedback and are more than willing to make adjustments to meet the community’s expectations. Our goal is to build confidence and trust in our intentions and operations.

We genuinely hope Cloud 9 can be the only smoke shop in this area — operated with professionalism, transparency, and a deep sense of responsibility. We look forward to continuing this dialogue and thank you again for the opportunity to present our vision.

Sincerely,

SmokeXpress LLC
414-502-4550



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770
Fax (262) 691-1798
fuchs@pewaukee.wi.us

PETITION FOR CONDITIONAL USE

TO THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN

The undersigned hereby petitions the Common Council of the City of Pewaukee, Waukesha County, Wisconsin for a Conditional Use Permit for the purpose of: Operating a retail tobacco and vape shop, including the sale of cigarettes, tobacco products, electronic vaping devices, CBD products, accessories, and the like. We will adhere strictly to all local, state, and federal regulations, including age verification laws and licensing requirements.

Legal description of property – Please attach.

Common property description or name: Pewaukee Crossings Retail Center

Property Address: N20W22951 Watertown Rd, Ste 105 Pewaukee, WI 53186 **Tax Key Number(s):** 0958-928-003

Property owner(s) (Full Legal Name): Pewaukee Retail Partners LLC

Owner's Address: 14102 Abbeyfield Ave **City/State/Zip:** Rosemount, TX 75068

Phone: 612-382-3403 **Email:** matt@amkprop.com

Applicant (Full Legal Name):

Name: Mohamad Abdelsalam

Company: SMOKEXPRESS LLC

Address: N20W22951 Watertown Rd, Ste 105

City/State/Zip: Pewaukee, WI 53186

Phone: 708-845-2357

Email: Smokexpresswi@gmail.com

Contact Person (Full Legal Name):

Name: Mohamed Abdelrahim

Company: SMOKEXPRESS LLC

Address: N20W22951 Watertown Rd, Ste 105

City/State/Zip: Pewaukee, WI 53186

Phone: 414-502-4550

Email: Smokexpresswi@gmail.com

Conditional Use submittals must include and be accompanied by the following:

- ☐ This Application form accurately completed with original signatures.
- ☐ Application Filing Fee, payable to the City of Pewaukee:
 - ☐ \$400.00, plus cost for publication, notice and all attorney fees related to project
- ☐ Five (5) complete collated sets of Application materials to include:
 - ☐ A written project narrative detailing the request, business/use operational information, future development plans, site and building improvements, tentative development schedule, and estimated project value.
 - ☐ Scaled drawings, as may be applicable, including, but not limited to; a site plan, grading/erosion control plan, preliminary storm water management plan, landscape plan, lighting plan, building elevations, colored renderings, sign details and natural resource delineations.
- ☐ All application materials provided in a digital format (Adobe PDF). Materials may be submitted on a USB Flash Drive or emailed to hurd@pewaukee.wi.us.
- ☐ Note twelve (12) additional sets of plans will be required for Plan Commission following staff review of the initial submittal. These plans should be revised in response to staff comments as may be necessary.



Office of the Planner & Community Development Director
 W240 N3065 Pewaukee Road
 Pewaukee, Wisconsin 53072
 Phone (262) 691-0770
 Fax (262) 691-1798
fuchs@pewaukee.wi.us

The applicant and property owner(s) hereby certify that:

- 1) all statements and other information submitted as part of this application are true and correct to the best of applicant's and property owner(s)' knowledge;
- 2) the applicant and property owner(s) has/have read and understand all information in this application; and
- 3) the applicant and property owner(s) agree that any approvals based on representations made by them in this Application and its submittal, and any subsequently issued building permits or other type of permits, may be revoked without notice if there is a breach of such representation(s) or any condition(s) of approval.

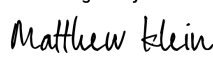
By execution of this application, the property owner(s) authorize the City of Pewaukee and/or its agents to enter upon the subject property(ies) between the hours of 7:00 a.m. and 7:00 p.m. daily for the purpose of inspection while the application is under review. The property owner(s) grant this authorization even if the property has been posted against trespassing pursuant to Wis. Stat. §943.13.

(The applicant's signature must be from a Managing Member if the business is an LLC, or from the President or Vice President if the business is a corporation. A signed applicant's authorization letter may be provided in lieu of the applicant's signature below, and a signed property owner's authorization letter may be provided in lieu of the property owner's signature[s] below. If more than one, all of the owners of the property must sign this Application).

PETITIONER'S/APPLICANT'S SIGNATURE: 

NAME & TITLE (PRINT): Mohamad Abdelsalam Owner of SMOKEEXPRESS LLC

SIGN AND DATED this 25th **day of** March, 2025.

DocuSigned by:

F47ECFDF20654D6...

PROPERTY OWNER'S SIGNATURE: _____

NAME & TITLE (PRINT): Matthew Klein

SIGN AND DATED this 26th **day of** March, 2025.

PROPERTY OWNER'S SIGNATURE: _____

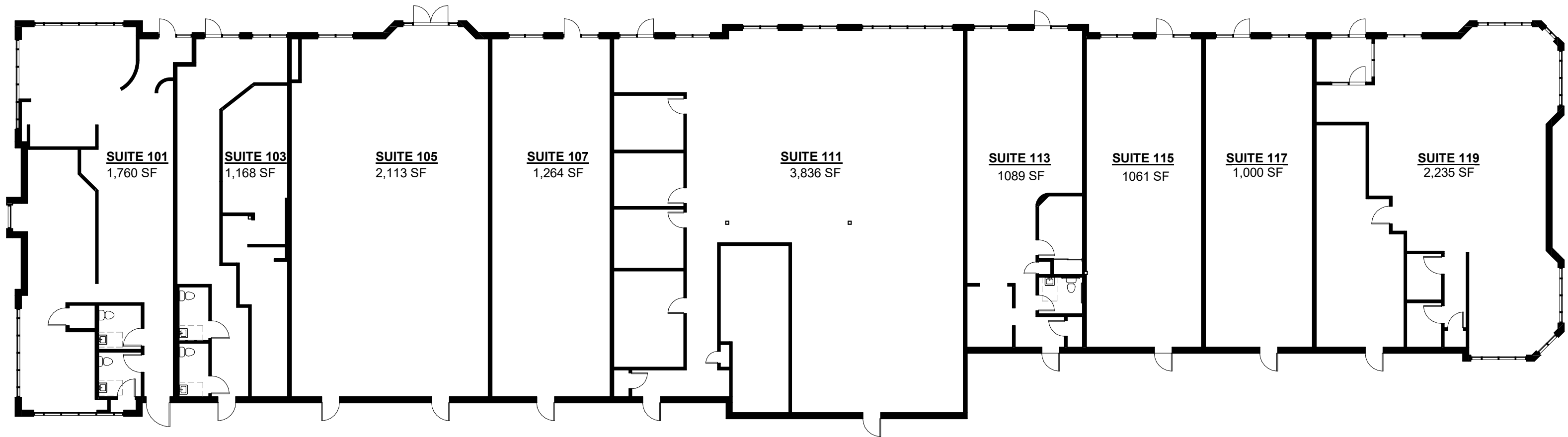
NAME & TITLE (PRINT): _____

SIGN AND DATED this _____ **day of** _____, _____.

City Staff-

RECEIVED at City Hall by: _____ on _____

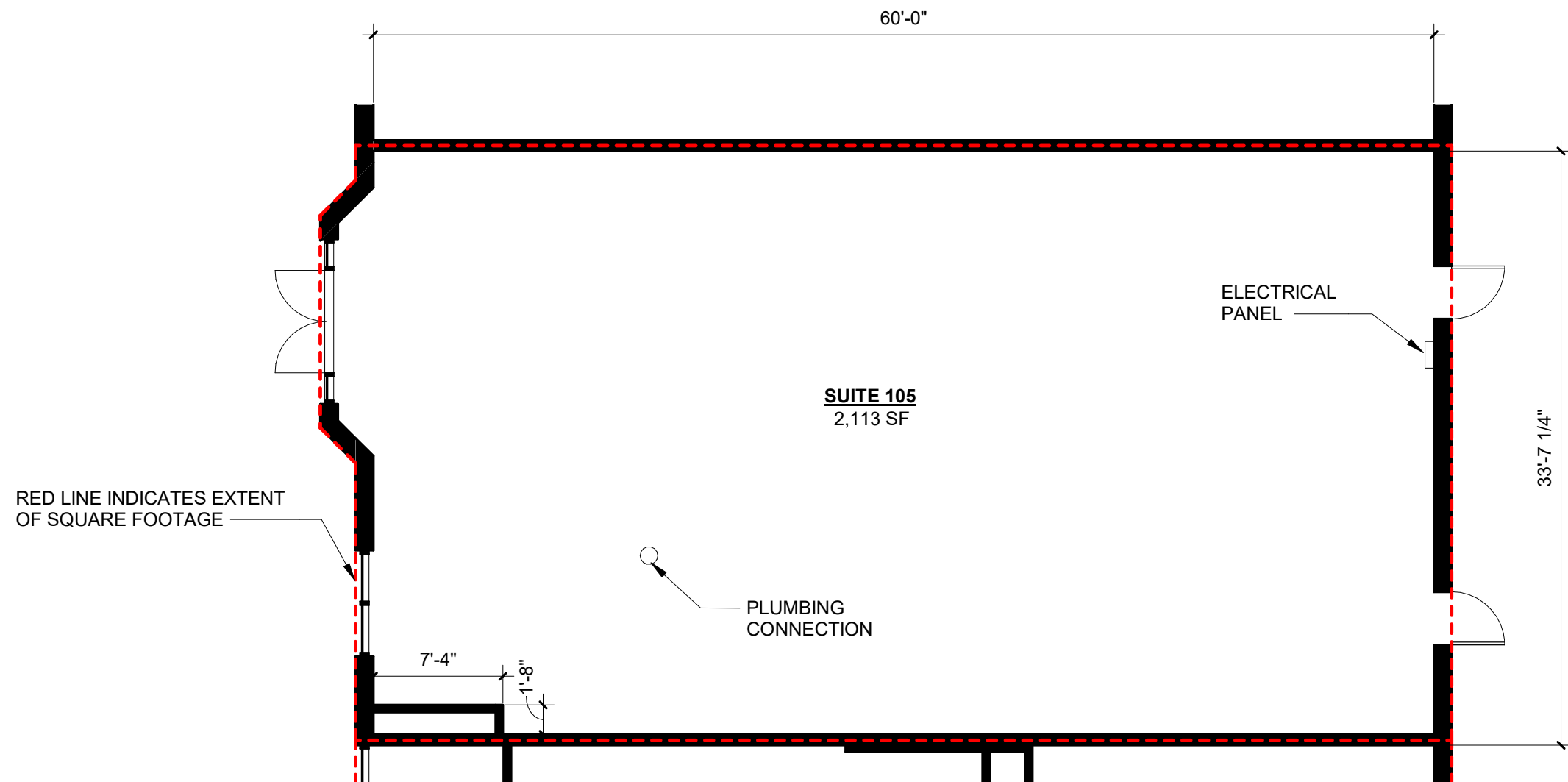
Fee paid: \$ _____ Date: _____



TOTAL SF:
15,526 SF



OVERALL



SUITE 105

PEWAUKEE CROSSINGS

1/8" = 1'-0"

Part A: Premises/Business Information

1 Legal Business Name (individual name if sole proprietor)

SmokeXpress LLC

2 Business Trade Name or DBA

CLOUD 9

3 FEIN

33-4159145

4 Wisconsin Seller's Permit Number

456-1032003553-04

5 Entity Type (check one)

☐ Sole Proprietor☐ Partnership☒ Limited Liability Company☐ Corporation

6 State of Organization

Wisconsin

7 Date of Organization

3/24/25

8 Wisconsin DFI Registration Number

S159734

9 Premises Address (do not use PO Box)

N20W22951 Watertown Rd., Suite 105

10 City

Pewaukee

11 State

WI

12 Zip Code

53186

13 County

Waukesha

14 Governing Municipality

☒ City☐ Town☐ Village

of Pewaukee

15 Aldermanic District

16 Mailing Address (if different from premises address)

745 W. Grange Ave Apt 204

17 City

Milwaukee

18 State

WI

19 Zip Code

53221

20 Premises Phone

708-845-2357

21 Premises Email

SmokeXpresswi@gmail.com

22 Website

Ø

23 Premises Description - Describe the building or buildings where cigarettes, tobacco products, and electronic vaping devices are to be sold and stored. Describe all rooms including living quarters, if used, for the sales and/or storage of cigarettes, tobacco products, and electronic vaping devices and records. Cigarettes, tobacco products, and electronic vaping devices may be sold and stored ONLY on the premises described in this application. Attach a floor plan if possible.

The business is located at N20W22951 Watertown Rd Ste 105, Pewaukee WI 53186, within a shopping center at Pewaukee Crossings. The Sales area will be at front of store, where tobacco products and electronic vapes are displayed and sold. Inventory will be stored in locked back room of the store, separate from customer access. Records will be kept in a secure office space. No living quarters are present on the premises.

Part B: Questions

1 What products will be sold at this business location? (check all that apply)

☒ Cigarettes☒ Tobacco Products☒ Electronic Vaping Devices

2 How will cigarettes, tobacco, and/or electronic vaping devices be sold? (check all that apply)

☒ Over the counter☐ Vending machine

3 Is the applicant business owned by another business entity?

☐ Yes☒ No

If yes, provide the name(s) and FEIN(s) of the business entity(s) below. Attach additional sheets if necessary.

3a Name of Business Entity:

3b FEIN of Business Entity:

Part C: Individual Information

List the name, title, and phone number for each person or entity holding the following titles or positions in the applicant business and any businesses listed in Part B. Question 3: sole proprietor, all officers, directors, and agents of a corporation, all partners of a partnership, and all members and agents of a limited liability company. Attach additional sheets if necessary.

Include Form CTV-101, *Individual Questionnaire*, for each person listed below.

Last Name	First Name	Title	Phone
Abdelsalam	Mohamad	Owner	708-845-2357

Part D: Attestation

One of the following must sign and attest to this application:

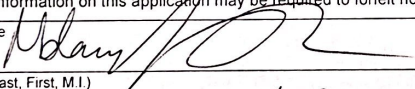
- sole proprietor
- one general partner of a partnership
- one corporate officer
- one managing member of an LLC

READ CAREFULLY BEFORE SIGNING:

I understand and agree to the following:

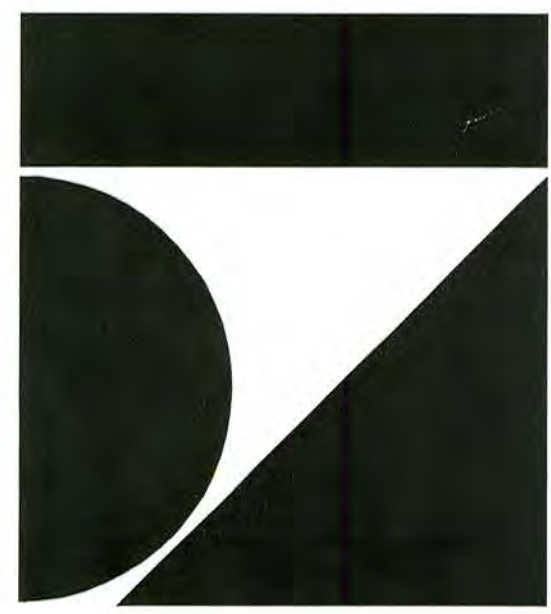
- I will only purchase cigarettes, tobacco, and vapor products from distributors, jobbers, or subjobbers permitted by the Wisconsin Department of Revenue, unless I also hold the proper distributor's permit and pay all applicable excise taxes.
- I will not purchase or exchange products from another retailer, including transferring existing stock to a new owner.
- I will provide tobacco sales training that has been approved by the Wisconsin Department of Health Services to my employees. (<https://witobaccocheck.org>).
- I will not sell single cigarettes.
- I will not sell, give, or otherwise provide cigarettes, tobacco, or any nicotine products to minors.
- I will keep product invoices on the licensed premises for two years and ensure the records are available for inspection by law enforcement. Failure to comply with this will result in criminal penalties, including loss of inventory.
- I will not sell cigarettes or roll-your-own (RYO) tobacco products unless listed on the Wisconsin Department of Justice's directory of certified tobacco manufacturers and brands.

Further, under penalty provided by law, I state that this application has been truthfully answered to the best of my knowledge. I agree to operate this business according to law and that the rights and responsibilities conferred by the license(s), if granted, cannot be assigned to another. Any lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. Any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature		Date	03/28/2025
Name (Last, First, M.I.) Abdelsalam, Mohamad S.			
Title	Owner of Smoke Express LLC	Email	SmokeExpresswi@gmail.com
		Phone	708-845-2357

Part E: For Clerk Use Only

Date application was filed with clerk	Date license issued	Date license expires	License number
License fees	Signature of Clerk/Deputy Clerk		



the Zimmerman Design Group

Architecture Planning Interior & Environmental Design

7707 Harwood Avenue

Milwaukee, WI 53213

414 476 9500

A NEW BUILDING FOR:

PEWAUKEE CROSSINGS

COUNTY HWY "F" & WATERTOWN ROAD

ZDG PROJECT #: 060033.00

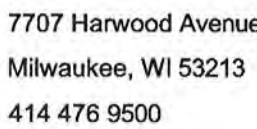
DEPARTMENT OF COMMERCE
DIVISION OF SAFETY AND BUILDINGS
SEE CORRESPONDENCE

Approved
Staff
Design
C.B.L.
C.B.L.

Full Plans w/ CB-1

06.14.06

Page 34 of 78

[illegible]

1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

ALL ARCHITECTURAL DRAWINGS ARE ORGANIZED IN CONJUNCTION WITH THE ADJACENT GRID LAYOUT. DRAWINGS ARE NUMBERED IN SEQUENTIAL ORDER LEFT TO RIGHT, TOP TO BOTTOM BEGINNING WITH THE UPPER LEFT DRAWING.

LAND INFORMATION SERVICES, INC.
9722 W. WATERTOWN PLANK ROAD
WAUWATOSA, WI 53226
(414)302-9515
(414)302-9516 - (FAX)

Floor Plan
 NAME OF DRAWING
 SCALE: $X/X'' = 1'-0''$
 DRAWING IDENTIFICATION
 SCALE
 DRAWING NUMBER

Detail Number
 DETAIL NUMBER
 DETAIL REFERENCE
 SHEET NUMBER

Wall Section Reference
 WALL SECTION REFERENCE

Building Section Reference
 BUILDING SECTION REFERENCE

Interior Elevation
 DETAIL NUMBER
 INTERIOR ELEVATION
 SHEET NUMBER

Exterior Elevation
 DETAIL NUMBER
 EXTERIOR ELEVATION
 SHEET NUMBER

Column Grid Line Reference
 COLUMN GRID LINE REFERENCE

Door Number
 DOOR NUMBER

Room Name
 ROOM NAME
 ROOM NAME & NUMBER

North Symbol
 NORTH SYMBOL

Revision Tag
 REVISION TAG

Keynote Tag
 KEYNOTE TAG

Wall Type Tag
 WALL TYPE TAG

Window Tag
 WINDOW TAG

Demolition / Equipment Tag
 DEMOLITION / EQUIPMENT TAG

	EARTH		BATT INSULATION
	SAND, PLASTER, GROUT		STEEL
	GRAVEL		GYPSUM WALLBOARD
	CONCRETE		WOOD, FINISHED
	PRECAST CONCRETE		WOOD, BLOCKING
	BRICK		WOOD SHIM
	CONCRETE BLOCK		PLYWOOD
	TERRAZZO		ACOUSTICAL TILE
	METAL STUD PARTITIONS		WOOD STUD PARTITIONS
	RIGID INSULATION		CEMENTITIOUS SHEATHING

PIERCE ENGINEERS, INC.
241 N. BROADWAY, SUITE 500
MILWAUKEE, WI 53202
(414)278-6060
(414)278-6061 - (FAX)

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
2. FINISHED FLOOR HEIGHT IS 100'-0". REFER TO CIVIL PLAN FOR ACTUAL DATUM ELEVATION.
3. ALL WORK OF THE CONTRACTOR SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS, CODES, ORDINANCES, RULES AND REGULATIONS OF THE CITY, COUNTY STATE AND FEDERAL JURISDICTION INCLUDING REQUIREMENTS OF THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
4. THE CONTRACTOR SHALL REPORT IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS, TO THE ARCHITECT.
5. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE OF THE WORK AND VERIFY GRADE ELEVATIONS, UTILITIES, AND OTHER EXISTING CONDITIONS WHETHER OR NOT SHOWN ON THE DRAWINGS. LOCATE ALL GENERAL SITE REFERENCE DATA FOR PROPERTY LINES AND GRADE ELEVATIONS AND DO THAT WORK WHICH IS NECESSARY TO PREVENT THEIR DISLOCATION OR DESTRUCTION.
6. CONTRACTOR SHALL CLEAR THE CONTRACT WORK AREA ONLY. PROTECT EXISTING UTILITIES, TREES AND/OR NATURAL VEGETATION WHICH IS REQUIRED TO REMAIN.
7. THE CLEARING/FILLING/EXCAVATING OF THIS AREA SHALL BE ACCOMPLISHED IN A MANNER AS TO MINIMIZE THE RUNOFF OF SILT AND SEDIMENT INTO THE STORM DRAINAGE SYSTEM AND ONTO ADJACENT OR DOWNSTREAM PROPERTIES. EROSION CONTROL MEASURES SHALL BE INSTITUTED AS NECESSARY BY THE CONTRACTOR TO ACCOMPLISH THIS EROSION CONTROL. ANY AND ALL EROSION FILLING REQUIRED FOR THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. NO DEBRIS, FERTILIZER, FERTILIZED VEGETATION OR WASTE MATERIALS SHALL BE DEPOSITED ON ANY OTHER PROPERTY WITHIN THE BUILDING AREAS, ADJACENT BUILDINGS TO ACHIEVE DRAINAGE AWAY FROM BUILDINGS. SLOPE 5% OR GREATER, AS MAY BE SHOWN, FOR THE FIRST 10'-0" TOWARDS ADJACENT DRAINAGE FACILITIES.
9. FINISH FLOOR TO BE A MINIMUM 4" ABOVE ADJACENT FINISH GRADE.
10. DO NOT SCALE DRAWINGS.
11. VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT-IN EQUIPMENT PRIOR TO PERFORMING WORK. NO CHANGE ORDERS WILL BE APPROVED FOR CONTRACTOR FAILURE TO DO SO.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
13. REPETITIVE FEATURES IN THE CONSTRUCTION DOCUMENTS ARE OFFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

VJS
2000 BLUEMOUND ROAD
WAUKESHA, WI 53186
(262)542-9000
(262)542-1371 - (FAX)

#	Title
A0.1	Coversheet
A0.2	Title Sheet
AS.1	Site Plan
A1.1	Floor Plans
A2.1	Reflected Ceiling Plan
A3.1	Roof Plan
A4.1	Exterior Elevations
A5.1	Building Sections
A6.1	Wall Sections & Details
A6.2	Wall Sections & Details
A6.3	Wall Sections & Details
A9.1	Schedules & Door Details
Structural	
S1.0	FOUNDATION PLAN
S2.0	ROOF FRAMING PLAN
S3.0	FOUNDATION DETAILS
S4.0	FRAMING DETAILS
S4.1	FRAMING DETAILS
S4.2	FRAMING DETAILS



SITE SIZE: 179,291 S.F. (4.11 ACRES)
BUILDING ADDITION SIZE: 15,795 s.f.
BUILDING CODE: WISCONSIN ENROLLED COMMERCIAL BUILDING CODE
OCCUPANCY CLASSIFICATION: Group M
CONSTRUCTION TYPE: IIB
SPRINKLERED: YES

SPECTRUM DEVELOPMENT GROUP LLC
6526 RIVER PARKWAY
WAUWATOSA, WI 53213
(414) 258-8500
(414) 607-8811 - (FAX)

Sheet

TITLE SHEET

Project

PEWAUKEE CROSSINGS

Date _____

06.14.06

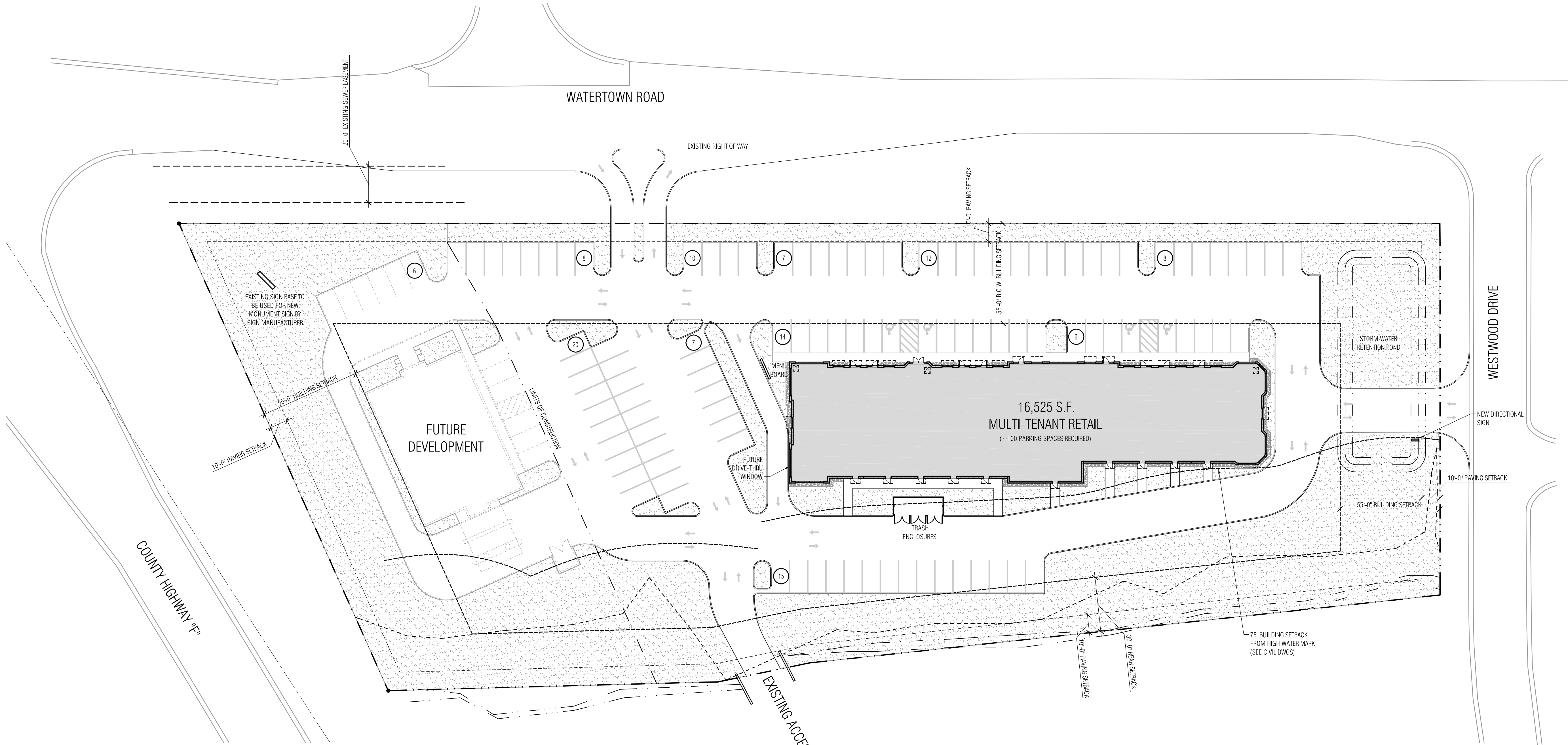
Project Number

060033.00

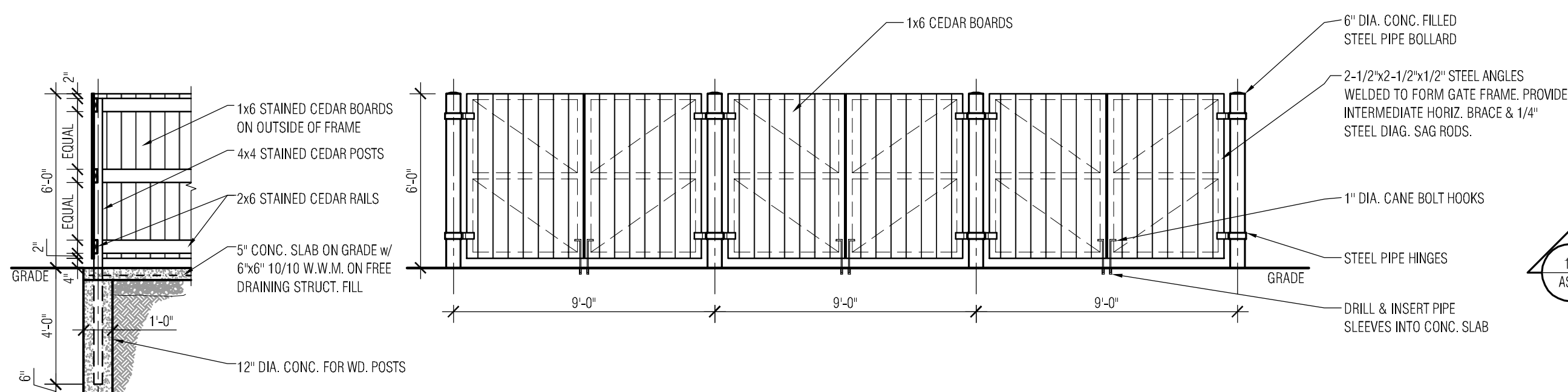
Sheet Number

AO.2

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

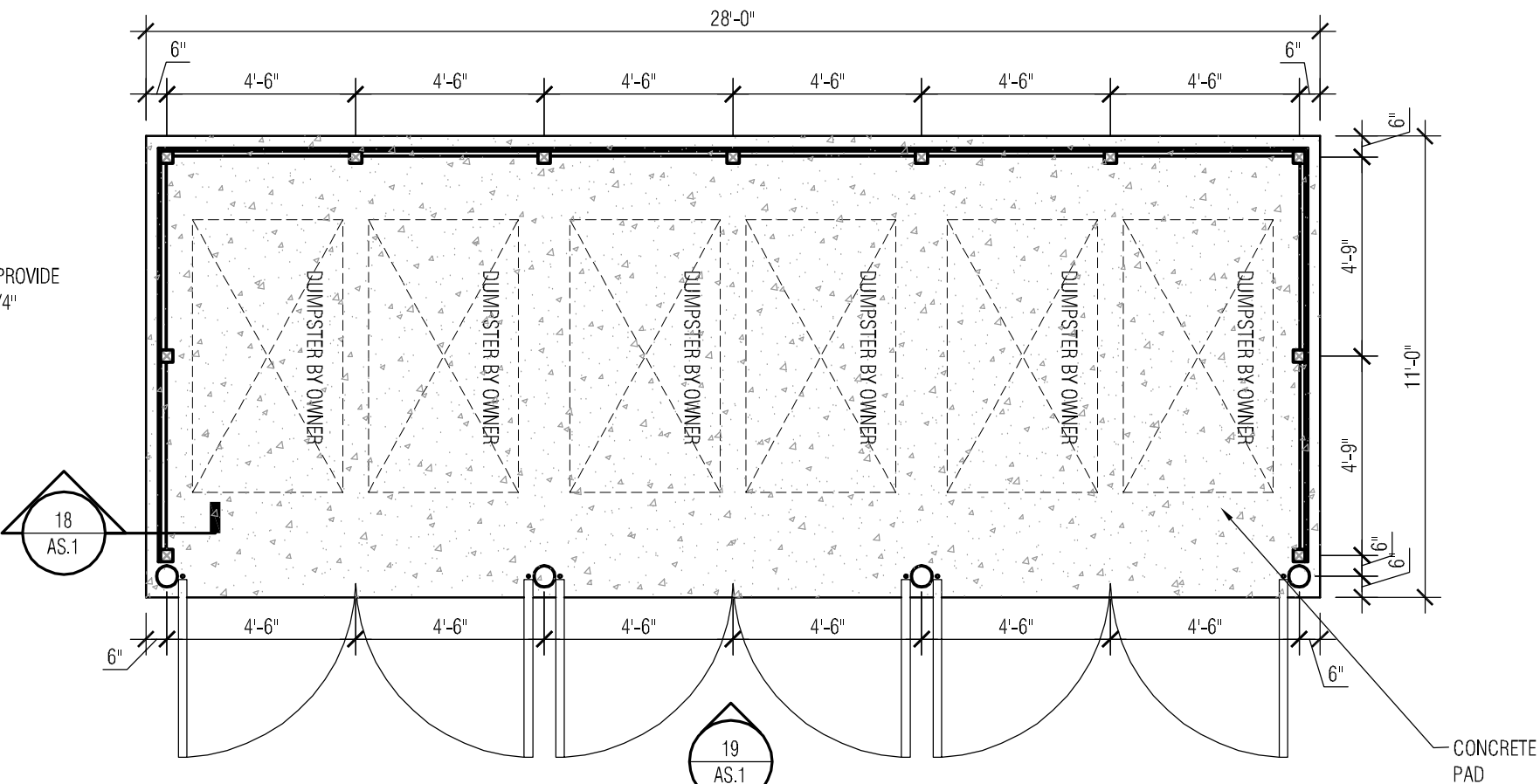


11 Site Plan
SCALE: 1" = 30'-0"



18 TRASH ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"

19 TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



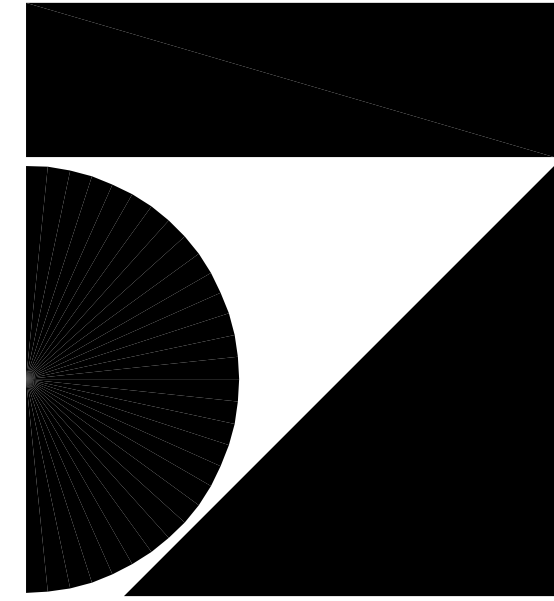
20 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

**NOTE
REFER TO CIVIL DWGS FOR ALL
DIMENSIONS AND SITE DETAILS

SITE INFORMATION
TOTAL SITE AREA:
- 151,164 S.F. (3.47 ACRES)
CURRENT ZONING:
- B-6 MIXED USE (CITY OF PEWAUKEE)
GREEN SPACE:
- 35% REQUIRED
- 42% PROVIDED
BUILDING HEIGHT:
- 40' MAX.
BUILDING SETBACKS:
- 55' FROM RIGHT OF WAY:
- 30' REAR
- 30' SIDE
- 75' FROM HIGH WATER MARK
PARKING SETBACKS:
- 10' FROM ALL PROPERTY LINES
PARKING REQUIREMENTS:
- 116 SPACES PROVIDED (10' x 18')

the Zimmerman Design Group

Architecture Planning Interior & Environmental Design



7707 Harwood Avenue
Milwaukee, WI 53213
414 476 9500

Revisions

Sheet
SITE PLAN

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

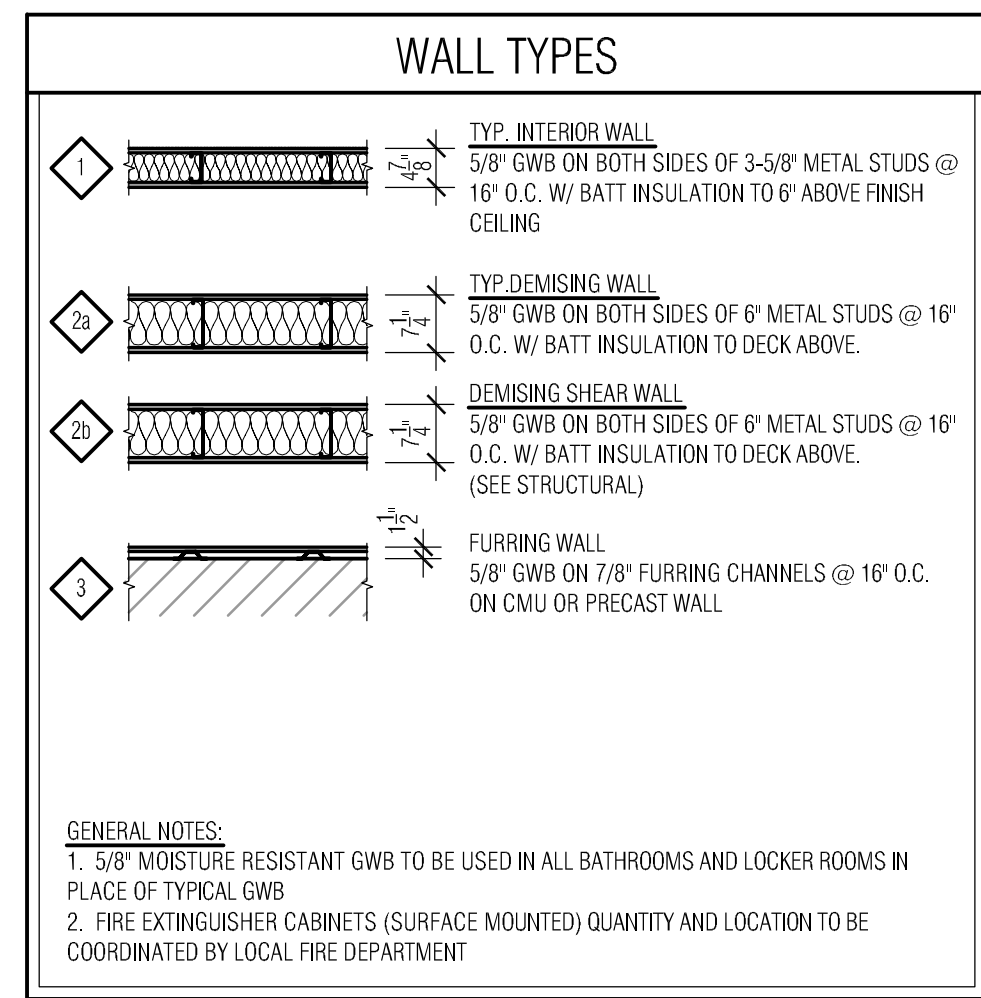
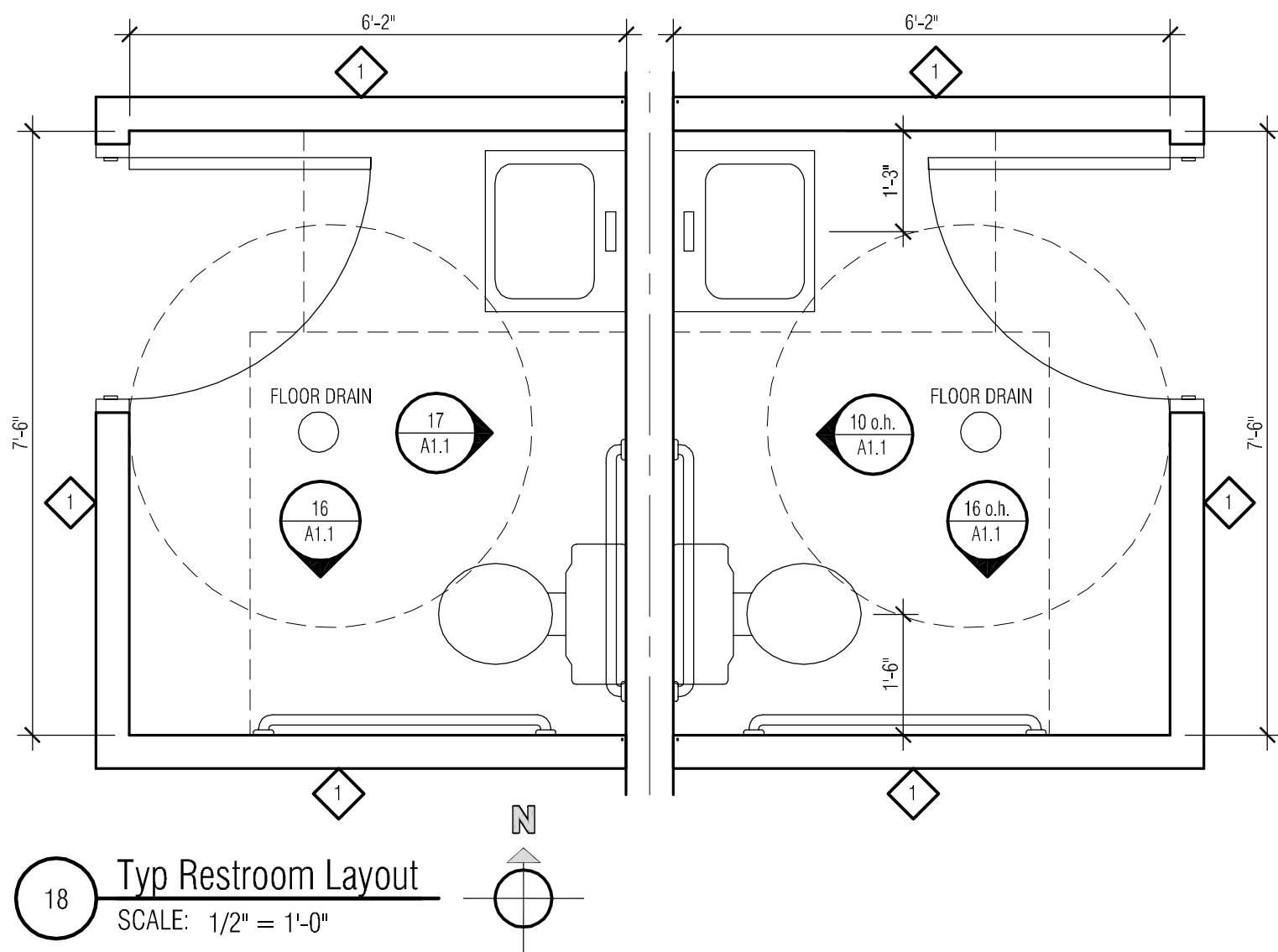
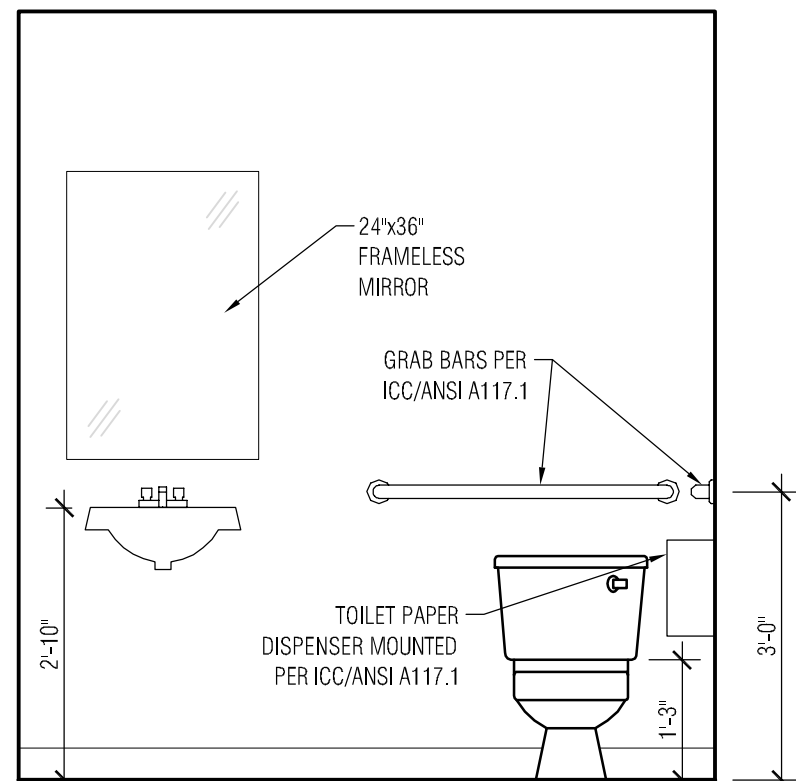
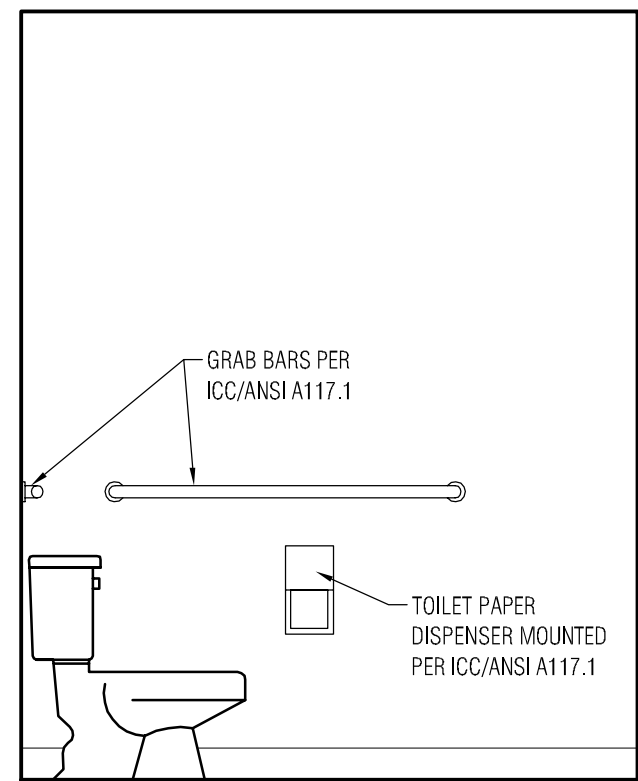
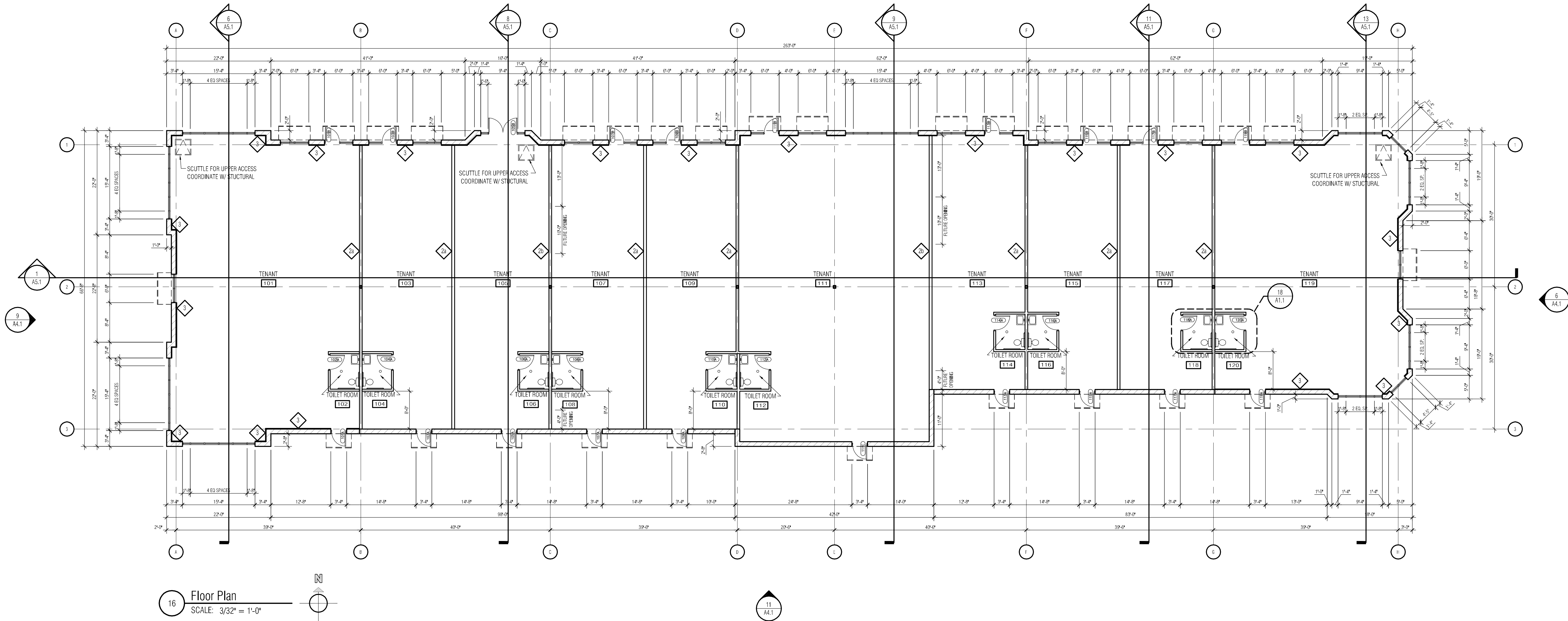
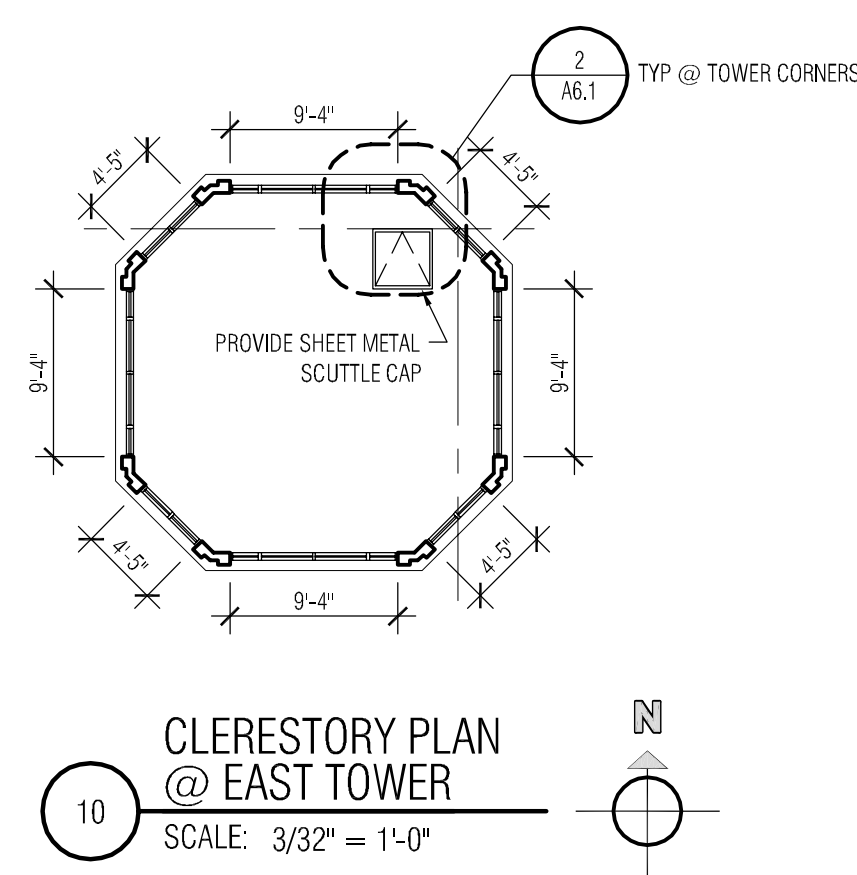
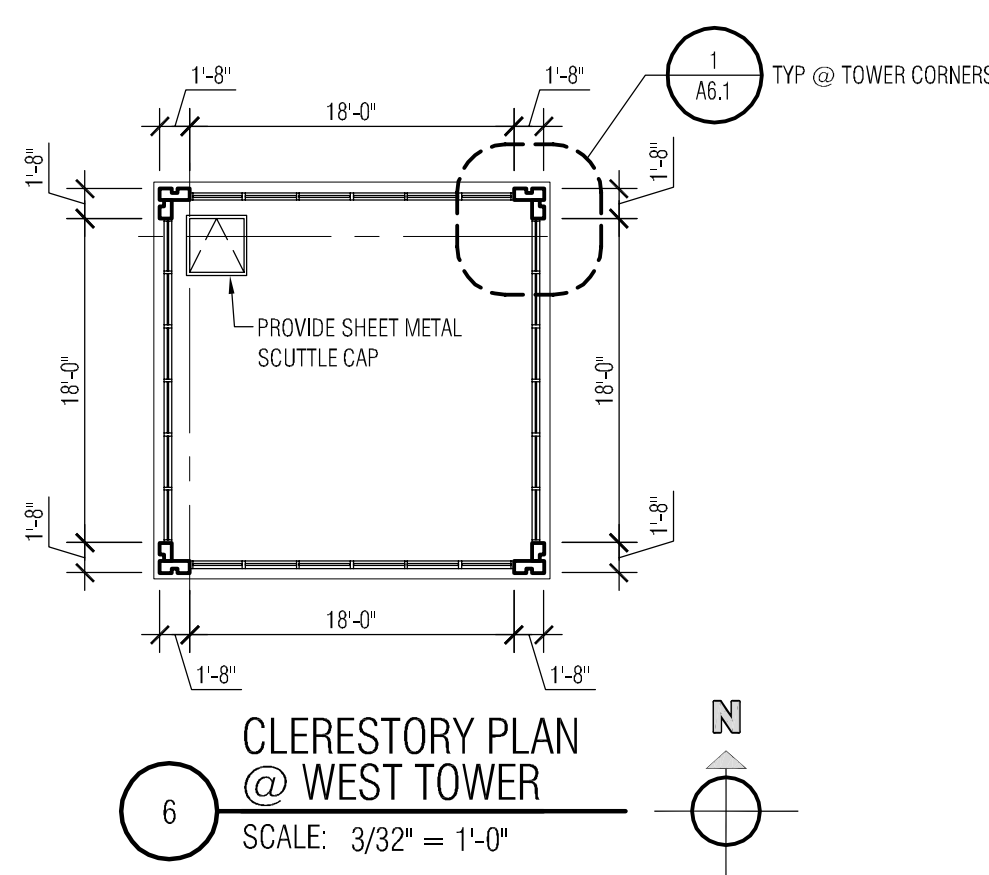
Date
06.14.06

Project Number
060033.00

Sheet Number

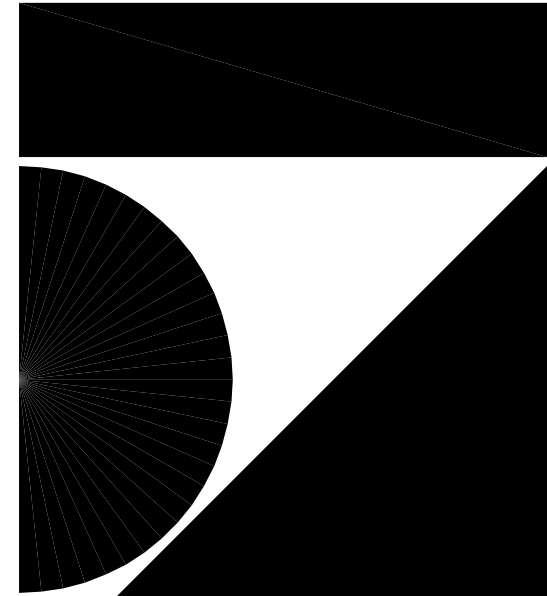
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THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGES, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



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Sheet
FLOOR PLANS

Project
PEWAUKEE CROSSINGS

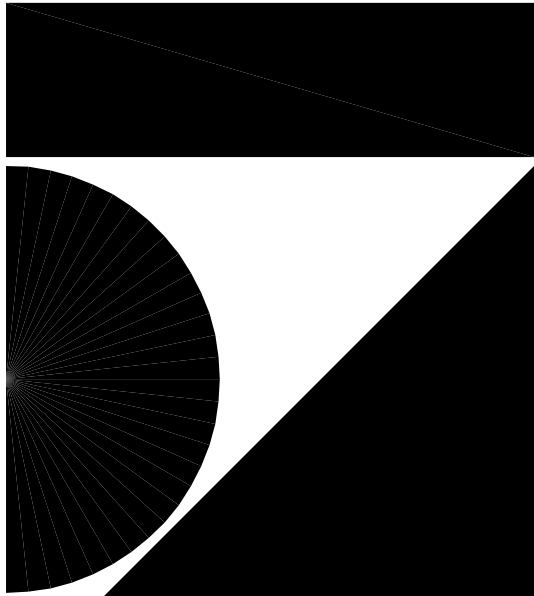
COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date
06.14.06

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060033.00

Sheet Number

A1.1



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REFLECTED CEILING PLAN

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date

06.14.06

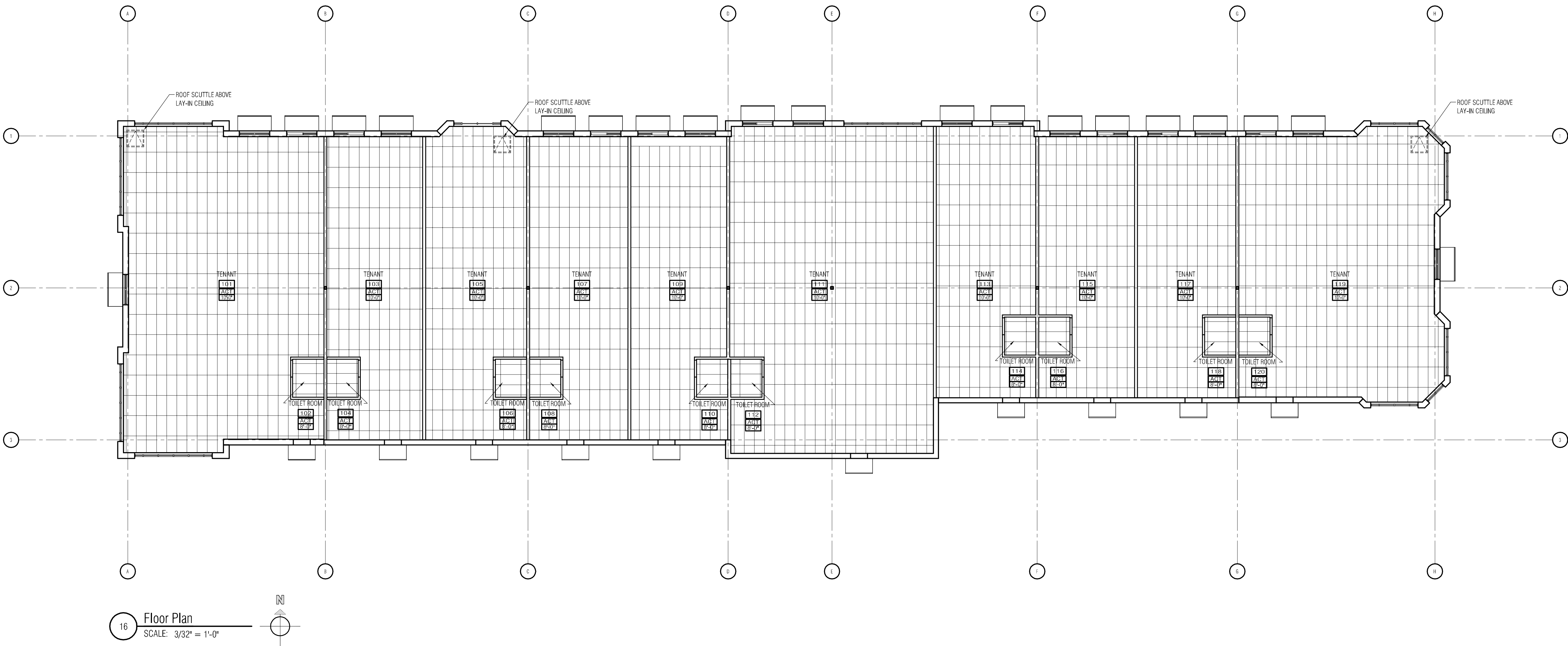
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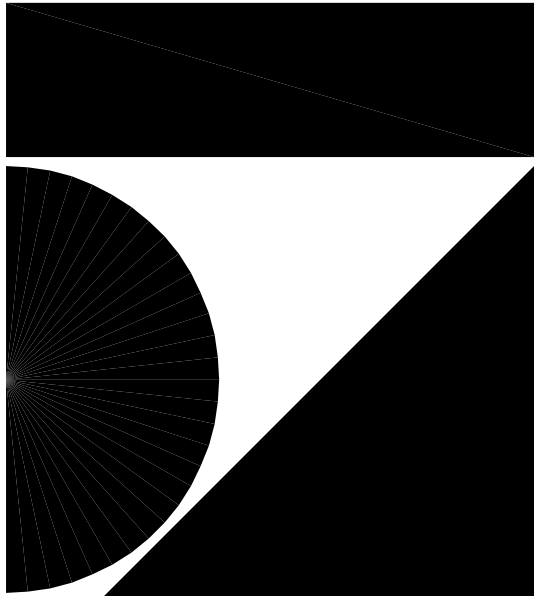
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THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.





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Revisions

Sheet
ROOF PLAN

Project
PEWAUKEE CROSSINGS

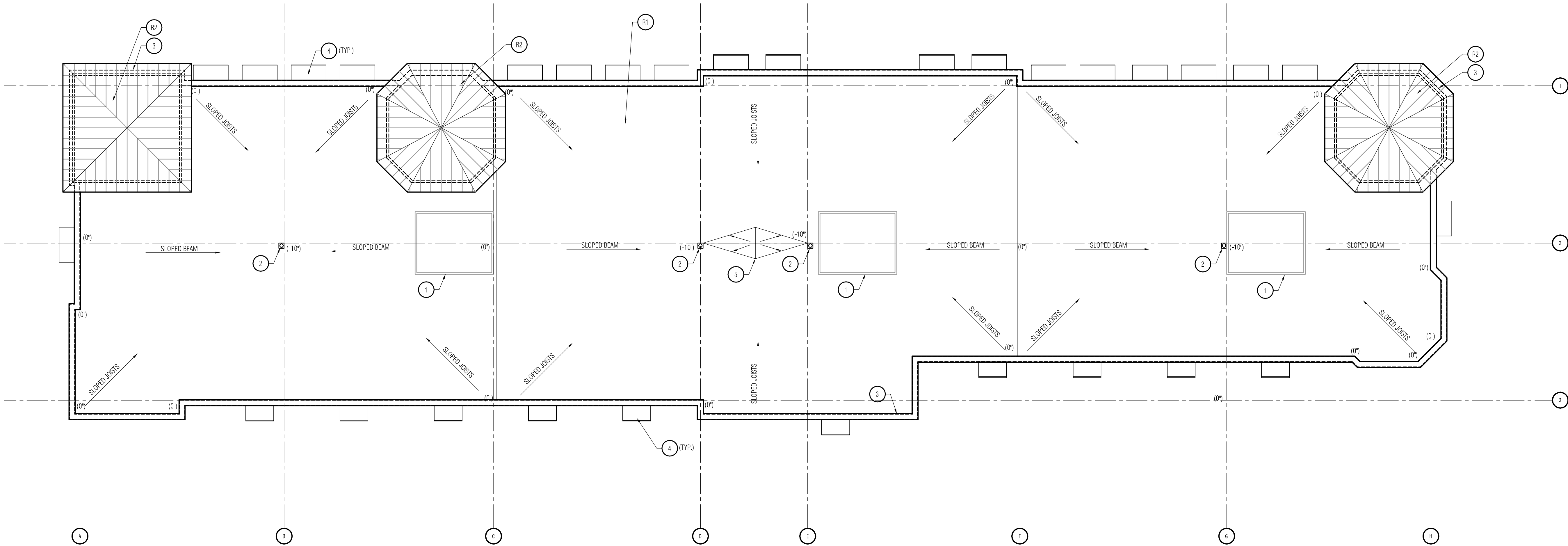
COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date
06.14.06

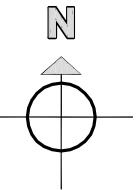
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Sheet Number

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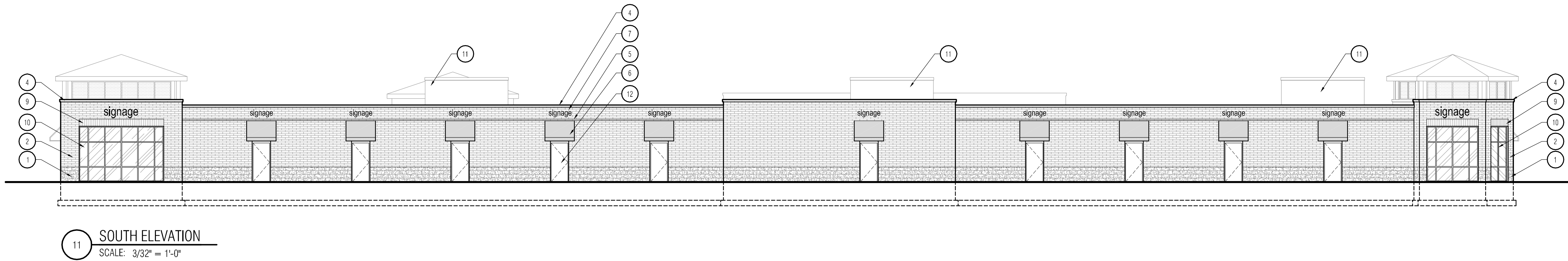
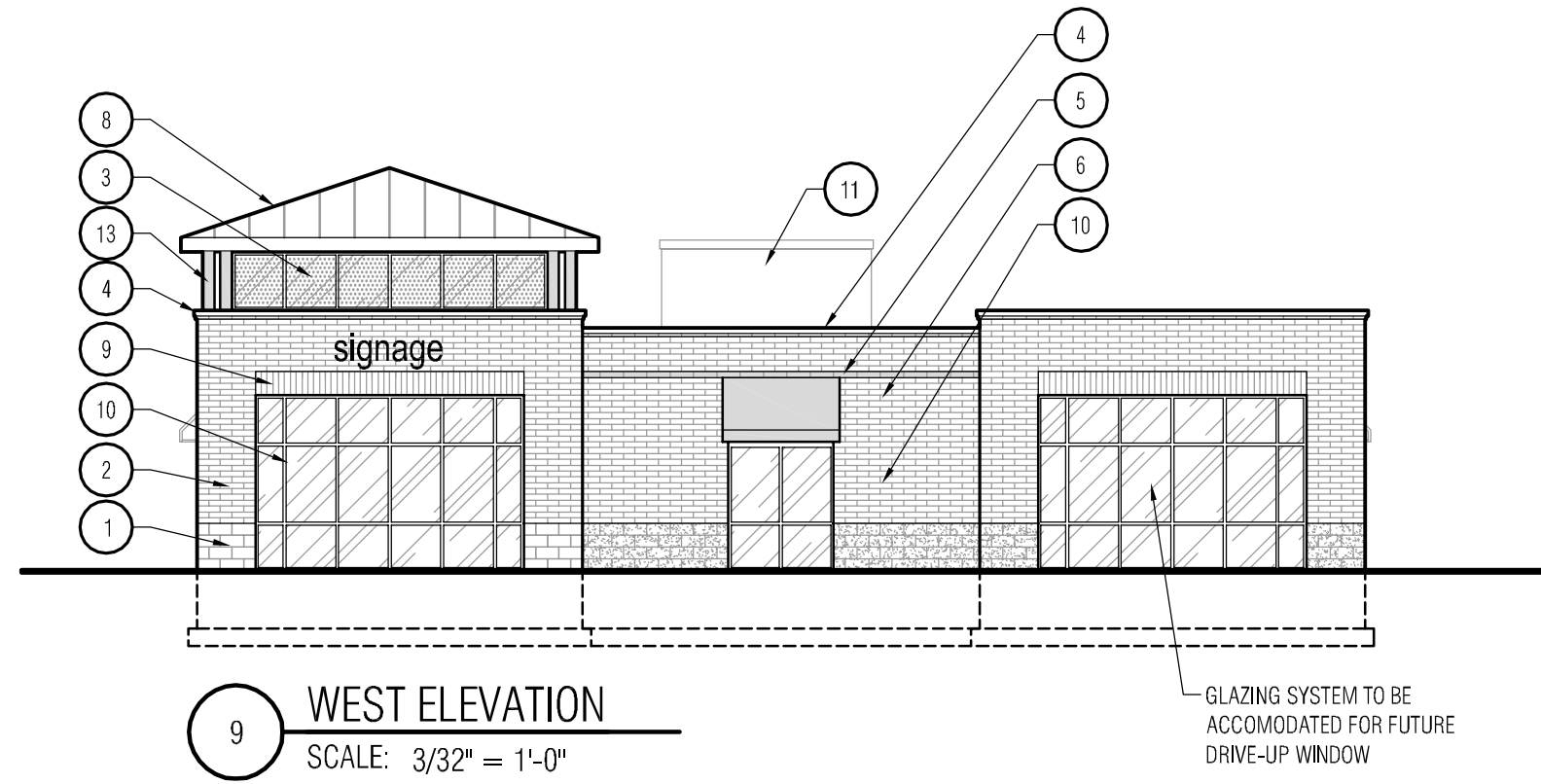
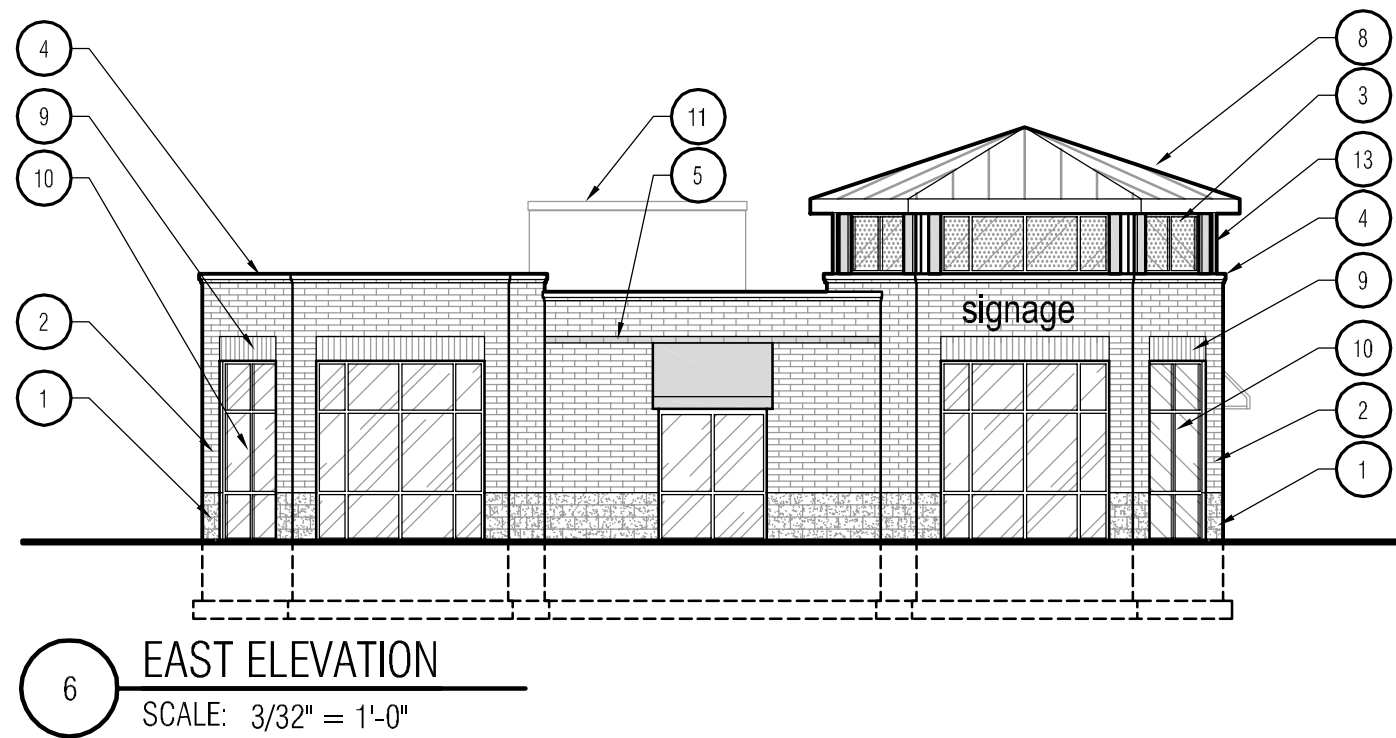
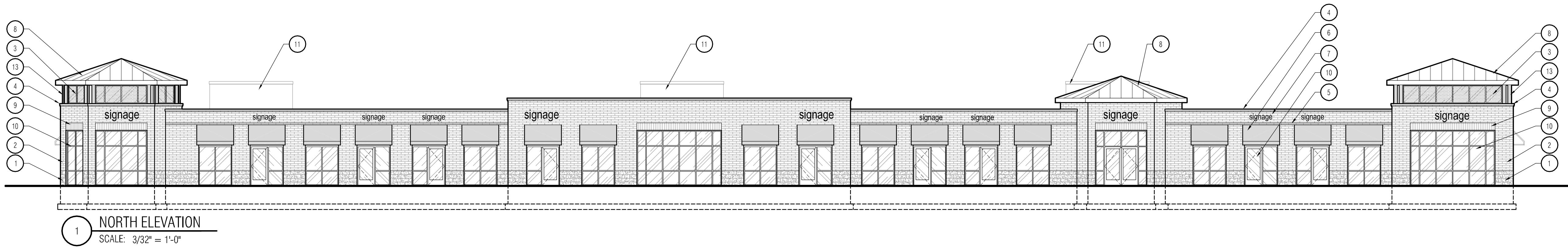


16 Roof Plan
SCALE: 3/32" = 1'-0"

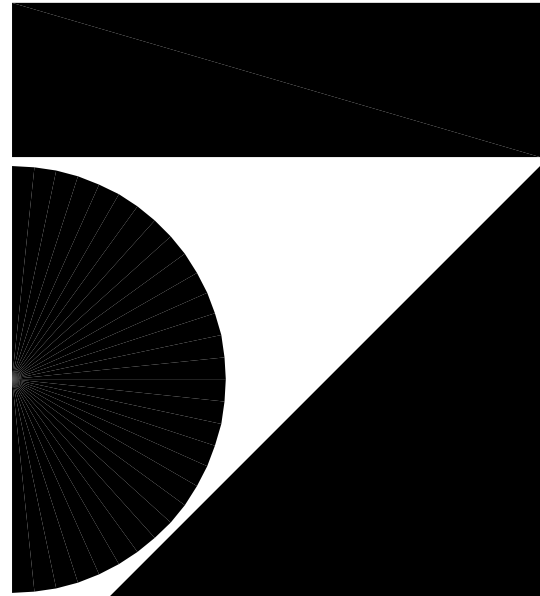


ROOF PLAN KEYNOTES	
**FOR ALL ELEVATION MARKS (0') REFERS TO JOIST BEARING (SEE STRUCTURAL)	
R1	ROOF SYSTEM #1 LOOSE LAID BALLASTED SINGLE-PLY MEMBRANE ROOFING ON 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
R2	ROOF SYSTEM #2 STANDING SEAM METAL ROOF PANELS ON FIRE RESISTANT EXTERIOR GRADE SHEATHING ON 6" METAL STUD FRAMING (SEE STRUCTURAL)
1	MECHANICAL SCREENS - 6'-0" HIGH HORIZONTAL RIB METAL PANEL (PAINTED TO MATCH BRICK) ATTACHED TO TUBE STEEL STRUCTURE (SEE STRUCTURAL)
2	ROOF DRAIN
3	WALL PROFILE BELOW
4	AWNING BELOW
5	TAPERED INSULATION CRICKET

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ELEVATION KEYNOTES	
1	SPLIT-FACE CMU
2	DECADE 90 MASONRY UNITS
3	ALUMINUM STOREFRONT GLAZING W/ FROSTED GLAZING
4	PREFINISHED METAL COPING
5	ACCENT BAND OF DECADE 90 MASONRY UNITS
6	VINYL FABRIC AWNINGS
7	CHANNEL LETTER SIGNAGE W/ INTERNAL ILLUMINATION
8	PREFINISHED STANDING SEAM METAL ROOFING SYSTEM
9	SOLDIER BRICK COURSE LINTEL
10	INSULATED ALUMINUM STOREFRONT GLAZING
11	ROOF TOP UNIT SCREEN PANEL PAINTED TO MATCH BRICK
12	INSULATED HOLLOW METAL DOOR AND FRAME
13	PAINTED TUBE STEEL AND BREAK METAL CLOSURES AT ALL CORNERS OF TOWERS



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EXTERIOR ELEVATIONS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
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PEWAUKEE, WI

Date

06.14.06

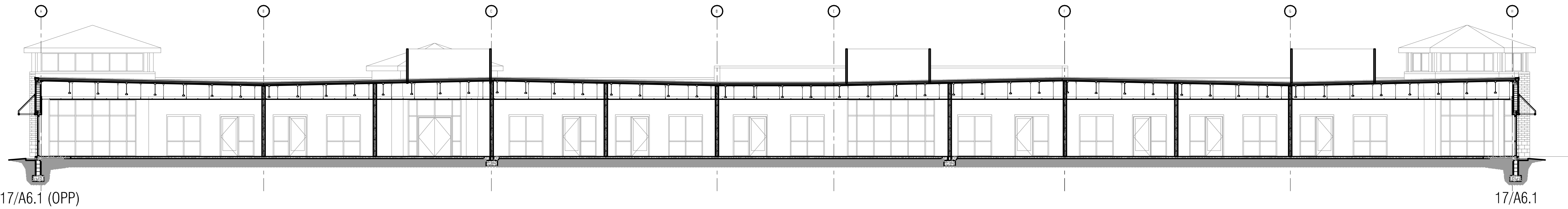
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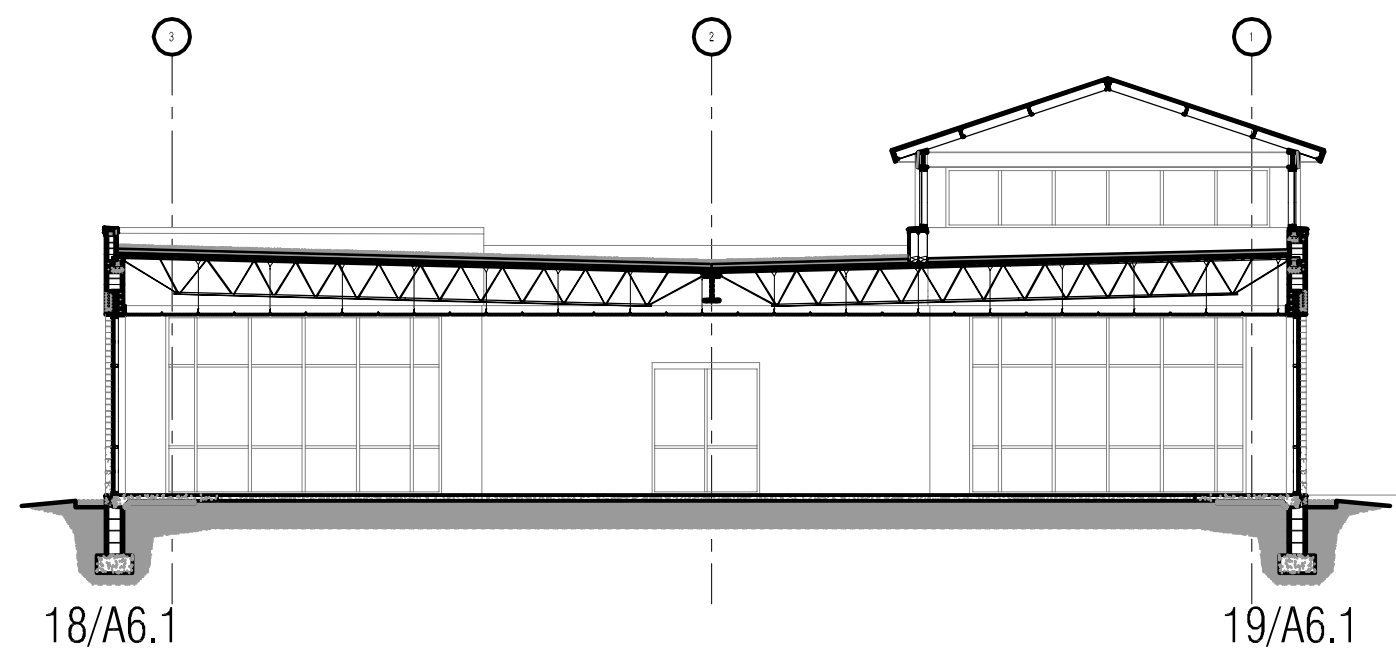
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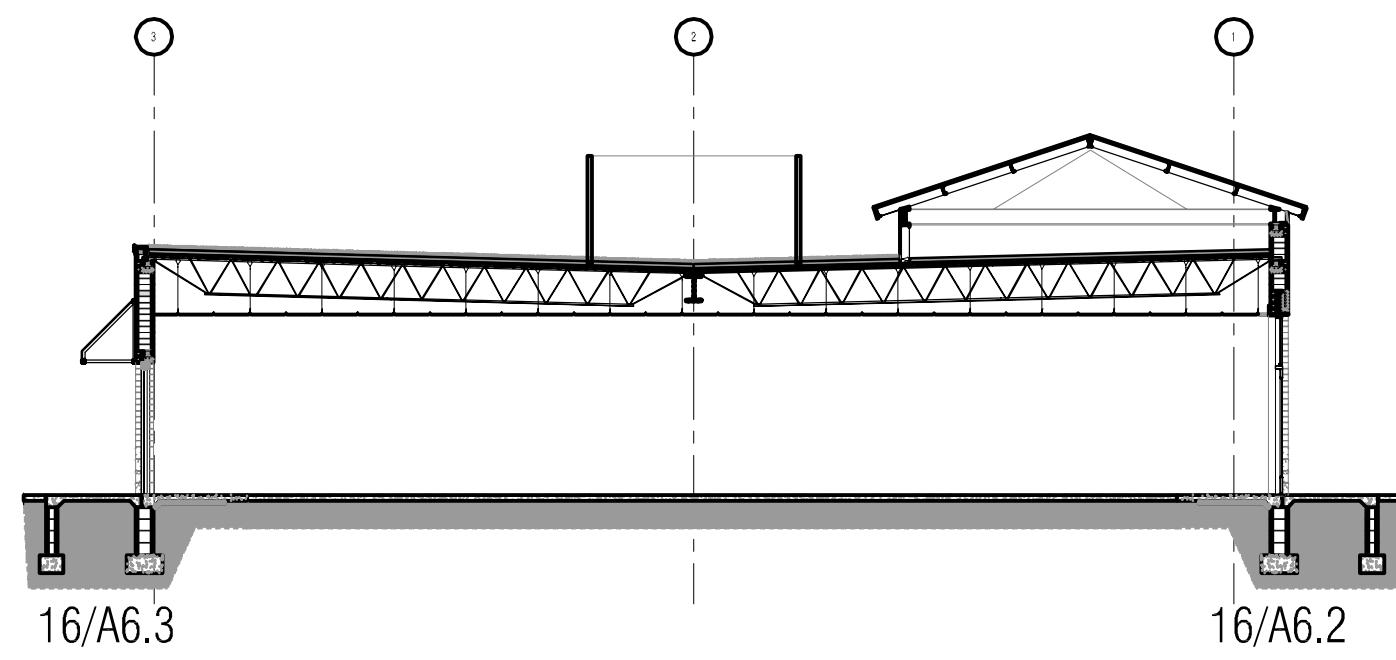
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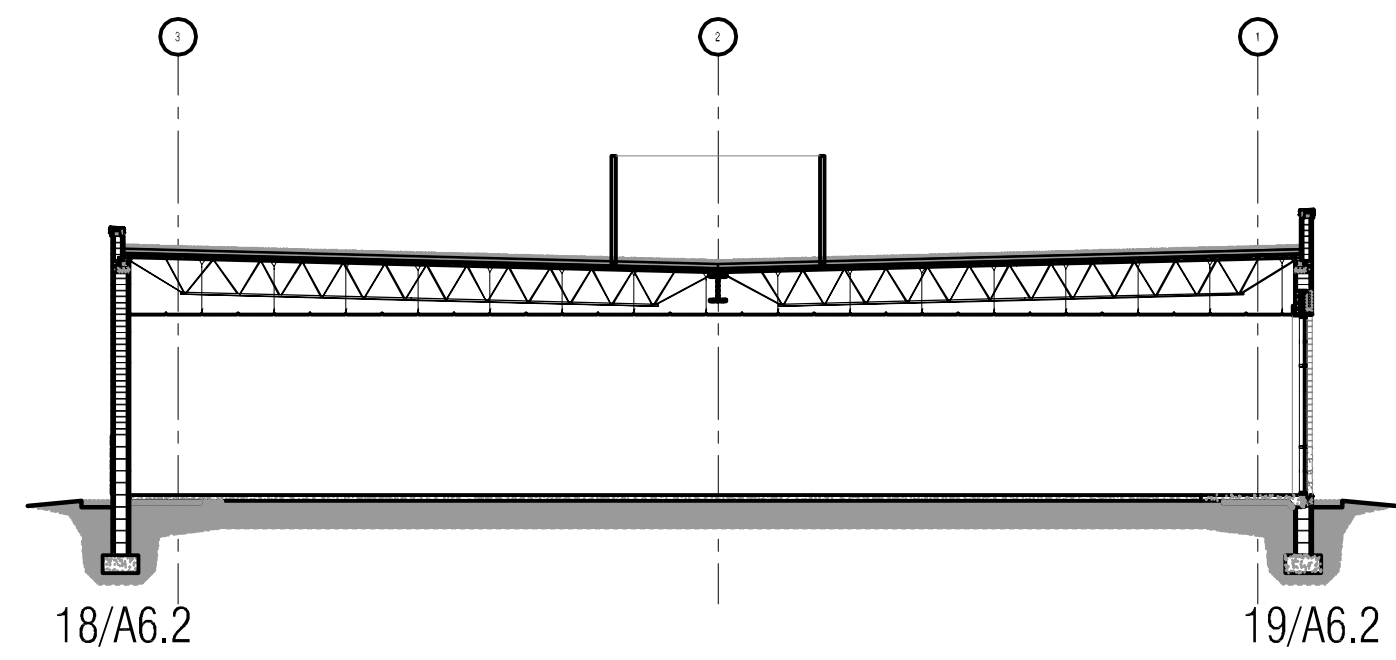
1 EAST/WEST BUILDING SECTION LOOKING NORTH
SCALE: 3/32" = 1'-0"



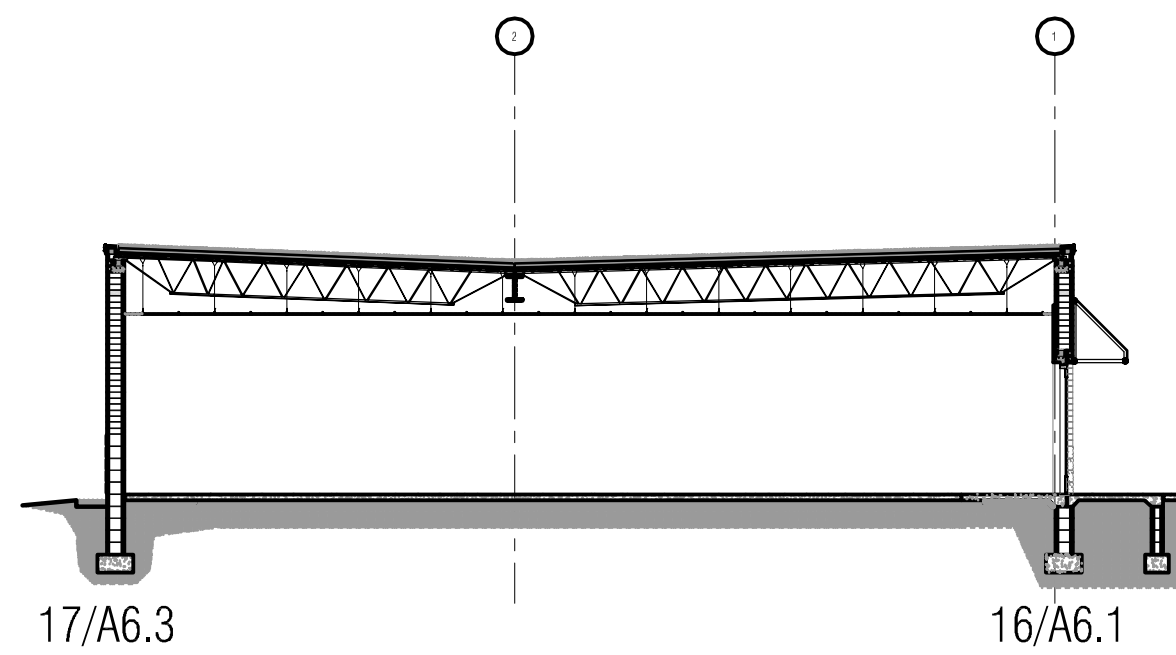
6 NORTH/SOUTH BUILDING SECTION @ WEST TOWER
SCALE: 3/32" = 1'-0"



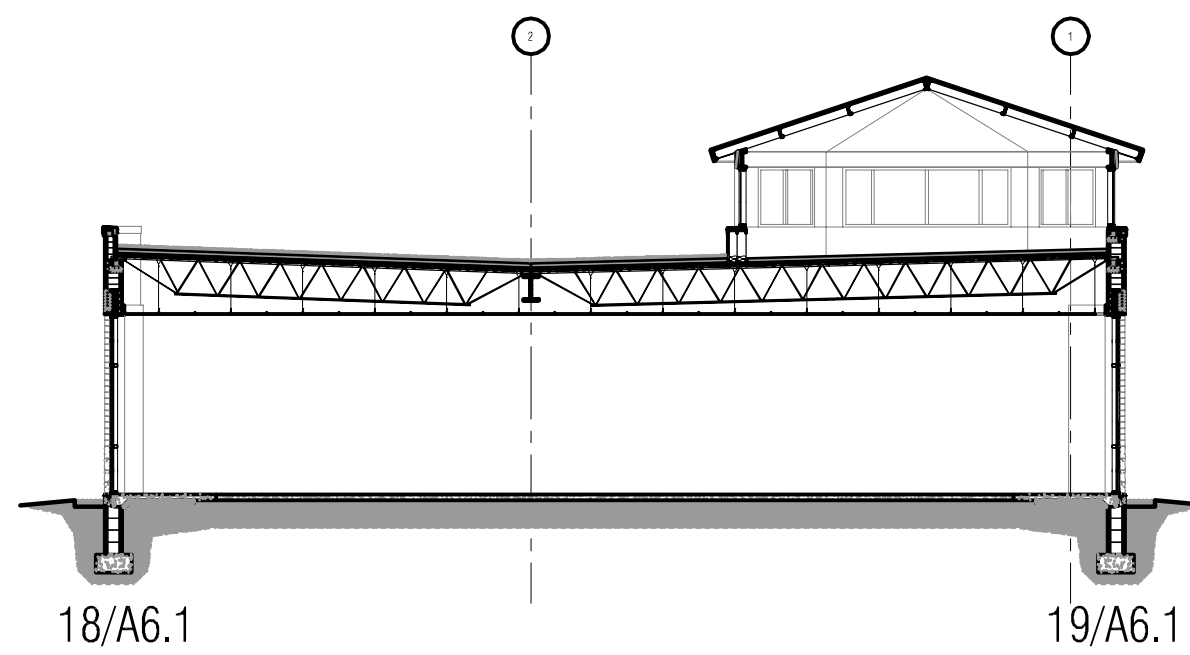
8 NORTH/SOUTH BUILDING SECTION
SCALE: 3/32" = 1'-0"



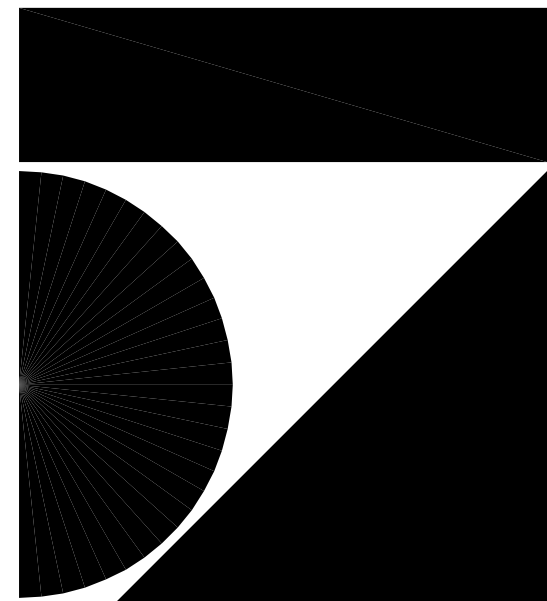
9 NORTH/SOUTH BUILDING SECTION
SCALE: 3/32" = 1'-0"



11 NORTH/SOUTH BUILDING SECTION
SCALE: 3/32" = 1'-0"



13 NORTH/SOUTH BUILDING SECTION @ EAST TOWER
SCALE: 3/32" = 1'-0"



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BUILDING SECTIONS

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
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PEWAUKEE, WI

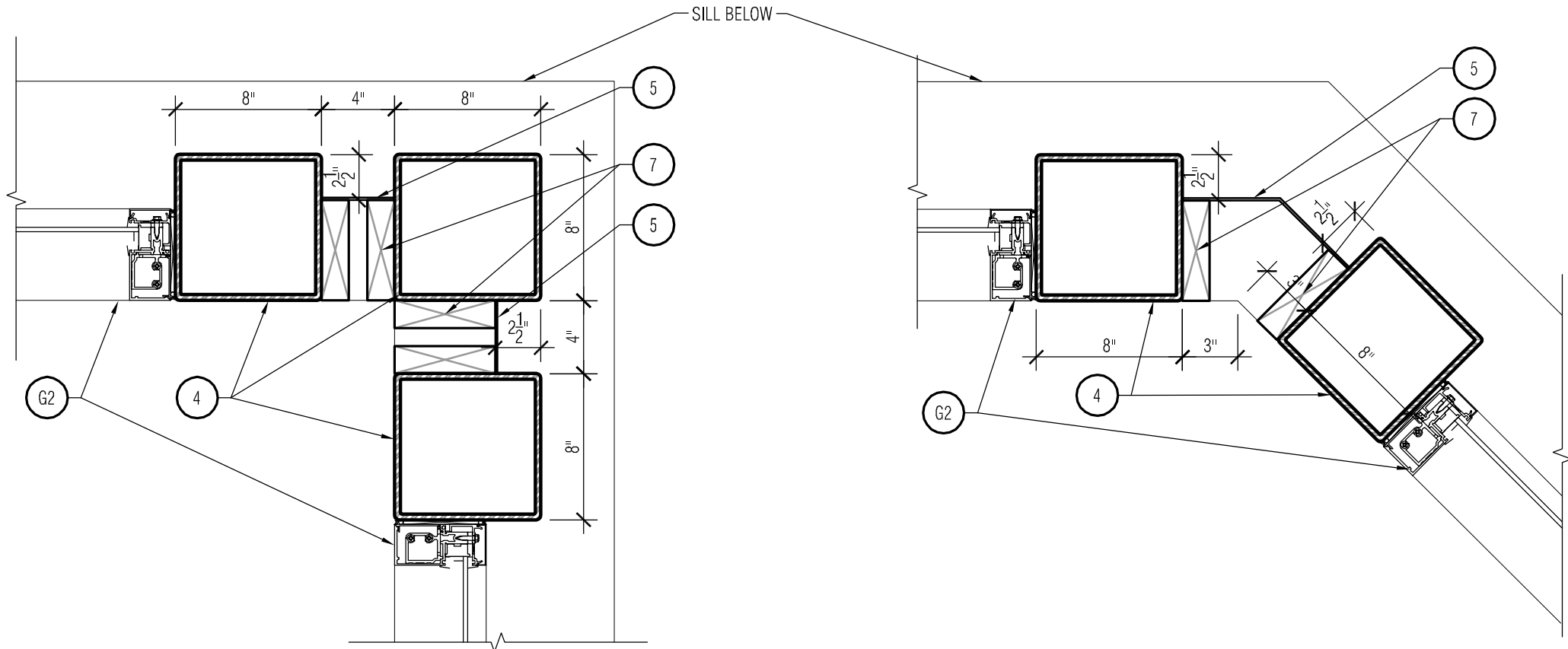
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Project Number
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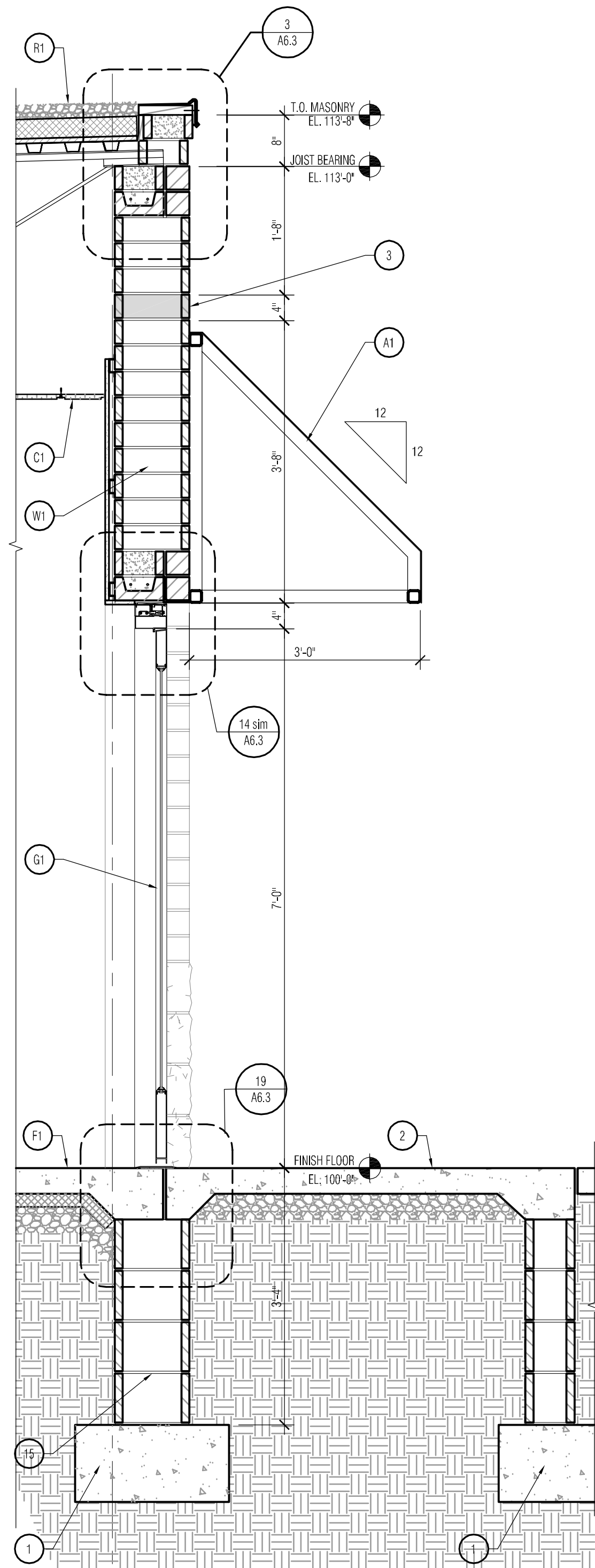
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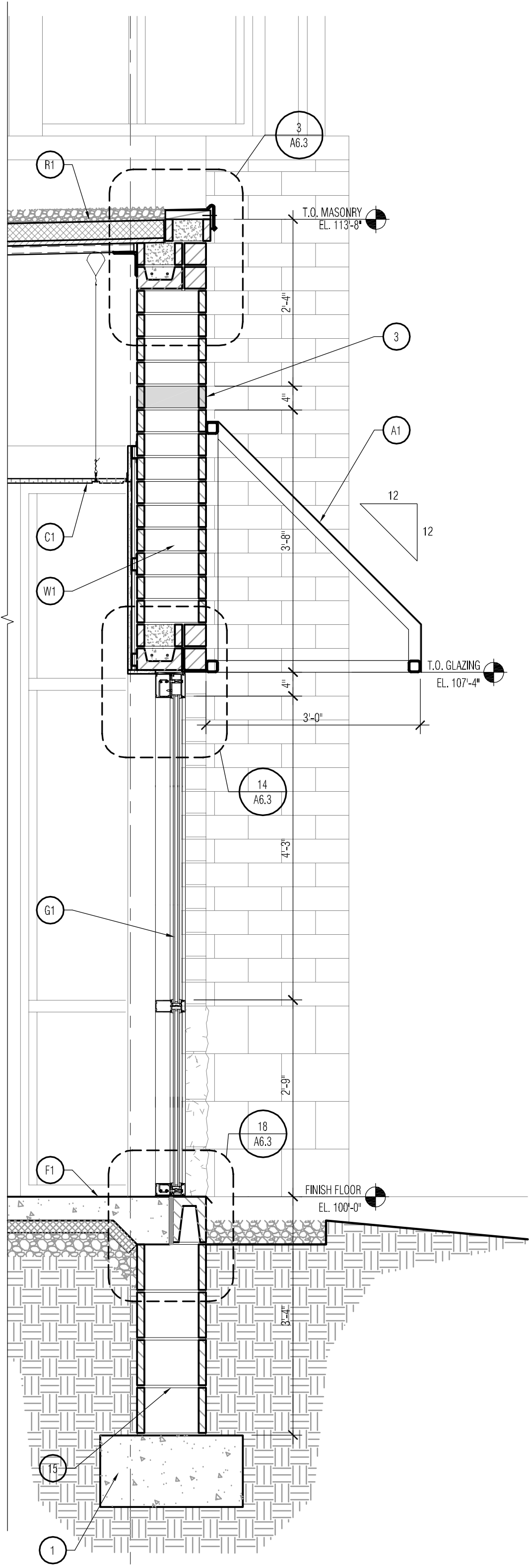


1 Tower Corner Detail
SCALE: 1-1/2" = 1'-0"

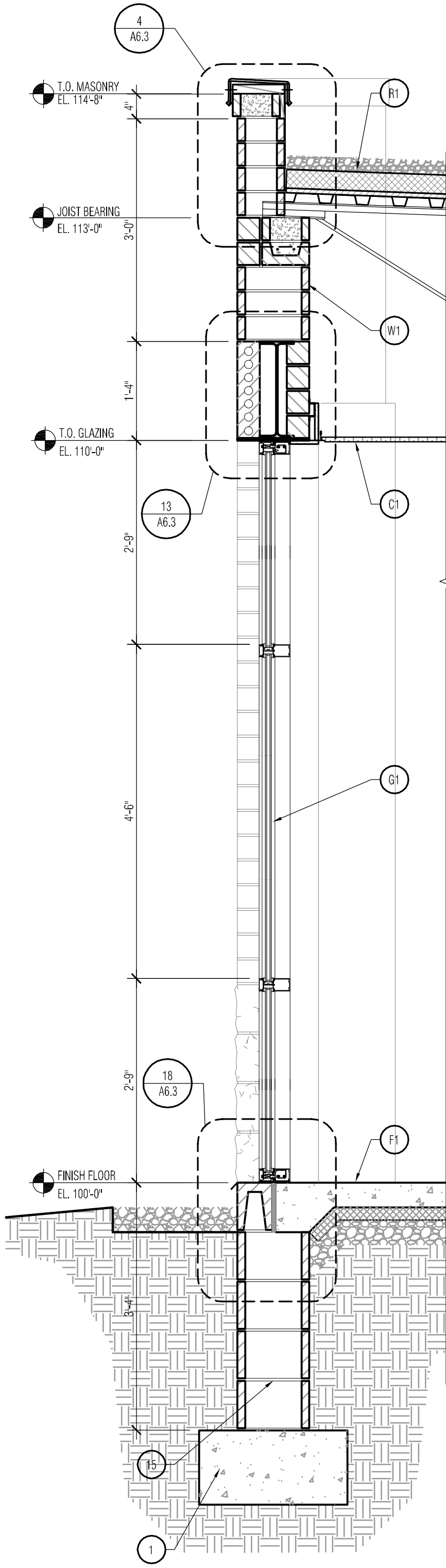


16 Wall Section @ Typ Front Entry
SCALE: 3/4" = 1'-0"

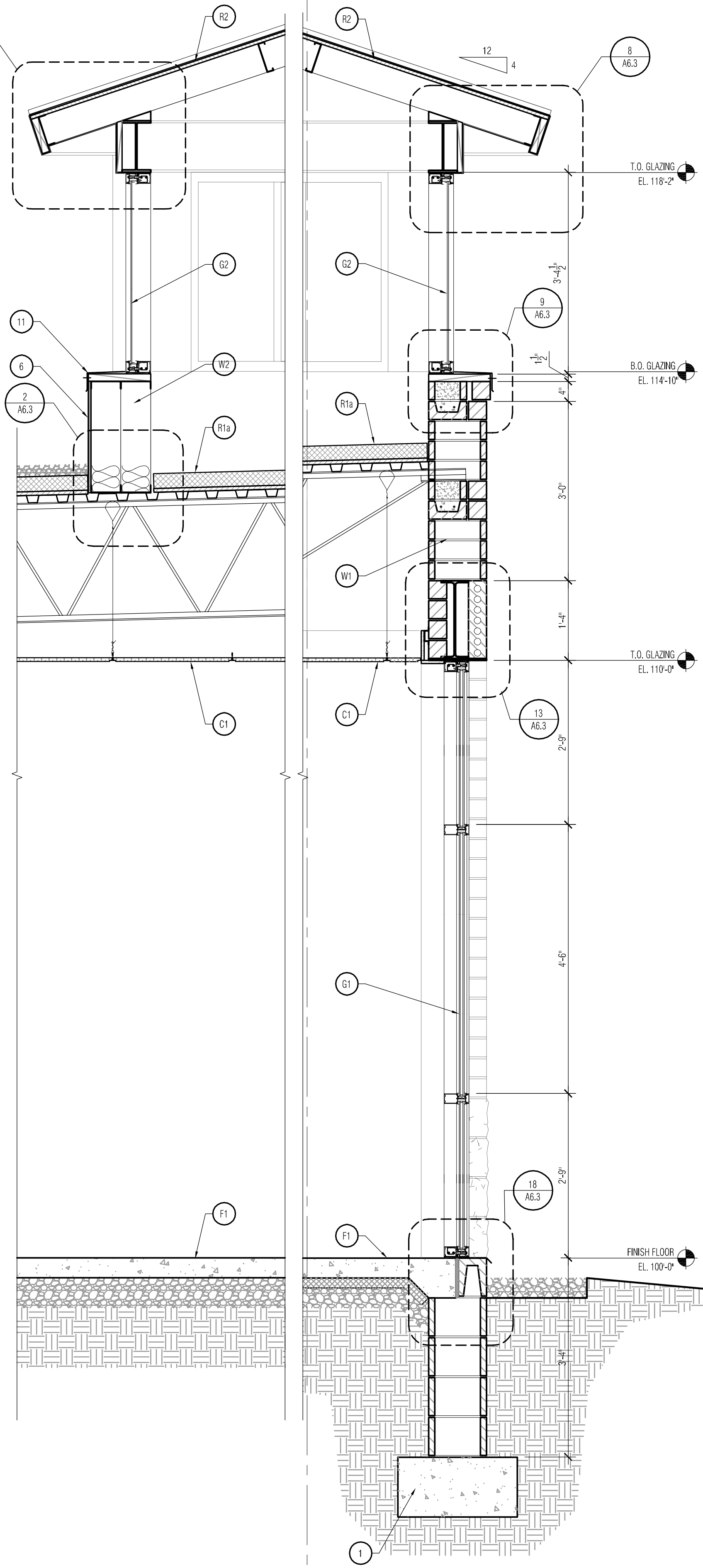
2 Tower Corner Detail
SCALE: 1-1/2" = 1'-0"



17 Wall Section @ Typ Window Unit
SCALE: 3/4" = 1'-0"



18 Wall Section
SCALE: 3/4" = 1'-0"

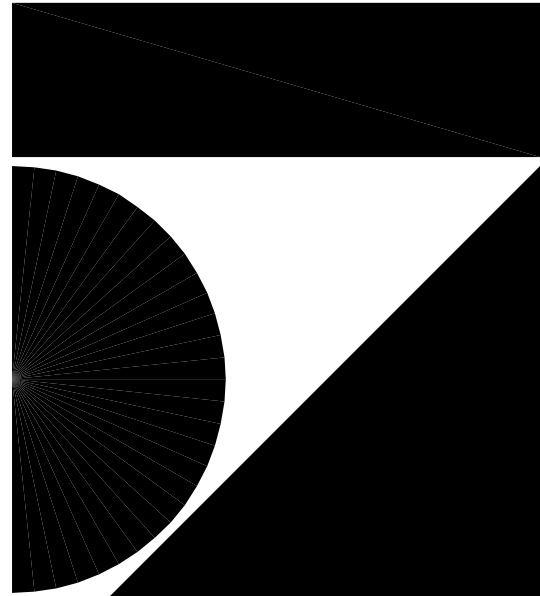


19 Wall Section East and West Towers
SCALE: 3/4" = 1'-0"

SECTION KEYNOTES	
F1	FLOOR SYSTEM #1 4" REINF. CONCRETE SLAB ON VAPOR BARRIER ON COMPACTED GRANULAR FILL. PROVIDE 2" RIGID INSULATION PER CODE @ FOUNDATION PERIMETER WALL. PROVIDE ISOLATION JOINT MATERIAL AT COLUMNS AND PERIMETER (SEE STRUCTURAL)
W1	WALL SYSTEM #1 12" SPLIT-FACE CMU TO 2'-8" A.F.F., DECADE 90 BRICK (4"x16" NOM) ABOVE, W/ FOAMED IN PLACE INSULATION AT ALL EXTERIOR CONDITIONS
W2	WALL SYSTEM #2 1/2" FIRE RESISTANT SHEATHING ON DOUBLE 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
W3	WALL SYSTEM #3 1/2" FIRE RESISTANT SHEATHING ON 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
G1	GLAZING SYSTEM #1 STOREFRONT SYSTEM W/ 1" INSUL. GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
G2	GLAZING SYSTEM #2 STOREFRONT SYSTEM W/ SINGLE PANE FROSTED GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
R1	ROOF SYSTEM #1 LOOSE LAID BALLASTED SINGLE-PLY MEMBRANE ROOFING ON 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
R1a	ROOF SYSTEM #1a 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
R2	ROOF SYSTEM #2 STANDING SEAM METAL ROOF PANELS ON FIRE RESISTANT EXTERIOR GRADE SHEATHING ON 6" METAL STUD FRAMING (SEE STRUCTURAL)
C1	CEILING SYSTEM #1 2x4 SUSPENDED CEILING TILE (SEE FINISH SCHEDULE AND R.C.P. FOR MATERIAL AND HEIGHT).
A1	AWNING SYSTEM #1 VINYL FABRIC AWNING ON ALUMINUM FRAMING (OPEN SIDES)
OP1	COPING SYSTEM #1 PRE-FINISHED 2 PIECE METAL GRAVEL STOP W/ CONTINUOUS HOLD-DOWN CLIPS ON 2x WOOD NAILERS ANCHORED TO TOP OF WALL.
1	REINFORCED CONCRETE FOUNDATION (SEE STRUCTURAL)
2	POURED CONCRETE SIDEWALK/STOOP ON 6" COMPACTED FILL. PROVIDE 1/2" ISOLATION JOINT MATERIAL @ EXTERIOR WALL CONDITIONS (SEE STRUCTURAL)
3	DECADE 90 BRICK ACCENT BAND
4	STEEL TUBE, CHANNEL, BEAM OR LINTEL (SEE STRUCTURAL)
5	PREFINISHED BREAKMETAL WRAP, PROVIDE BREAK JOINTS AS NECESSARY TO PREVENT DEFORMATION
6	ADHERE ROOF MEMBRANE TO PARAPET WALL AND TERMINATE UNDER WALL COPING SYSTEM
7	FIRE TREATED WOOD BLOCKING
8	2'-0" WIDE STONE MOW STRIP W/ METAL EDGE.
9	2" RIGID PERIMETER INSULATION (PER CODE).
10	ALUMINUM STOREFRONT DOOR AND FRAME
11	METAL SILL FLASHING
12	WOOD SHIMS W/ BACKER ROD AND SEALANT ON BOTH SIDES
13	HOLLOW METAL DOOR AND FRAME
14	SOLDIER BRICK COURSE
15	12" CMU FOUNDATION WALL
16	8" UPTURNED CMU BOND BEAM

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WALL SECTIONS & DETAILS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date

06.14.06

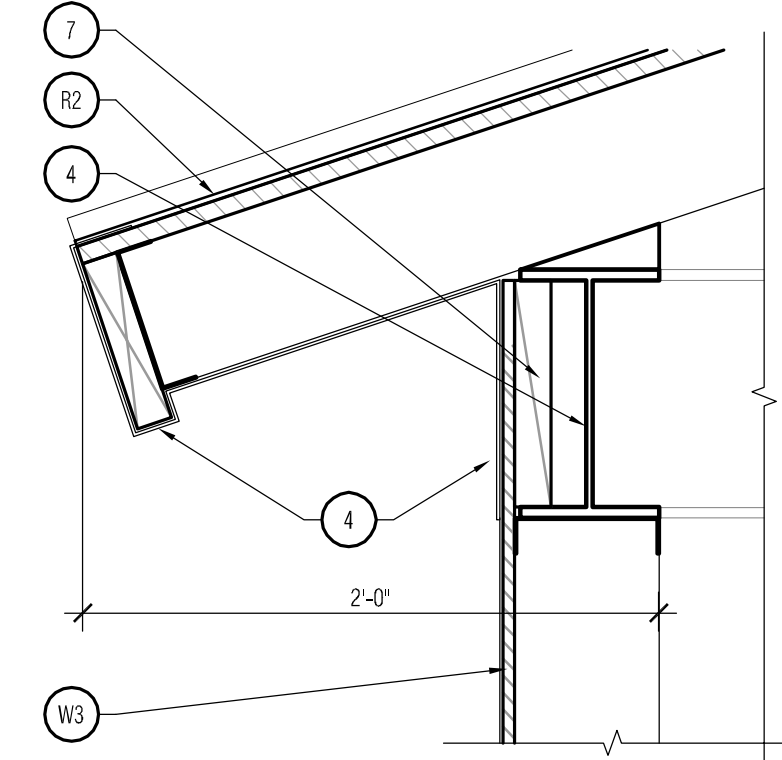
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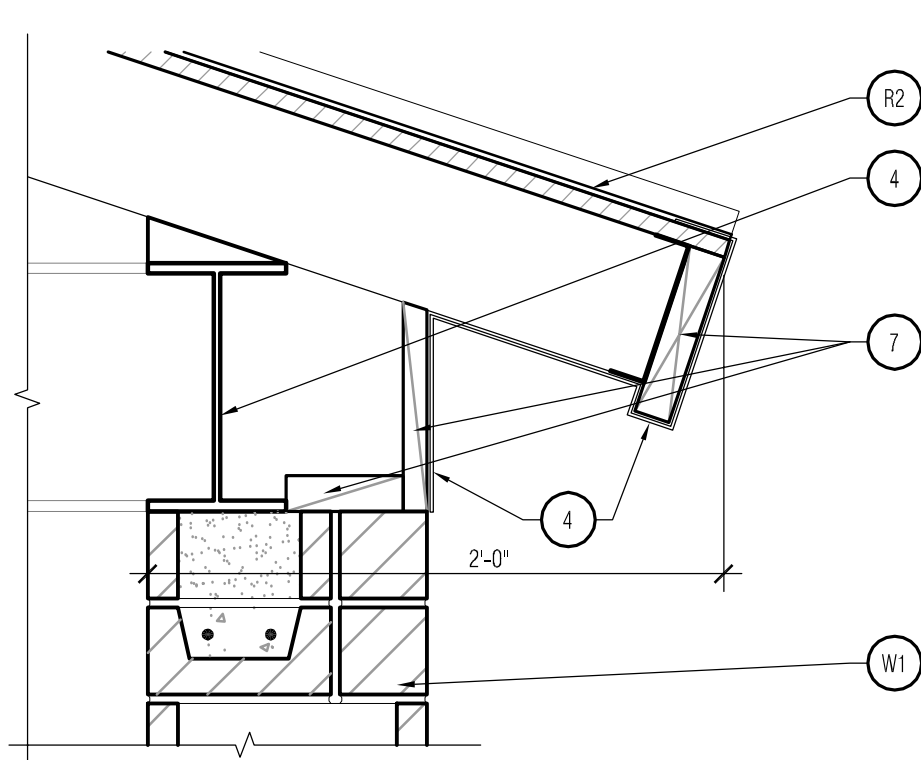
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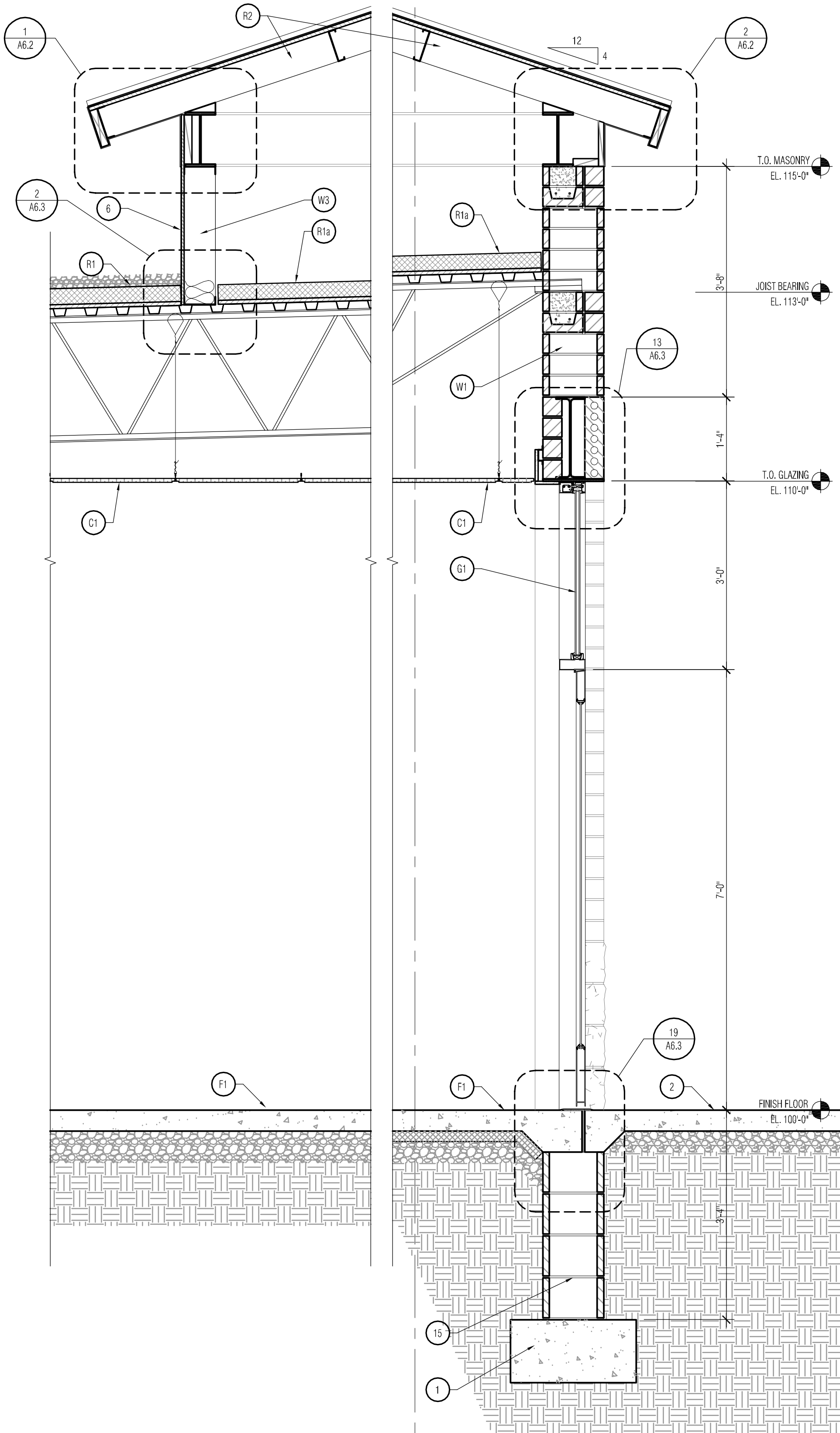
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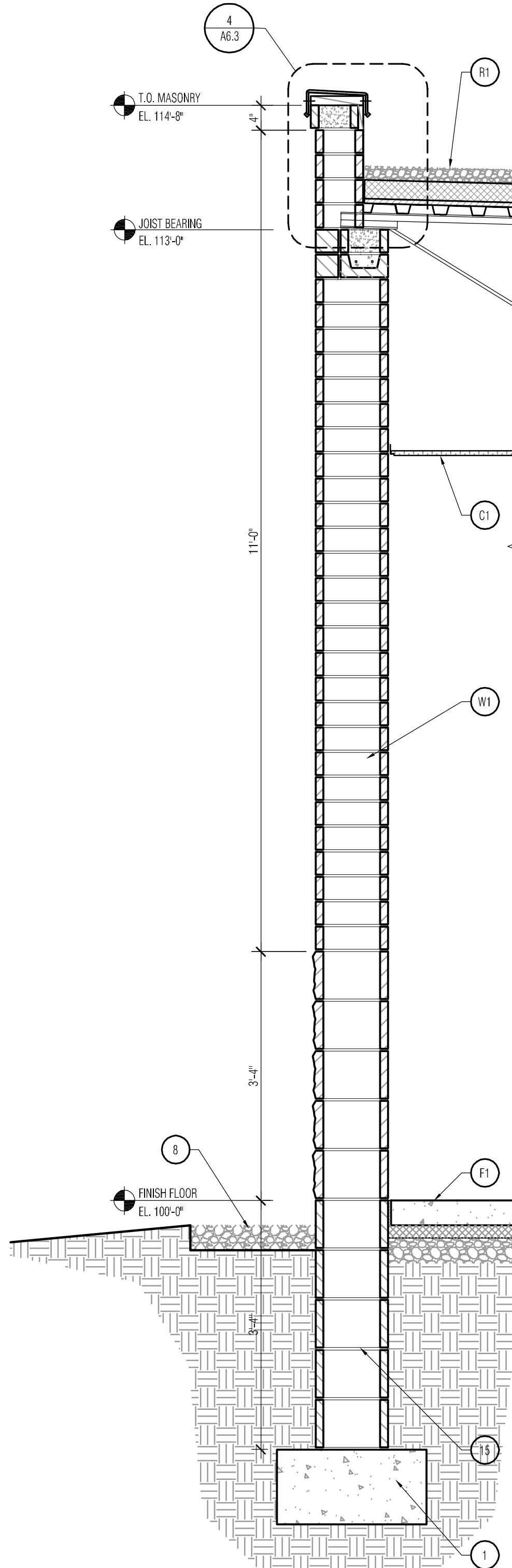
1 Tower Connection Detail
SCALE: 1-1/2" = 1'-0"



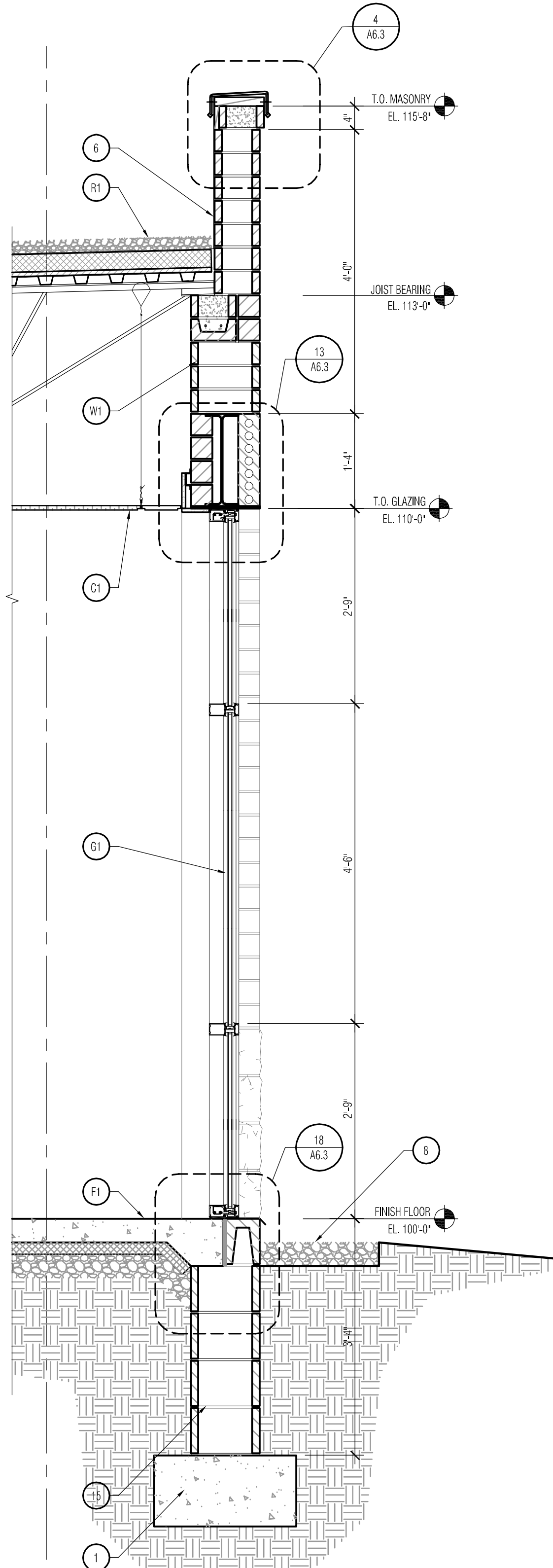
2 Tower Connection Detail
SCALE: 1-1/2" = 1'-0"



16 Wall Section @ Middle Tower
SCALE: 3/4" = 1'-0"



18 Wall Section
SCALE: 3/4" = 1'-0"



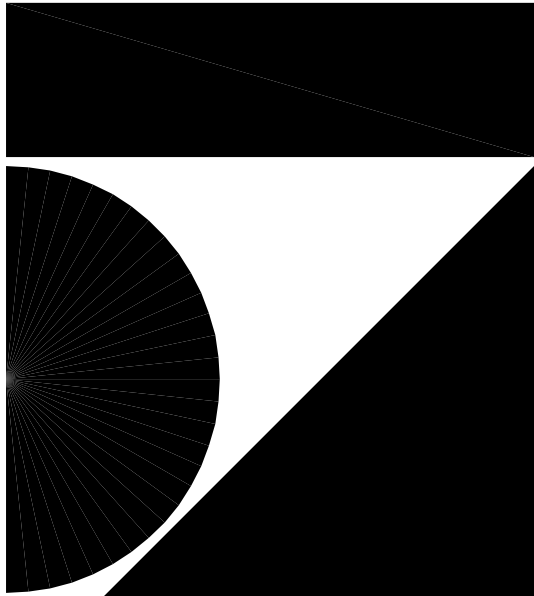
19 Wall Section
SCALE: 3/4" = 1'-0"

SECTION KEYNOTES

- F1 FLOOR SYSTEM #1
4" REINF. CONCRETE SLAB ON VAPOR BARRIER ON COMPACTED GRANULAR FILL. PROVIDE 2" RIGID INSULATION PER CODE @ FOUNDATION PERIMETER WALL. PROVIDE ISOLATION JOINT MATERIAL AT COLUMNS AND PERIMETER (SEE STRUCTURAL)
- W1 WALL SYSTEM #1
12" SPLIT-FACE CMU TO 2'-8" A.F.F., DECADE 90° BRICK (4"x16" NOM) ABOVE, W/ FOAMED IN PLACE INSULATION AT ALL EXTERIOR CONDITIONS
- W2 WALL SYSTEM #2
1/2" FIRE RESISTANT SHEATHING ON DOUBLE 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
- W3 WALL SYSTEM #3
1/2" FIRE RESISTANT SHEATHING ON 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
- G1 GLAZING SYSTEM #1
STOREFRONT SYSTEM W/ 1" INSUL. GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
- G2 GLAZING SYSTEM #2
STOREFRONT SYSTEM W/ SINGLE PANE FROSTED GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
- R1 ROOF SYSTEM #1
LOOSE LAID BALLASTED SINGLE-PLY MEMBRANE ROOFING ON 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
- R1a ROOF SYSTEM #1a
4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
- R2 ROOF SYSTEM #2
STANDING SEAM METAL ROOF PANELS ON FIRE RESISTANT EXTERIOR GRADE SHEATHING ON 6" METAL STUD FRAMING (SEE STRUCTURAL)
- C1 CEILING SYSTEM #1
2x4 SUSPENDED CEILING TILE (SEE FINISH SCHEDULE AND R.C.P. FOR MATERIAL AND HEIGHT)
- A1 AWNING SYSTEM #1
VINYL FABRIC AWNING ON ALUMINUM FRAMING (OPEN SIDES)
- OP1 COPING SYSTEM #1
PRE-FINISHED 2 PIECE METAL GRAVEL STOP W/ CONTINUOUS HOLD-DOWN CLIPS ON 2x WOOD NAILERS ANCHORED TO TOP OF WALL
- 1 REINFORCED CONCRETE FOUNDATION (SEE STRUCTURAL)
- 2 POURED CONCRETE SIDEWALK/STOOP ON 6" COMPACTED FILL. PROVIDE 1/2" ISOLATION JOINT MATERIAL @ EXTERIOR WALL CONDITIONS (SEE STRUCTURAL)
- 3 DECADE 90° BRICK ACCENT BAND
- 4 STEEL TUBE, CHANNEL, BEAM OR LINTEL (SEE STRUCTURAL)
- 6 PRE-FINISHED BREAKMETAL WRAP, PROVIDE BREAK JOINTS AS NECESSARY TO PREVENT DEFORMATION
- 6 ADHERE ROOF MEMBRANE TO PARAPET WALL AND TERMINATE UNDER WALL COPING SYSTEM
- 7 FIRE TREATED WOOD BLOCKING
- 8 2'-0" WIDE STONE MOW STRIP W/ METAL EDGE
- 9 2" RIGID PERIMETER INSULATION (PER CODE)
- 10 ALUMINUM STOREFRONT DOOR AND FRAME
- 11 METAL SILL FLASHING
- 12 WOOD SHIMS W/ BACKER ROD AND SEALANT ON BOTH SIDES
- 13 HOLLOW METAL DOOR AND FRAME
- 14 SOLDIER BRICK COURSE
- 15 12" CMU FOUNDATION WALL
- 16 8" UPTURNED CMU BOND BEAM

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WALL SECTIONS & DETAILS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date

06.14.06

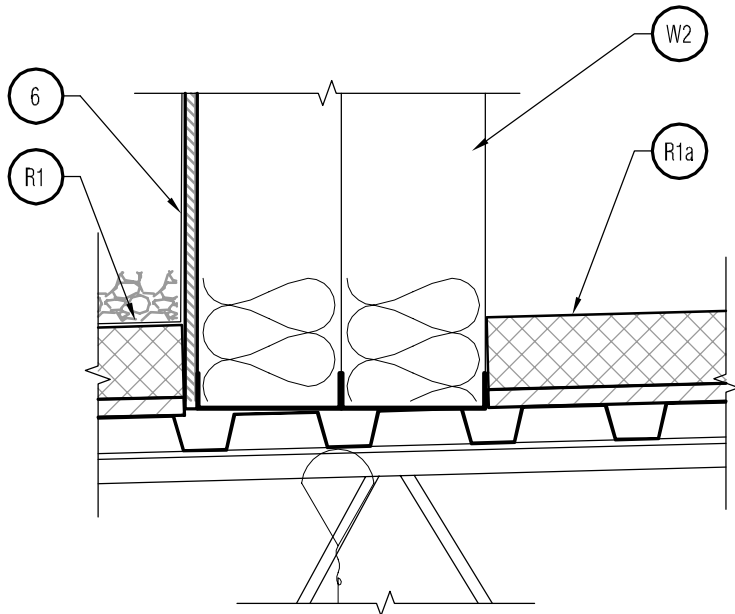
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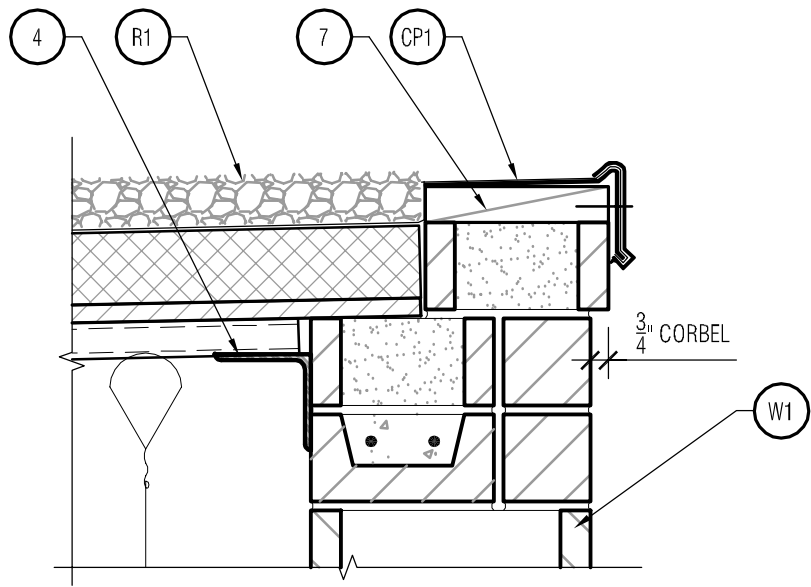
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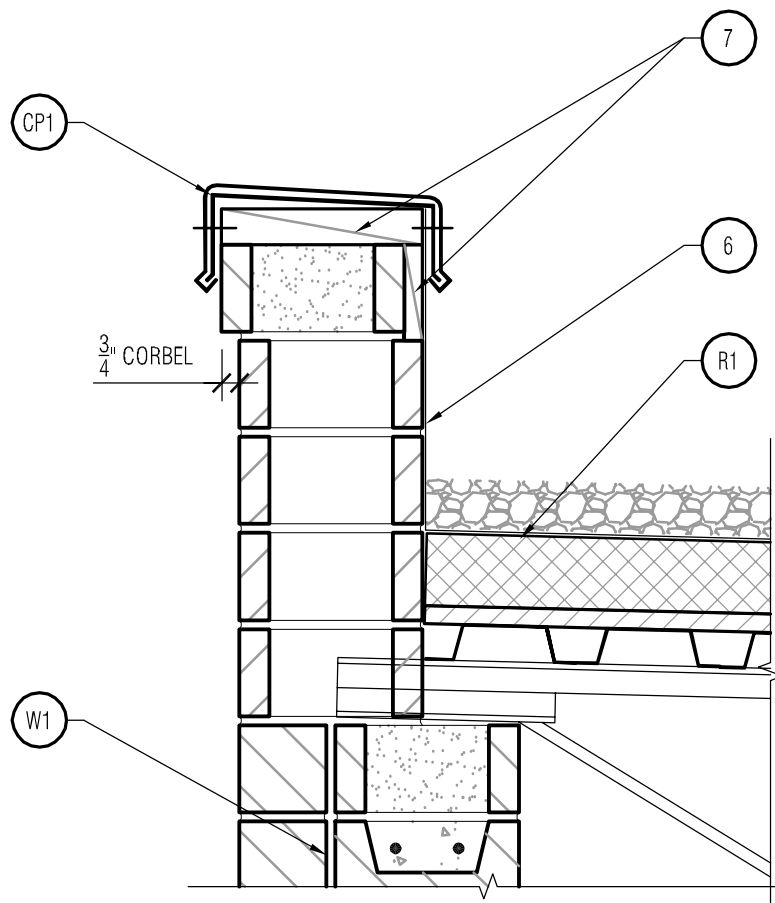
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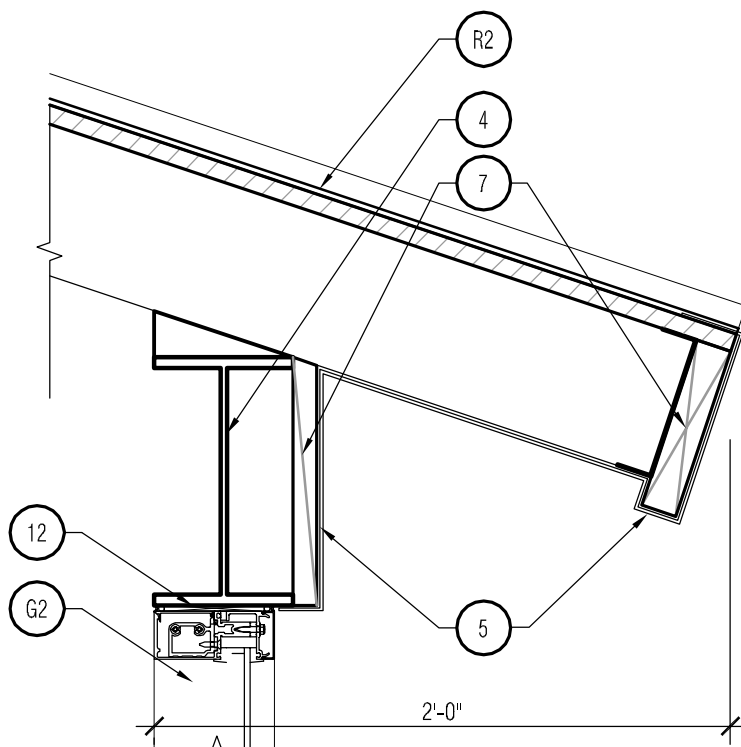
2 Tower Detail
SCALE: 1-1/2" = 1'-0"



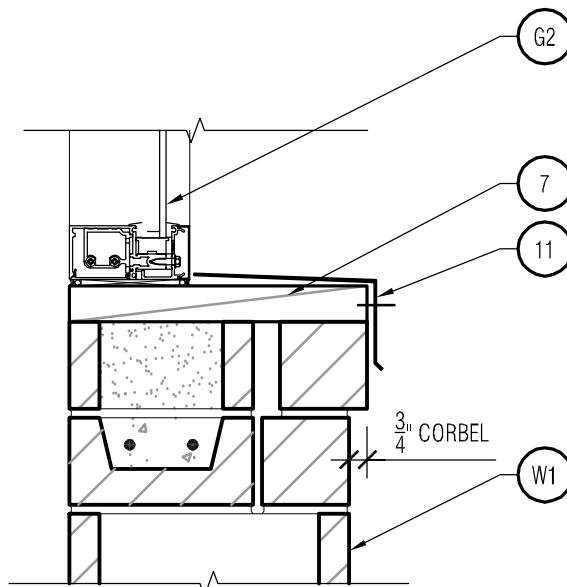
3 Coping System #1
SCALE: 1-1/2" = 1'-0"



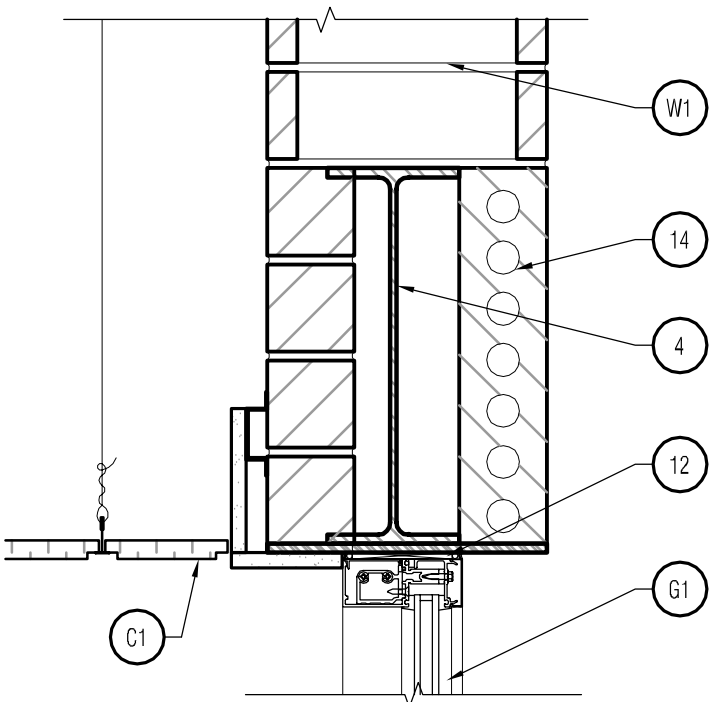
4 Coping System #2
SCALE: 1-1/2" = 1'-0"



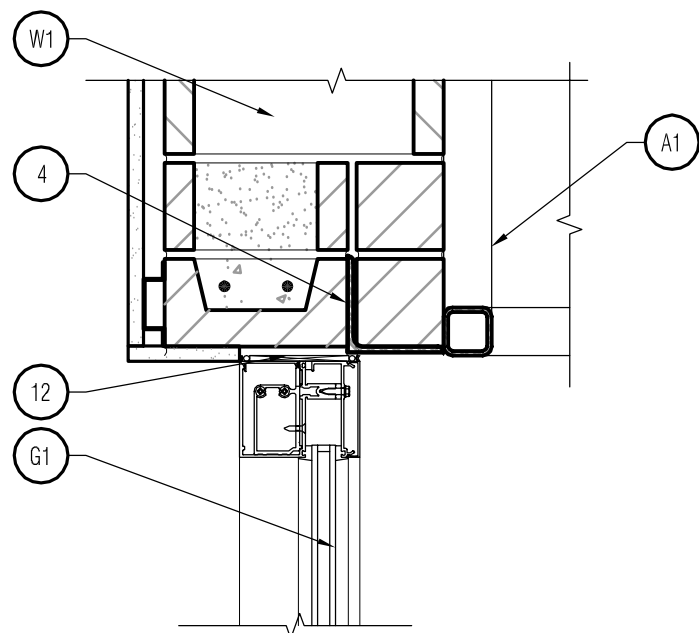
8 Roof Edge Detail
SCALE: 1-1/2" = 1'-0"



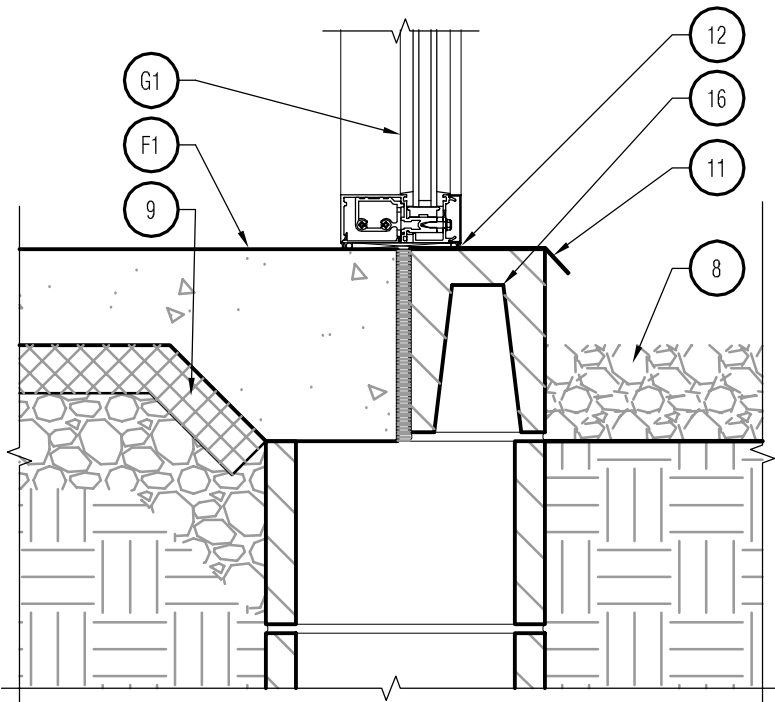
9 Sill Detail
SCALE: 1-1/2" = 1'-0"



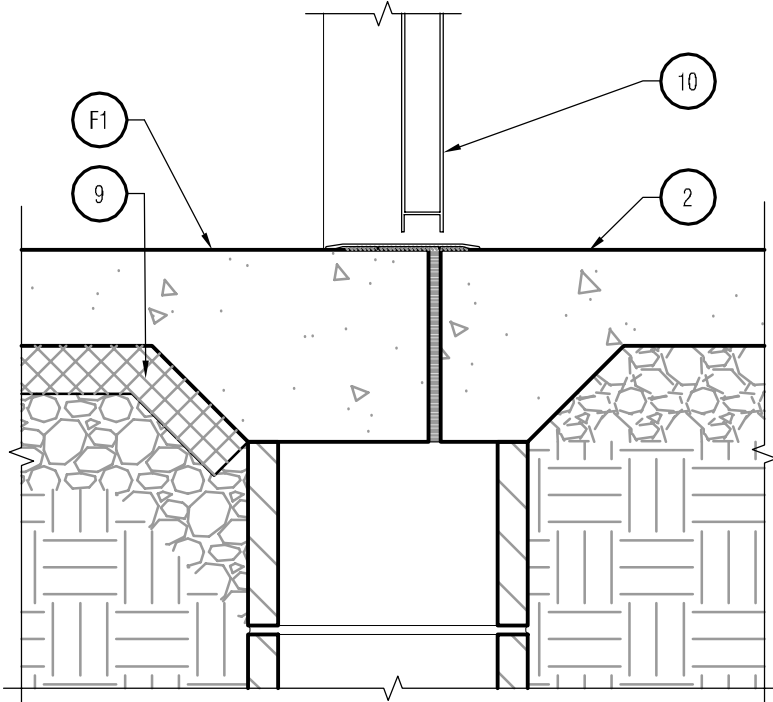
13 Lintel Detail
SCALE: 1-1/2" = 1'-0"



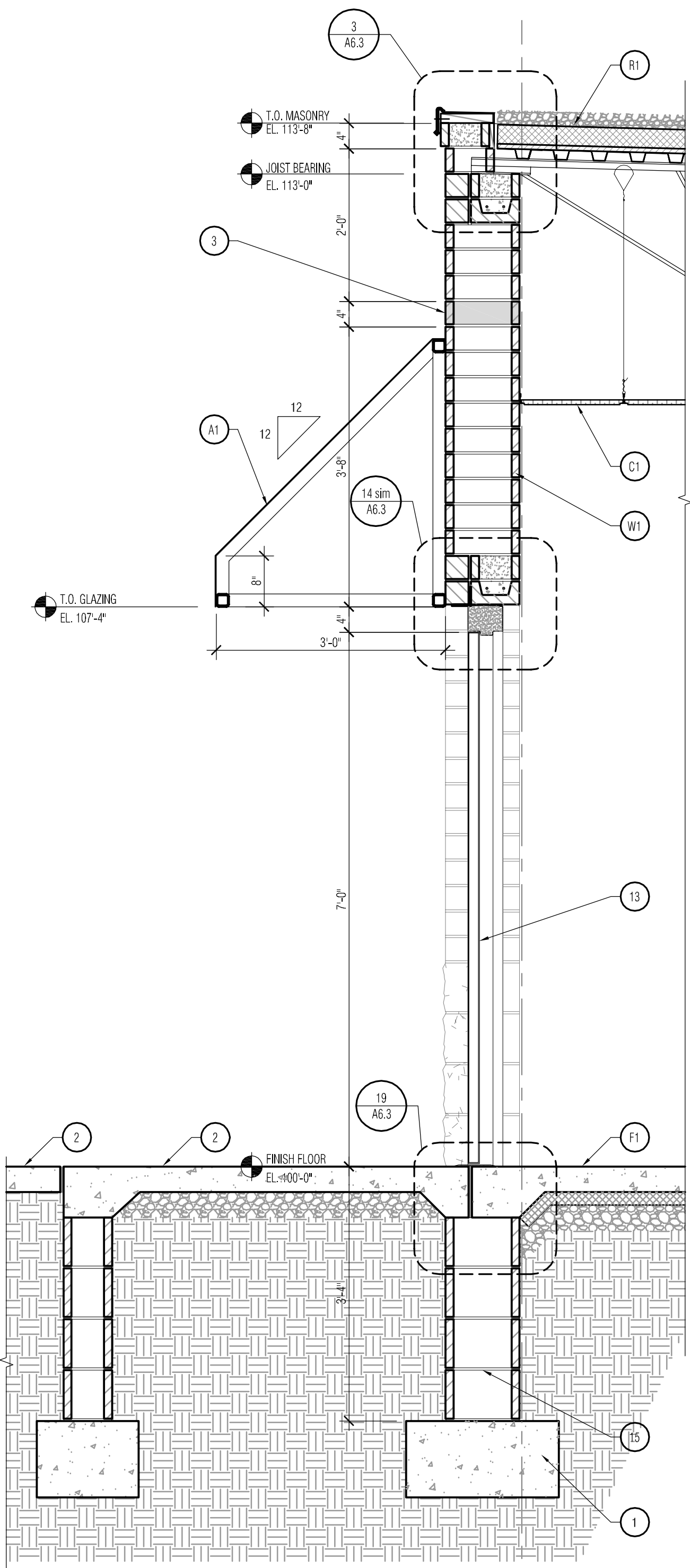
14 Lintel Detail
SCALE: 1-1/2" = 1'-0"



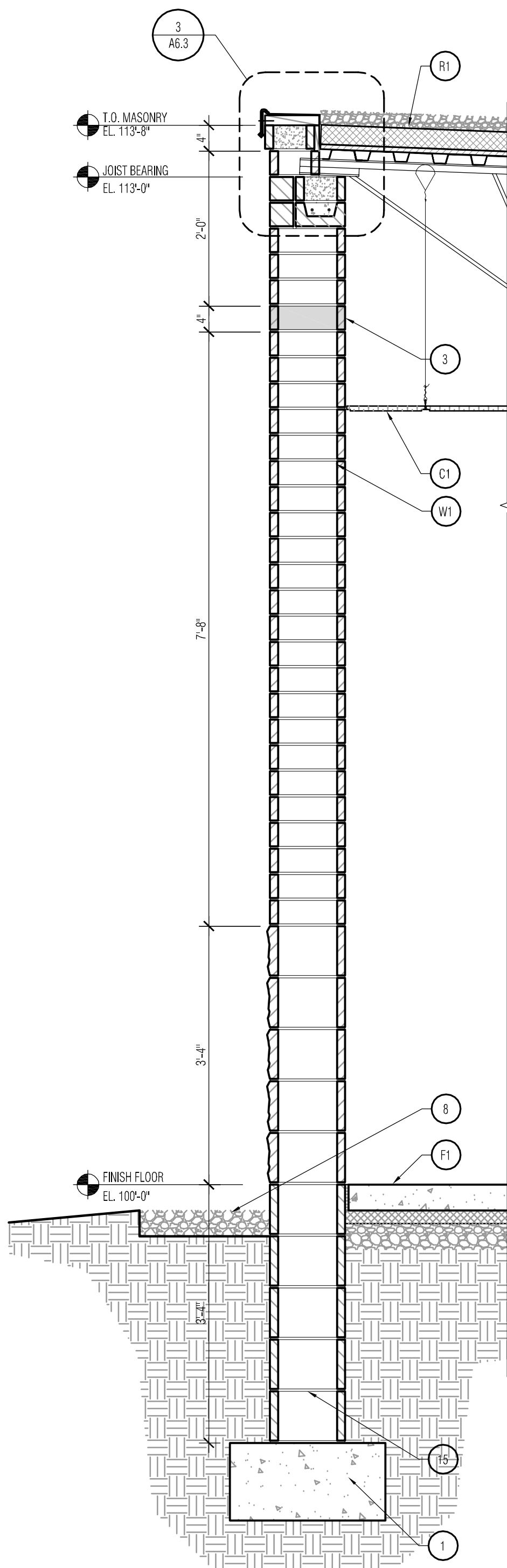
18 Foundation Detail
SCALE: 1-1/2" = 1'-0"



19 Foundation Detail
SCALE: 1-1/2" = 1'-0"



16 Wall Section @ Rear Exit Door
SCALE: 3/4" = 1'-0"

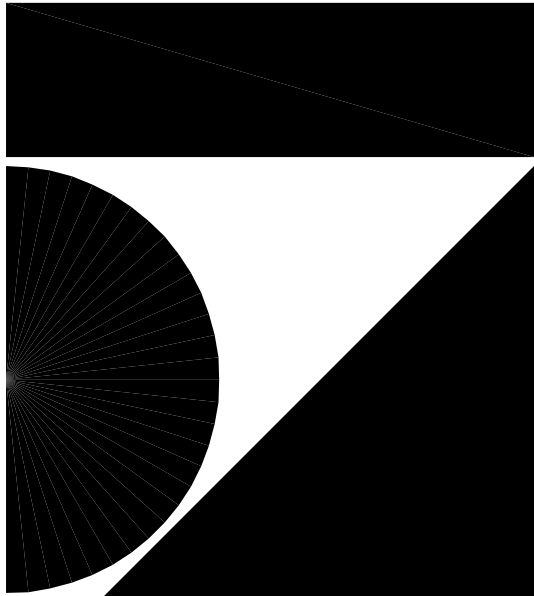


17 Wall Section
SCALE: 3/4" = 1'-0"

SECTION KEYNOTES	
F1	FLOOR SYSTEM #1 4" REINF. CONCRETE SLAB ON VAPOR BARRIER ON COMPACTED GRANULAR FILL. PROVIDE 2" RIGID INSULATION PER CODE @ FOUNDATION PERIMETER WALL. PROVIDE ISOLATION JOINT MATERIAL AT COLUMNS AND PERIMETER (SEE STRUCTURAL)
W1	WALL SYSTEM #1 12" SPLIT-FACE CMU TO 2'-8" A.F.F., 'DECADE 90' BRICK (4"x16" NOM) ABOVE, W/ FOAMED IN PLACE INSULATION AT ALL EXTERIOR CONDITIONS
W2	WALL SYSTEM #2 1/2" FIRE RESISTANT SHEATHING ON DOUBLE 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
W3	WALL SYSTEM #3 1/2" FIRE RESISTANT SHEATHING ON 6" METAL STUD FRAMING @ 16" O.C., PROVIDE INSULATION AT BOTTOM OF WALL
G1	GLAZING SYSTEM #1 STOREFRONT SYSTEM W/ 1" INSUL. GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
G2	GLAZING SYSTEM #2 STOREFRONT SYSTEM W/ SINGLE PANE FROSTED GLASS UNITS, PREFINISHED ALUMINUM FRAMING SYSTEM, W/ THERMAL BREAK, SILL FLASHING, METAL CLOSURES, AND SHIMS ATTACHED TO METAL ANGLE & 2x WOOD BLOCKING
R1	ROOF SYSTEM #1 LOOSE LAID BALLASTED SINGLE-PLY MEMBRANE ROOFING ON 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
R1a	ROOF SYSTEM #1a 4" EPS INSULATION (R25 MIN.) OVER 3/4" PERLITE BARRIER BOARD ON METAL ROOF DECK ON OPEN WEB METAL JOISTS AND BEAMS (SEE STRUCTURAL)
R2	ROOF SYSTEM #2 STANDING SEAM METAL ROOF PANELS ON FIRE RESISTANT EXTERIOR GRADE SHEATHING ON 6" METAL STUD FRAMING (SEE STRUCTURAL)
C1	CEILING SYSTEM #1 2x4 SUSPENDED CEILING TILE (SEE FINISH SCHEDULE AND R.C.P. FOR MATERIAL AND HEIGHT)
A1	AWNING SYSTEM #1 VINYL FABRIC AWNING ON ALUMINUM FRAMING (OPEN SIDES)
CP1	COPING SYSTEM #1 PRE-FINISHED 2 PIECE METAL GRAVEL STOP W/ CONTINUOUS HOLD-DOWN CLIPS ON 2x WOOD NAILERS ANCHORED TO TOP OF WALL.
1	REINFORCED CONCRETE FOUNDATION (SEE STRUCTURAL)
2	POURED CONCRETE SIDEWALK/STOOP ON 6" COMPACTED FILL. PROVIDE 1/2" ISOLATION JOINT MATERIAL @ EXTERIOR WALL CONDITIONS (SEE STRUCTURAL)
3	DECADE 90' BRICK ACCENT BAND
4	STEEL TUBE, CHANNEL, BEAM OR LINTEL (SEE STRUCTURAL)
5	PRE-FINISHED BREAKMETAL WRAP, PROVIDE BREAK JOINTS AS NECESSARY TO PREVENT DEFORMATION
6	ADHERE ROOF MEMBRANE TO PARAPET WALL AND TERMINATE UNDER WALL COPING SYSTEM
7	FIRE TREATED WOOD BLOCKING
8	2'-0" WIDE STONE MOW STRIP W/ METAL EDGE
9	2" RIGID PERIMETER INSULATION (PER CODE)
10	ALUMINUM STOREFRONT DOOR AND FRAME
11	METAL SILL FLASHING
12	WOOD SHIMS W/ BACKER ROD AND SEALANT ON BOTH SIDES
13	HOLLOW METAL DOOR AND FRAME
14	SOLDIER BRICK COURSE
15	12" CMU FOUNDATION WALL
16	8" UPTURNED CMU BOND BEAM

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Revisions

Sheet

WALL SECTIONS & DETAILS

Project

PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date

06.14.06

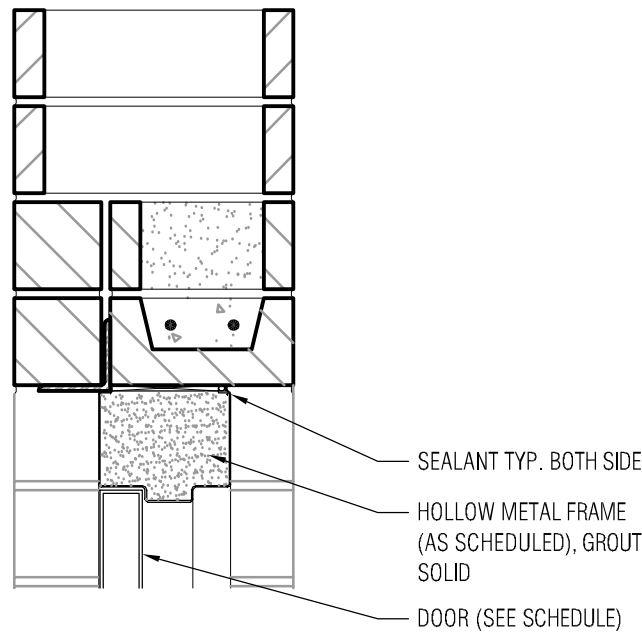
Project Number

060033.00

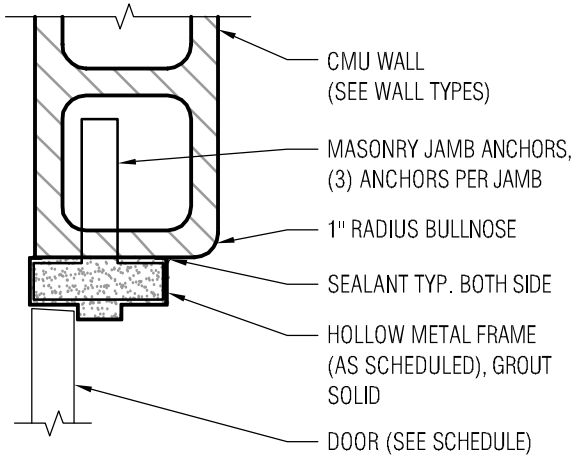
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A6.3

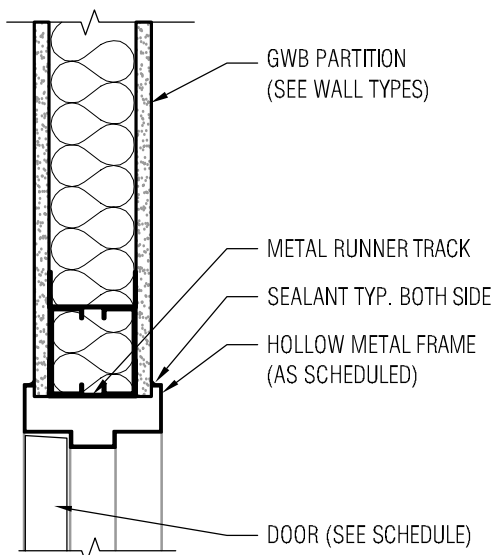
THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.



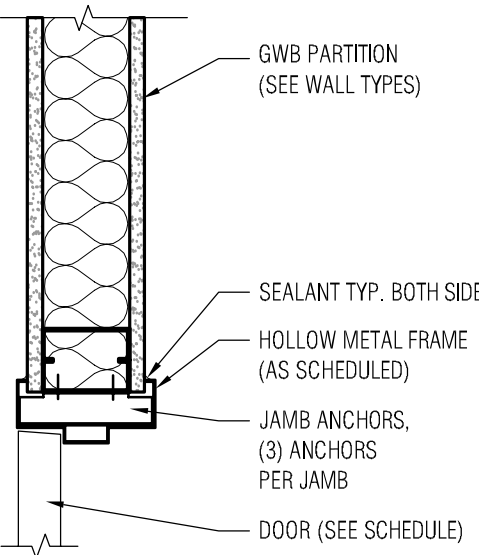
1 Hollow Metal Door Head @ CMU Wall
SCALE: 1 1/2" = 1'-0"



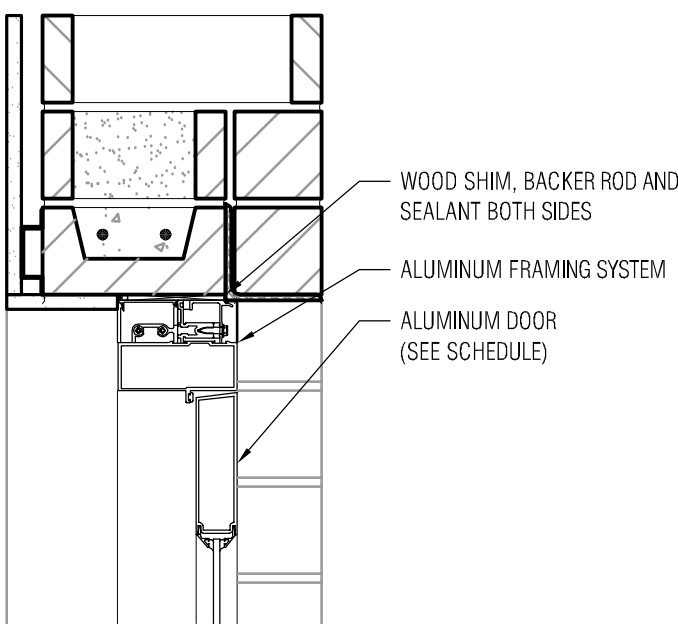
2 Hollow Metal Door Jamb @ CMU Wall
SCALE: 1 1/2" = 1'-0"



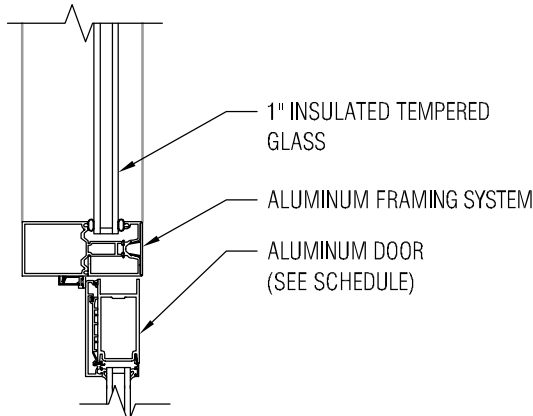
6 Hollow Metal Door Head @ Typ. Interior Door
SCALE: 1 1/2" = 1'-0"



7 Hollow Metal Door Jamb @ Typ. Interior Door
SCALE: 1 1/2" = 1'-0"

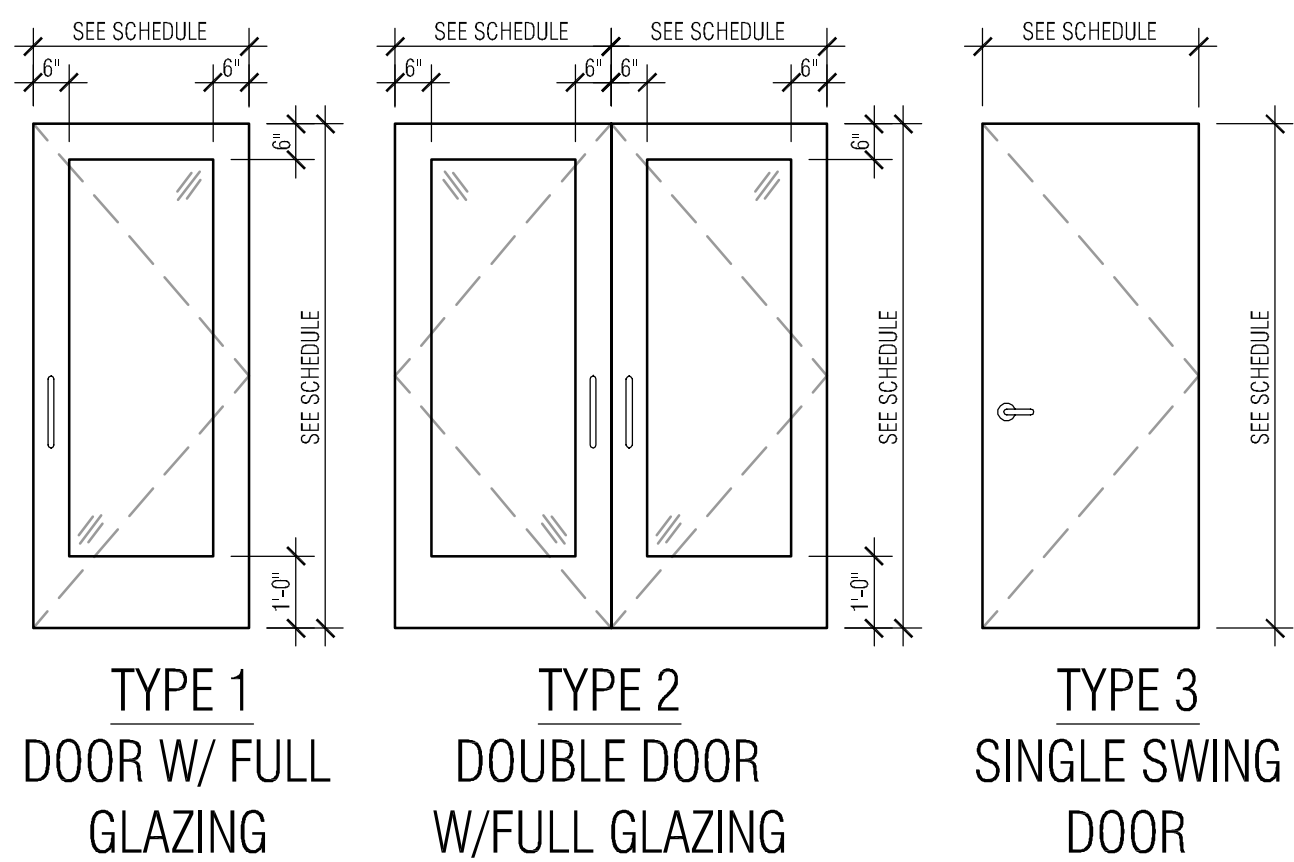


11 Aluminum Door Head
SCALE: 1 1/2" = 1'-0"



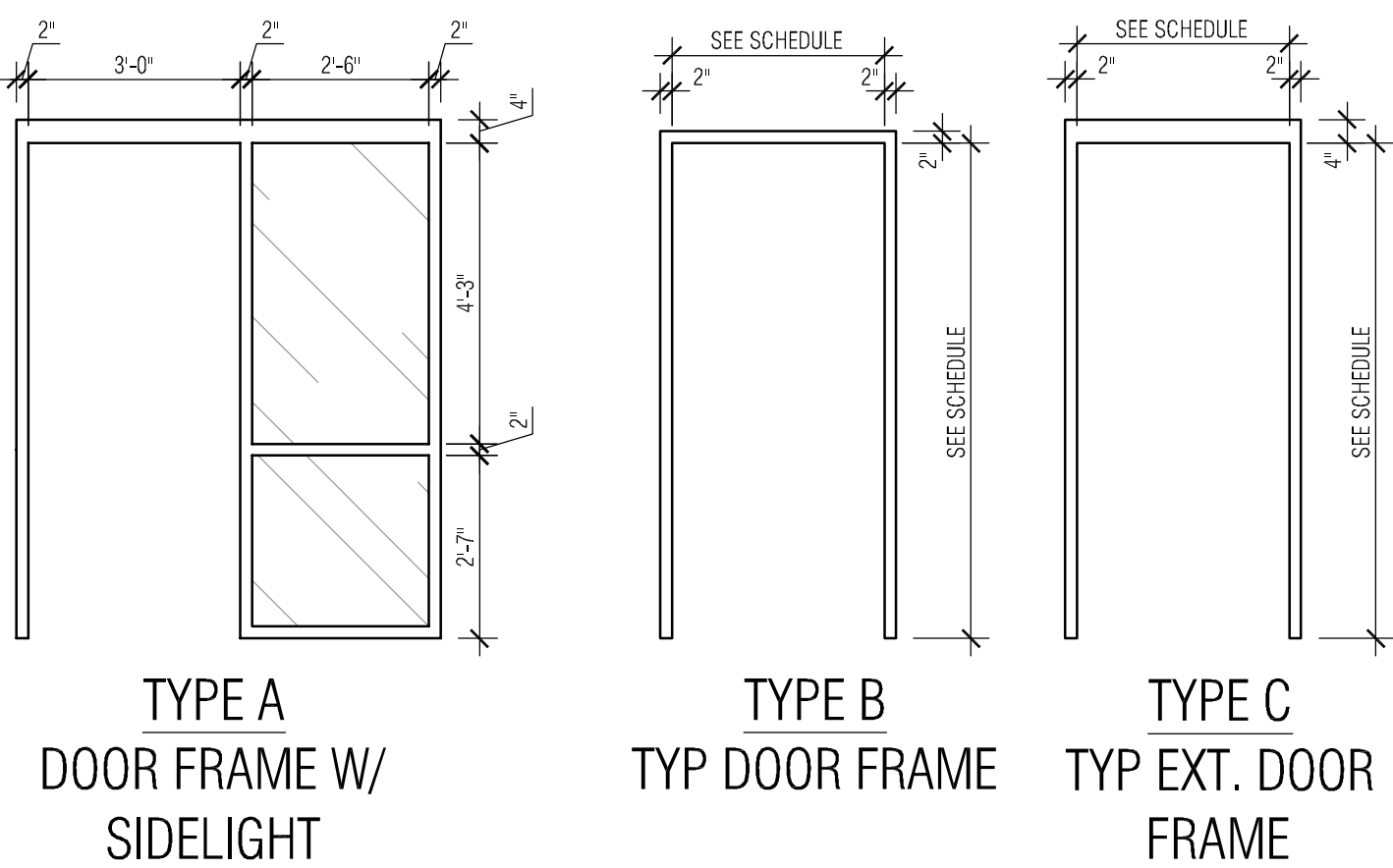
12 Aluminum Door Jamb w/ Sidelight
SCALE: 1 1/2" = 1'-0"

DOOR TYPES



FRAME TYPES

NOTE:
SEE ELEVATIONS FOR EXTERIOR DOOR FRAME CONFIGURATIONS



DOOR AND FRAME SCHEDULE

No.	DOOR					FRAME			DETAIL		FIRE RATING	HARDWARE	REMARKS
	WIDTH	HEIGHT	TYPE	MATL	FINISH	TYPE	MATL	FINISH	HEAD	JAMB			
101A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
101B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
102A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
103A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
103B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
104A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
105A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
105B	6'-0"	7'-0"	2	ALUM	ANOD		ALUM	ANOD	11/A9.1	12/A9.1		HS-1	SEE PLANS AND ELEVATIONS
106A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
107A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
107B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
108A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
109A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
109B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
110A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
111B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
111C	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
112A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
113A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
113B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
114A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
115A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
115B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
116A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
117A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
117B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
118A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY
119A	3'-0"	7'-0"	3	H.M.	PAINT	C	H.M.	PAINT	1/A9.1	2/A9.1		HS-2	
119B	3'-0"	7'-0"	1	ALUM	ANOD	A	ALUM	ANOD	11/A9.1	12/A9.1		HS-1	
120A	3'-0"	7'-0"	3	WOOD	PAINT	B	H.M.	PAINT	6/A9.1	7/A9.1		HS-3	PAINT RESTROOM SIDE ONLY

HARDWARE SETS

HS-1 (DOUBLE ALUM. EXTERIOR DOORS)
PIN HINGES
PANIC DEVICE W/ PULL & EXT. KEY CYLINDER
- (INTERNAL RODS W/ TOP & BOTTOM PINS)
CLOSURE
THRESHOLD & WEATHERSTRIPPING
HS-2 (SINGLE EXTERIOR H.M. DOORS)
1-1/2 PAIR B.B. HINGES
RIM MOUNTED PANIC DEVICE W/ NO EXTERIOR HARDWARE
CLOSURE
THRESHOLD & WEATHERSTRIPPING
HS-3 (RESTROOM HARDWARE)
1-1/2 PAIR BUTT HINGES
PRIVACY LOCK SET
**GENERAL NOTE: PROVIDE DOOR BUMPERS OR STOPS AT EACH NON-CLOSURE DOOR

SCHEDULES LEGEND

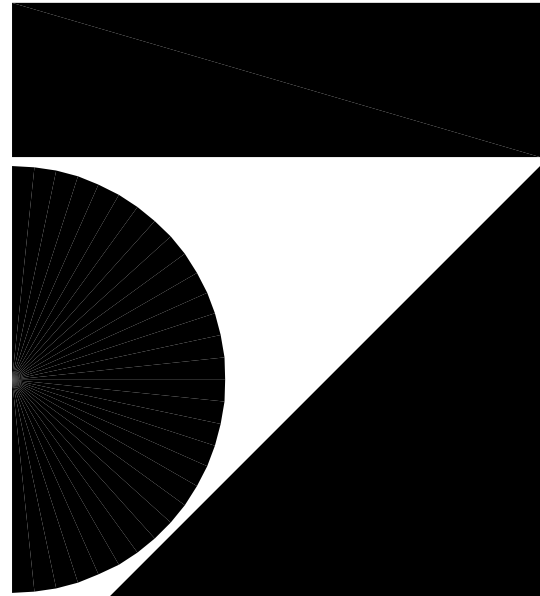
H.M. HOLLOW METAL
ALUM ALUMINUM
ANOD ANODIZED
C.T. CERAMIC TILE
EXP EXPOSED
ACT ACOUSTICAL CEILING TILE

ROOM FINISH SCHEDULE

ROOM		FLOOR		WALLS			REMARKS	
No	NAME	MAT'L	BASE	NORTH	EAST	SOUTH		WEST
101	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
102	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
103	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
104	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
105	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
106	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
107	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
108	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
109	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
110	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
111	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
112	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
113	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
114	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
115	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
116	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
117	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
118	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	
119	TENANT	EXP	EXP	EXP	EXP	EXP	EXP	
120	TOILET ROOM	CT	CT	PAINT	PAINT	PAINT	PAINT	

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Revisions

Sheet

SCHEDULES & DOOR DETAILS

Project

PEWAUKEE CROSSINGS

Date

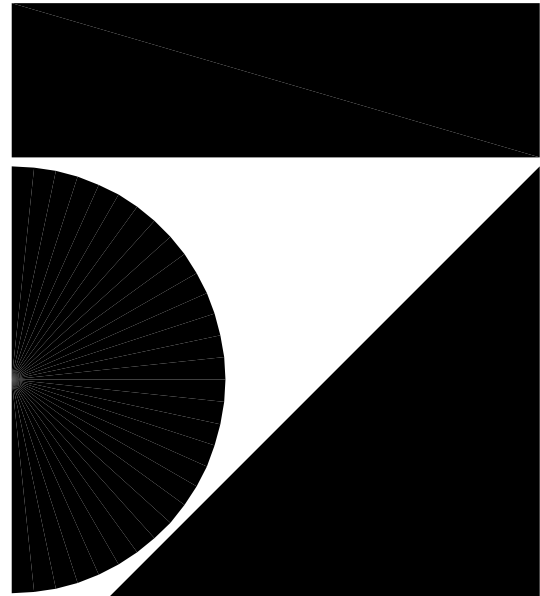
06.14.06

Project Number

060033.00

Sheet Number

A9.1



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241 North Broadway, Suite 900
Milwaukee, WI 53202
414.278.6000
414.278.6001 fax
PE Project 00192

Revisions

Sheet
FOUNDATION PLAN

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date
06.14.06

Project Number
060033.00

Sheet Number

S1.0

CMU WALL CONSTRUCTION NOTES

- CMU SHALL BE LAID IN RUNNING BOND WITH TYPE S MORTAR (TYPE M BELOW GRADE).
- ALL REINFORCED CELLS SHALL BE GROUTED WITH PEA GRAVEL. CONCRETE HAVING A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI.
- HORIZONTAL REINFORCING AND BOND BEAM REINFORCING AT CORNERS SHALL BE LAPPED A MINIMUM OF 48 BAR DIAMETERS, OR 24" INCHES, WHICHEVER IS LARGER.
- CLEANOUTS SHALL BE PROVIDED IN THE BOTTOM COURSE OF MASONRY FOR EACH GROUT POUR, WHEN THE POUR HEIGHT EXCEEDS 5 FEET.
- GROUT LIFTS SHALL NOT EXCEED 5 FEET. CONSOLIDATE GROUT AT TIME OF PLACEMENT.
- FACE SHELLS AND WEB FORMING CELLS SHALL BE FULL-BEDDED IN THE STARTING COURSE ON FOUNDATIONS, AND IN ALL COURSES OF PIERS AND PILASTERS.
- PROVIDE HORIZONTAL JOINT REINFORCING AT 16" O.C. VERTICALLY (8" O.C. IN PARAPET WALLS) UNO.
- HORIZONTAL JOINT REINFORCING SHALL BE TERMINATED AT CONTROL JOINTS. BOND BEAM REINFORCING SHALL BE CONTINUOUS.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONTROL JOINT SPACINGS.
- SOLID OR SOLID GROUTED CMU SHALL BE PROVIDED IN COURSES IMMEDIATELY ABOVE AND BELOW ANY CHANGES IN WT/THICKNESS.

FOOTING SCHEDULE

MARK	DIMENSIONS			REINFORCEMENT	REMARKS
	WIDTH	LENGTH	DEPTH		
F1	3'-6"	3'-6"	1'-0"	3 - #5 EW.	
F2	5'-0"	5'-0"	1'-2"	5 - #6 EW.	
F3	4'-4"	4'-4"	1'-0"	4 - #6 EW.	
W1	2'-0"	CONT.	1'-0"	2 - #5 x CONT.	
W2	1'-8"	CONT.	1'-0"	2 - #5 x CONT.	
W3	3'-6"	CONT.	1'-3"	4 - #5 x CONT. TAB	

FOOTING SCHEDULE NOTES:
1. EW. = EACH WAY
T = TOP
B = BOTTOM
CONT. = CONTINUOUS

MATERIAL DESIGN PROPERTIES

CONCRETE STRENGTHS:		
FOOTINGS	$f'_c = 3000 \text{ psi}$	
CONCRETE WALLS	$f'_c = 4000 \text{ psi}$	
SLAB ON GRADE	$f'_c = 4000 \text{ psi}$	
MASONRY STRENGTHS:		
ASTM C 90, grade N (CMU)	$f_m = 1800 \text{ psi}$	
ASTM C 95, grade N (CONCRETE BRICK)	$f_m = 1800 \text{ psi}$	
MORTAR (ASTM C 210):		
TYPE M	$f_u = 2500 \text{ psi}$	
TYPE S	$f_u = 1800 \text{ psi}$	
GROUT (ASTM C 416):		
BOND BEAMS (pea gravel)	$f'_c = 3000 \text{ psi}$	
MASONRY WALLS AND PIERS (pea gravel)	$f'_c = 3000 \text{ psi}$	
REINFORCING STEEL STRENGTHS:		
BAR (ASTM A 615, grade 60)	$F_y = 60,000 \text{ psi}$	
WUF (ASTM A 185)	$F_y = 65,000 \text{ psi}$	
STRUCTURAL STEEL STRENGTHS:		
UP SHAPES (ASTM A992)	$F_y = 50,000 \text{ psi}$	
ANGLES, CHANNELS, PLATES, & BARS (ASTM A36)	$F_y = 36,000 \text{ psi}$	
SQUARE & RECTANGULAR TS OR HSS SECTIONS (ASTM A500, grade B)	$F_y = 46,000 \text{ psi}$	
ROUND HSS SECTIONS (ASTM A500, grade B)	$F_y = 42,000 \text{ psi}$	
STEEL PIPE (ASTM A53, grade B)	$F_y = 35,000 \text{ psi}$	
HIGH STRENGTH BOLTS (ASTM A325)		

COLUMN SCHEDULE

MARK	SIZE	BASE IE & ANCHOR BOLTS	REMARKS
C1	HSS 6x6x5/16"	IE 1'x12'x1'-0" w/ 4 - 3/4" A.B.s	

DESIGN DATA

DESIGN CODE: WISCONSIN ENROLLED COMMERCIAL BUILDING CODE 2002

WIND LOAD INFORMATION:

BASIC WIND SPEED	90 MPH
BUILDING CATEGORY	100
WIND LOAD IMPORTANCE FACTOR (I_w)	B
WIND EXPOSURE	+18
INTERNAL PRESSURE COEFFICIENTS	
WIND LOADS:	
MAIN FORCE WIND RESISTING SYSTEM	
WALLS	15 psf
PARAPET	25 psf
ROOF UPLIFT	-15 psf (GROSS)
COMPONENTS AND CLADDING	
WALLS	10 psf
PARAPET	40 psf
ROOF UPLIFT	-20 psf (GROSS)
ROOF POSITIVE PRESSURE	10 psf

SEISMIC LOAD INFORMATION:

SEISMIC USE GROUP	1
SEISMIC LOAD IMPORTANCE FACTOR (I_e)	1.00
SPECTRAL RESPONSE COEFFICIENT (S_{ds})	0.094
SPECTRAL RESPONSE COEFFICIENT (S_{d1})	0.052
SEISMIC SITE CLASS	C
SEISMIC DESIGN CATEGORY	A
SEISMIC FORCE RESISTING SYSTEM	ORDINARY REINFORCED MASONRY SHEAR WALLS
DESIGN BASE SHEAR	0.038W
ANALYSIS PROCEDURE	EQUIVALENT LATERAL-FORCE

SNOW LOAD INFORMATION:

GROUND SNOW (P_g)	30 psf
SNOW EXPOSURE FACTOR (C_e)	1.00
SNOW LOAD IMPORTANCE FACTOR (I_s)	1.00
THERMAL FACTOR (C_t)	1.00 (12 AT OVERHANG)
BALANCED SNOW LOAD (P_f)	21 psf + DRIFT
(LOAD APPLIED TO ENTIRE BLDG.)	(SEE SNOW DRIFT PLAN, SXXX)

SOIL LOAD INFORMATION:

SOIL BEARING PRESSURE	$P = 3000 \text{ psf}$
(TO BE FIELD VERIFIED)	
SOILS INFORMATION FROM GILES ENGINEERING ASSOCIATES, INC.	
REPORT #16-0605045 DATED MAY 31, 2006.	

LIVE LOADS:

STAIRWAYS, CORRIDORS, LOBBIES, COMMON AREAS	100 psf
MECHANICAL / ELECTRICAL ROOMS	100 psf
RETAIL SPACE:	
FIRST FLOOR	100 psf
ROOF	SEE SNOW LOAD INFO

REINFORCING NOTES

- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 318 (CURRENT EDITION).
- ALL LAPS SHALL BE CLASS 'B' PER ACI 318 UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS, OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 12 INCHES DEEP.
- LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.
- CORNER BARS WITH CLASS 'B' PER ACI 318 LAPS SHALL BE PROVIDED AT ALL WALL CORNERS AND INTERSECTIONS.
- HORIZONTAL BARS, EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OF OPENING TO ANOTHER SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OF WALL.
- WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP F_y PER ACI 318.

6" MIN.

2"
- PROVIDE MINIMUM COVER PER ACI318, 7.1.1.
- PROVIDE ISOLATION BOARD WHERE SLABS ABUT VERTICAL SURFACES AS SHOWN IN DETAIL 4/53.0

MILD REINFORCING STEEL MINIMUM CLEAR COVER

CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH:
FOOTINGS: 3"

CONCRETE EXPOSED TO EARTH OR WEATHER:
WALLS, COLUMNS, BEAMS:

UP THROUGH #5 BARS	1 1/2"
#6 THRU #8 BARS	2"

CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
WALLS:

UP THROUGH #11 BARS	3/4"
#14 AND #18 BARS	1 1/2"

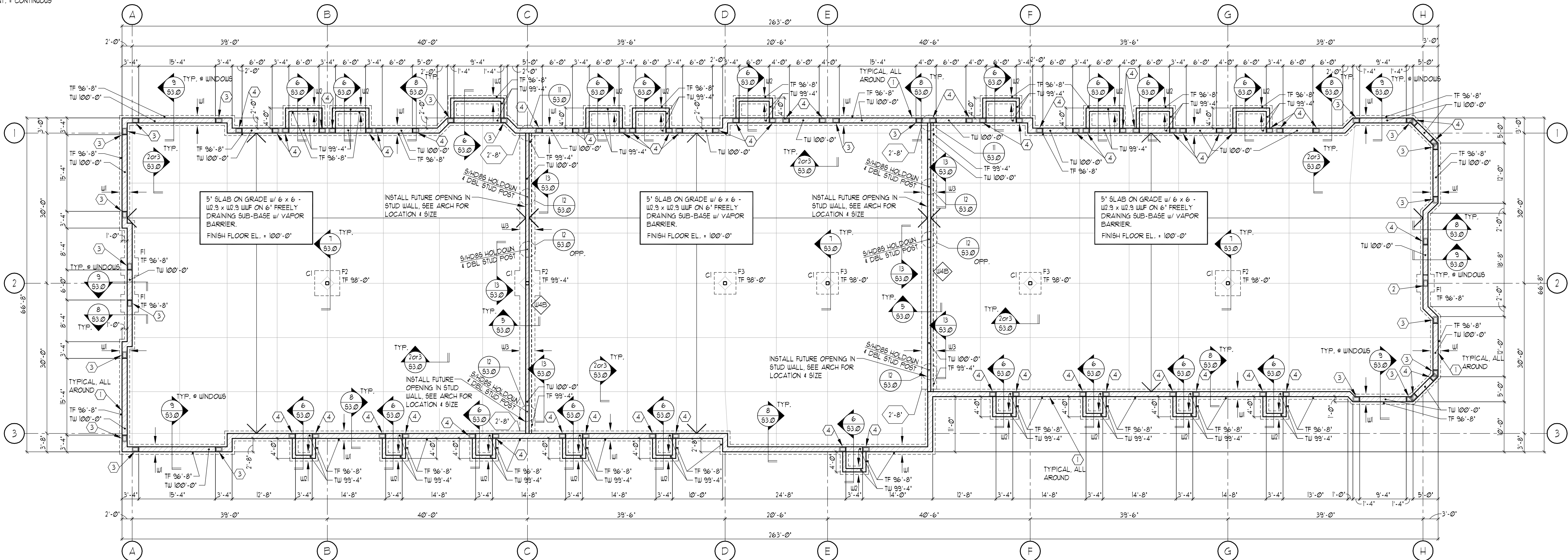
ELEVATED SLABS:

TOP	3/4"
BOTTOM	1"

BEAMS: TOP/BOTTOM/SIDE

COLUMNS:	
SIDES	1 1/2"

(DIMENSIONS ABOVE ARE MINIMUMS, UNLESS NOTED OTHERWISE IN DETAILS)



FOUNDATION PLAN

SCALE: 3/32" = 1'-0"

NOTES:

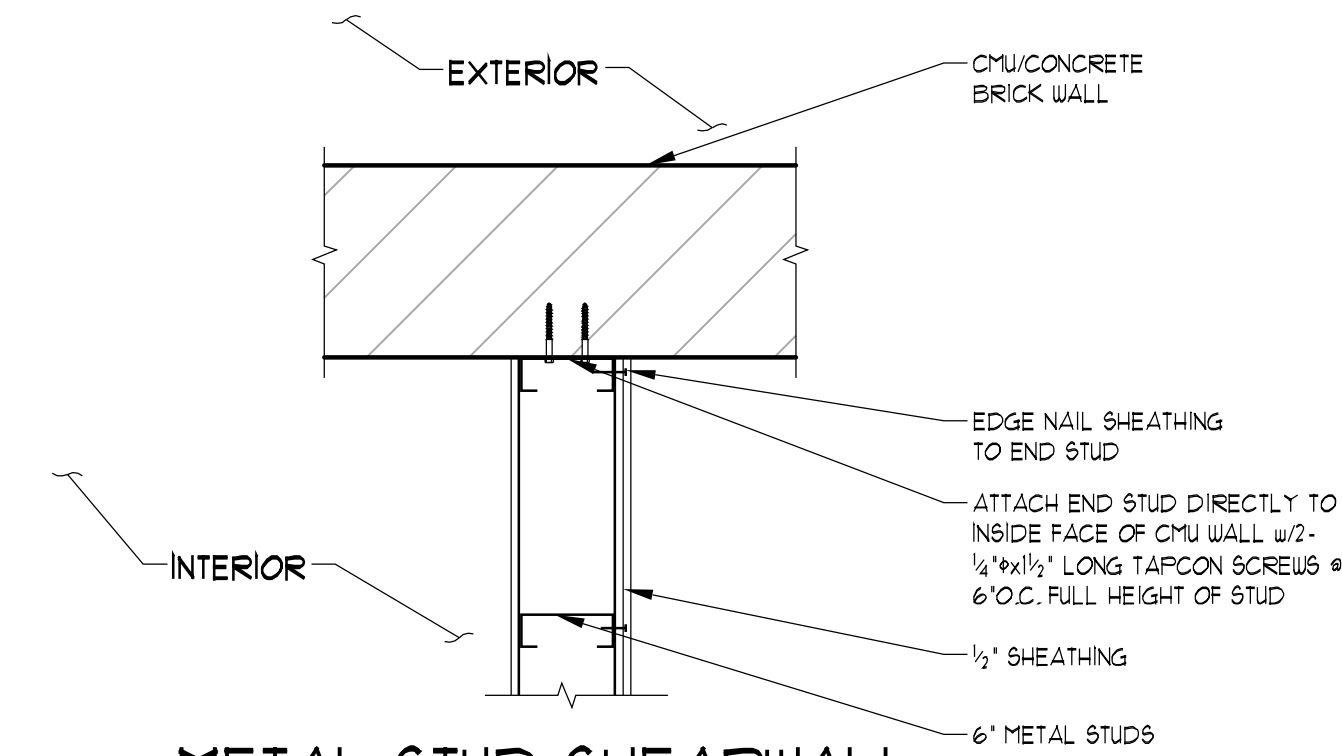
- SEE SHEET S3.0 FOR MASONRY WALL & PIER SCHEDULE

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

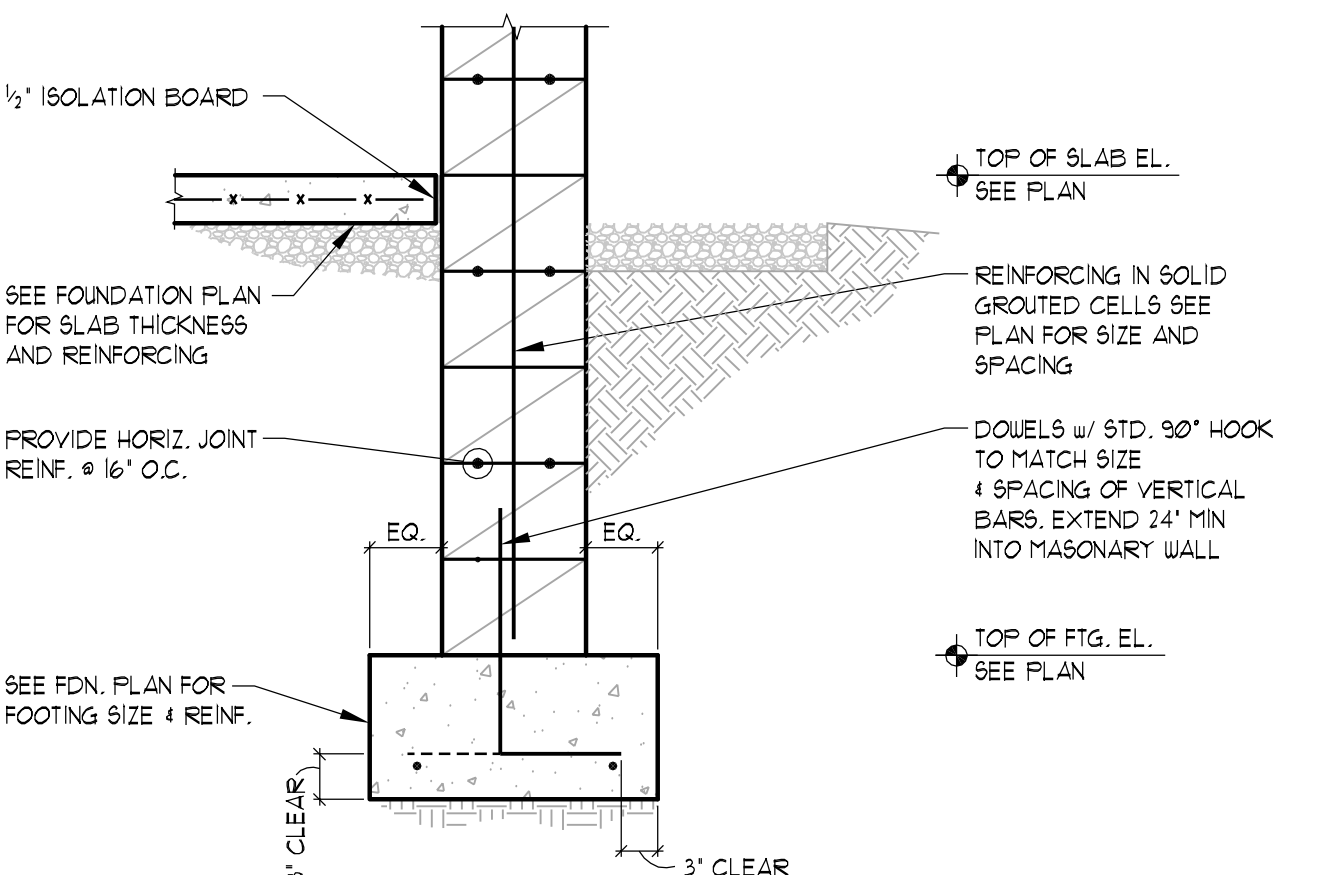
MASONRY WALL & PIER REINF. SCHEDULE

MARK	SIZE/REINFORCING	COMMENTS
①	12" CMU/CONCRETE BRICK w/ #5 BARS VERTICAL @ 48" O.C.	CENTER REINFORCING IN WALL, U.N.O. REINFORCING AT PIERS SUBSTITUTES FOR WALL REINFORCING. ADJUST SPACING ABOVE & BELOW OPENINGS TO ENSURE MAXIMUM BAR SPACING @ 4'-0" O.C.
②	12"x16" CMU/CONCRETE BRICK PIER w/ 4- #6 BARS VERTICAL & #2 TIES @ 16" O.C.	4- #6 BARS FULL HEIGHT
③	12"x16" CMU/CONCRETE BRICK PIER w/ 4- #6 BARS VERTICAL	BAR BETWEEN LINTEL BRG & FOUNDATION 2- #6 FULL HEIGHT
④	12"x16" CMU/CONCRETE BRICK PIER w/ 1- #6 BARS VERTICAL	GROUT CORE SOLID FOR 3 COURSES BELOW BRG. 1- #6 FULL HEIGHT

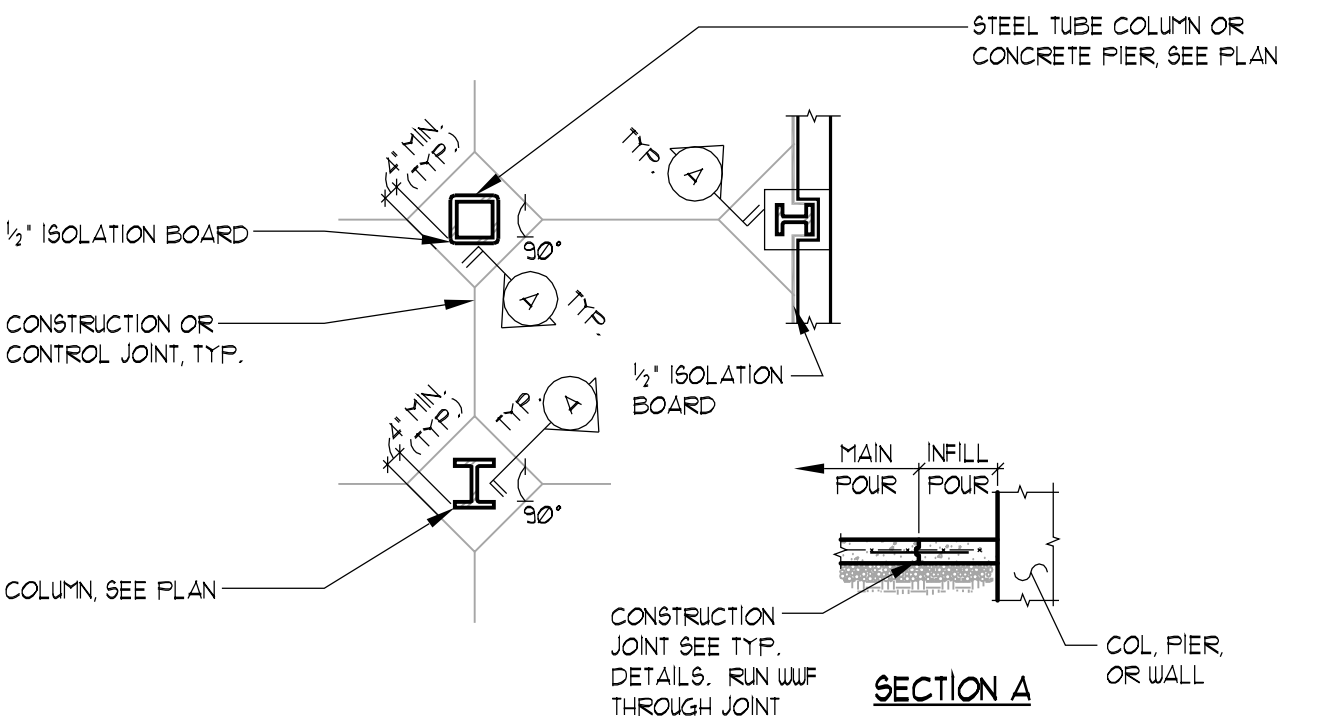
- MASONRY WALL & PIER REINF. SCHEDULE NOTES:
1. PROVIDE MATCHING DOUELS WITH STANDARD 90° HOOK INTO FOUNDATION FOR ALL REINFORCED WALLS & PIERS. LAP 48" BAR DIAMETERS WITH VERTICALS.
 2. ALL REINFORCING SHALL EXTEND FULL HEIGHT UNLESS NOTED OTHERWISE.
 3. PROVIDE (1) VERTICAL BAR AT CORNERS, AND ON EACH SIDE OF CONTROL JOINTS.
 4. EXCEPT WHERE NOTED OTHERWISE PROVIDE (1) VERTICAL BAR IN THE CELL ADJACENT TO LINTEL BEARING AT ALL OPENINGS.
 5. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL GROUTING REQUIREMENTS.
 6. SEE DETAILS 142/641 FOR VERTICAL BAR PLACEMENT



11
63.0
METAL STUD SHEARWALL TO MASONRY WALL CONNECTION
SCALE: N.T.S.



8
63.0
TYPICAL EXTERIOR WALL STRIP FOOTING SECTION
SCALE: N.T.S.

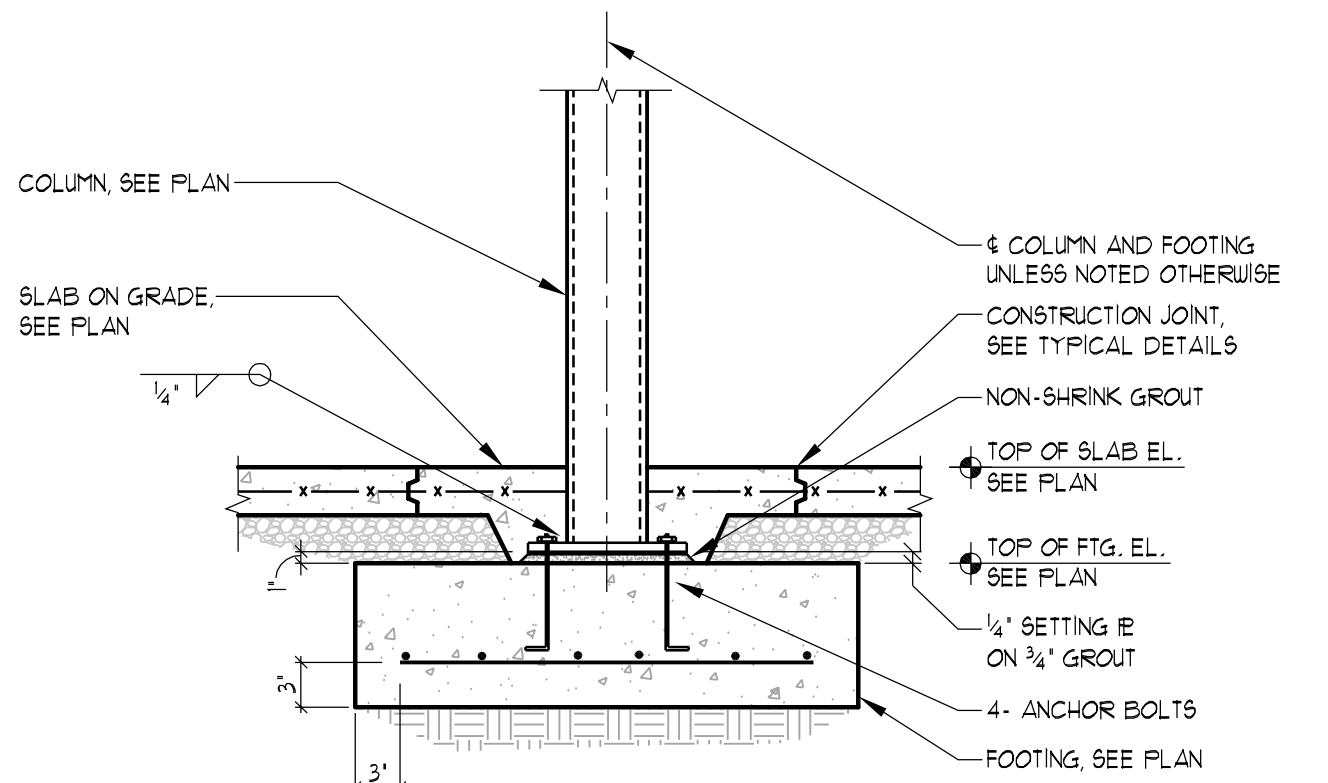


4
63.0
TYPICAL SLAB ON GRADE ISOLATION JOINTS @ COLUMN
SCALE: N.T.S.

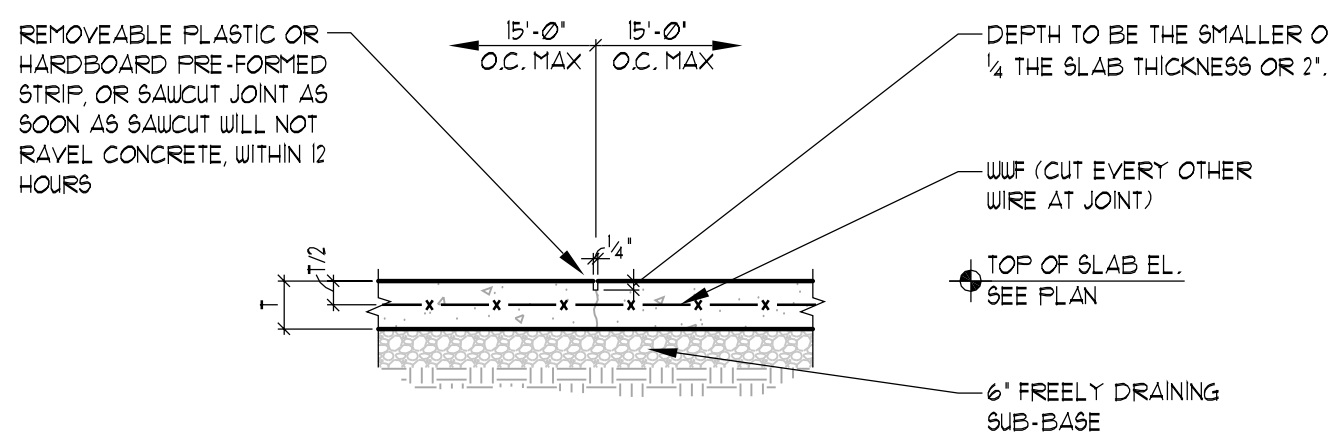
LINTEL SCHEDULE

MARK	SIZE	CONFIGURATION	REMARKS
L1	11 1/8 x 7 1/8 FC	2 - #3 TOP 2 - #4 BOTTOM	PROVIDE 1 1/2" CLEAR COVER
L2	11 1/8 x 7 1/8 FC	3 - #3 TOP 3 - #5 BOTTOM	PROVIDE 1 1/2" CLEAR COVER
L3	W8x18 w/ E 5/16x10'-11"xCONT.	EQUAL INFILL FOLLOWING ERECTION 3/16" 3-12	
L4	W8x24 w/ E 5/16x10'-11"xCONT.	EQUAL INFILL FOLLOWING ERECTION 3/16" 3-12	
L5	W16x24 w/ E 5/16x10'-11"xCONT.	EQUAL INFILL FOLLOWING ERECTION 3/16" 3-12	

- LINTEL SCHEDULE NOTES:
1. PROVIDE 8" MINIMUM BEARING FOR ALL LINTELS, U.N.O.
 2. PROVIDE MINIMUM OF 3 COURSES SOLID GROUTED CMU BELOW LINTEL BEARING (UNLESS OTHERWISE NOTED). SEE MASONRY WALL & PIER REINF. SCHEDULE.
 3. CENTER BEAMS WITHIN WIDTH OF BLOCK UNLESS NOTED OTHERWISE.
 4. PROVIDE HORIZONTAL REINFORCING IN THE JOINT ABOVE THE LINTEL, AND EXTEND 24" BEYOND EDGE OF OPENING.
 5. REFER TO ARCHITECTURAL DRAWINGS FOR OPENING LOCATIONS, ELEVATIONS, & SIZES.
 6. EXTEND BOTTOM PLATES FULL LENGTH.
 7. BOTTOM IE TO BE 1" NARROWER THAN NOMINAL TOTAL WALL THICKNESS, UNLESS NOTED OTHERWISE. WRAP ENDS OF STEEL LINTEL w/ BUILDING PAPER AND GROUT SOLID.

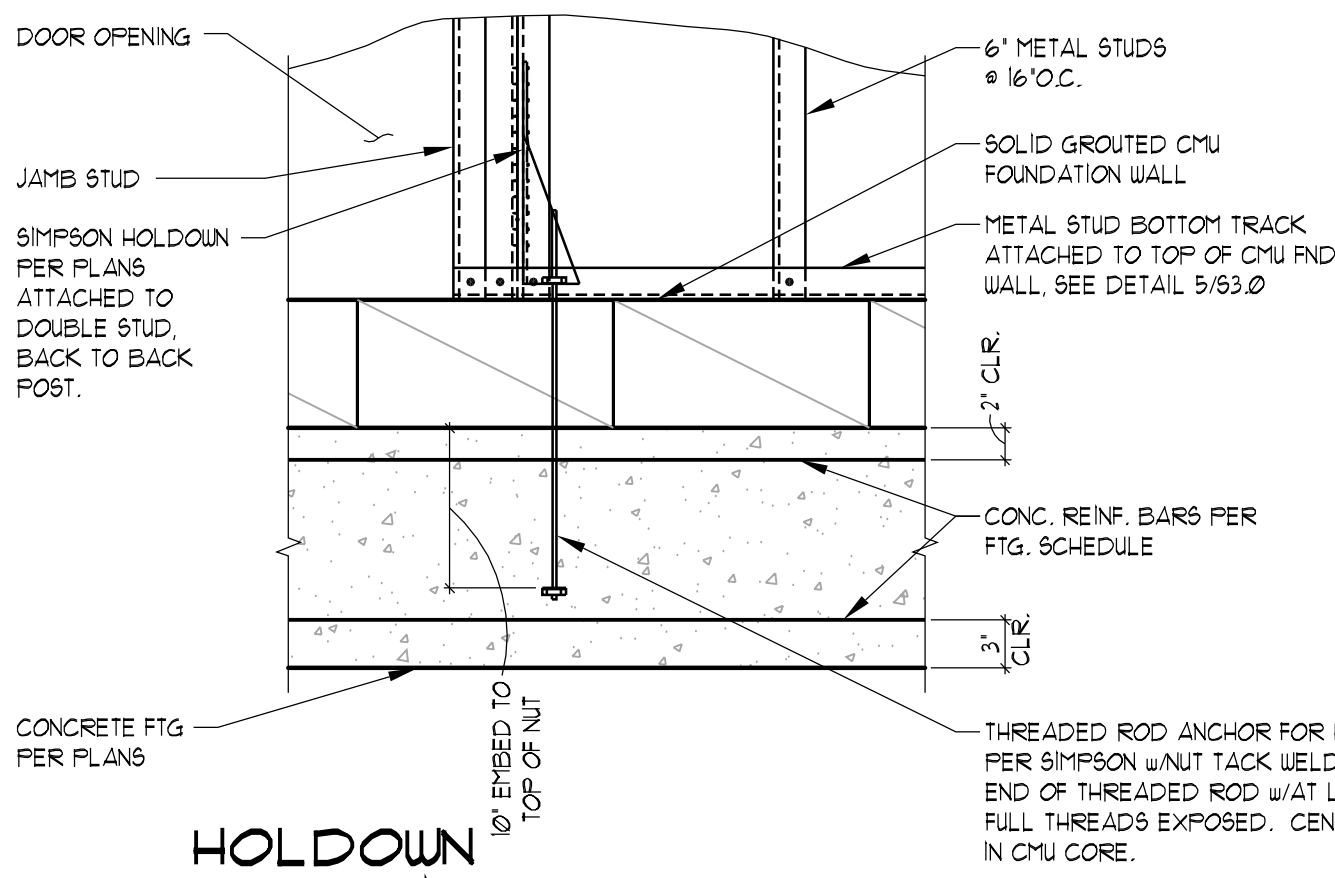


7
63.0
COLUMN FOOTING
SCALE: N.T.S.

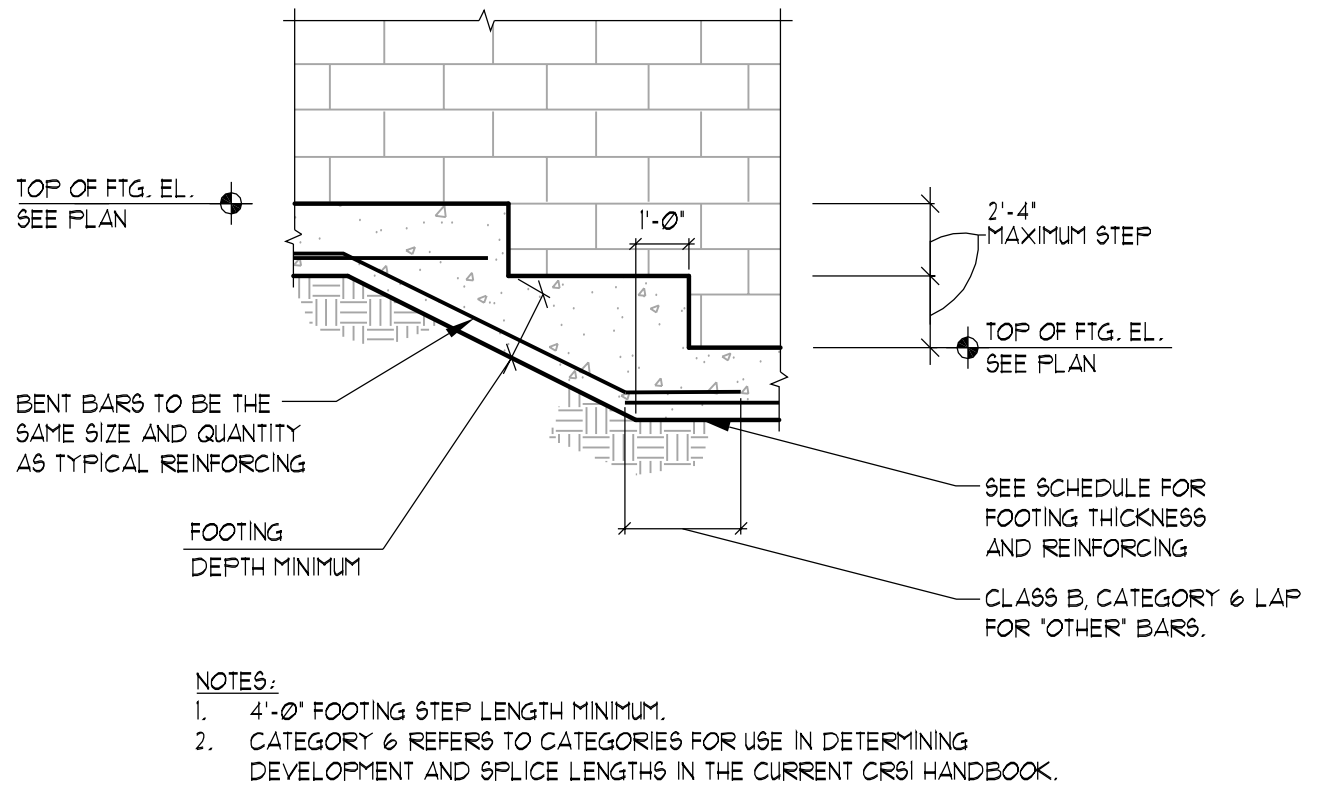


- NOTES:
1. SEE THE FOUNDATION PLAN FOR SLAB THICKNESS, REINFORCEMENT, AND JOINT LOCATIONS.
 2. SLAB SHALL BE PLACED USING 'STRIP' OR 'LANE' CONSTRUCTION.
 3. FILL JOINTS WITH SEMI-RIGID EPOXY MATERIAL.

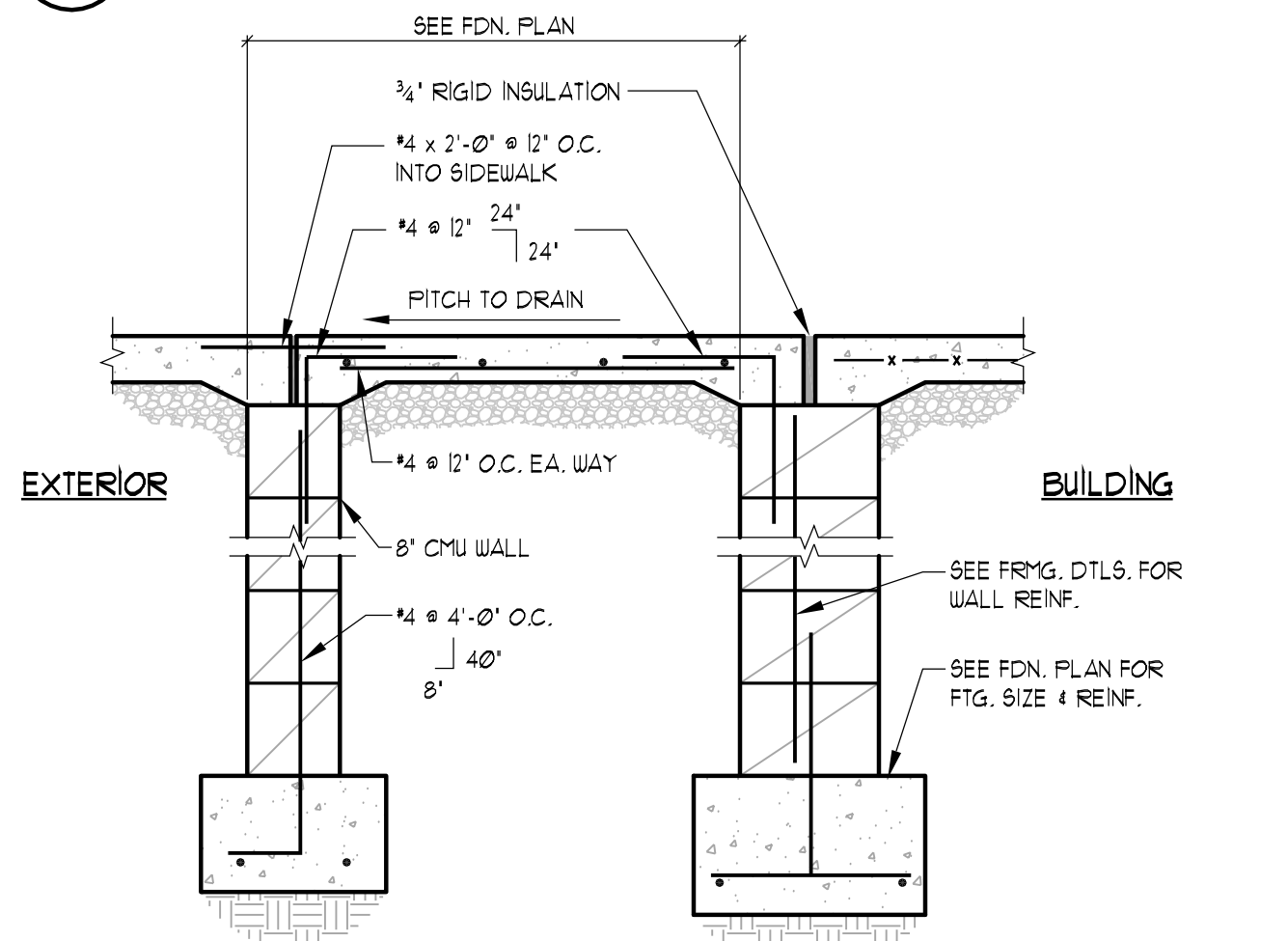
3
63.0
SLAB ON GRADE CONTROL JOINT
SCALE: N.T.S.



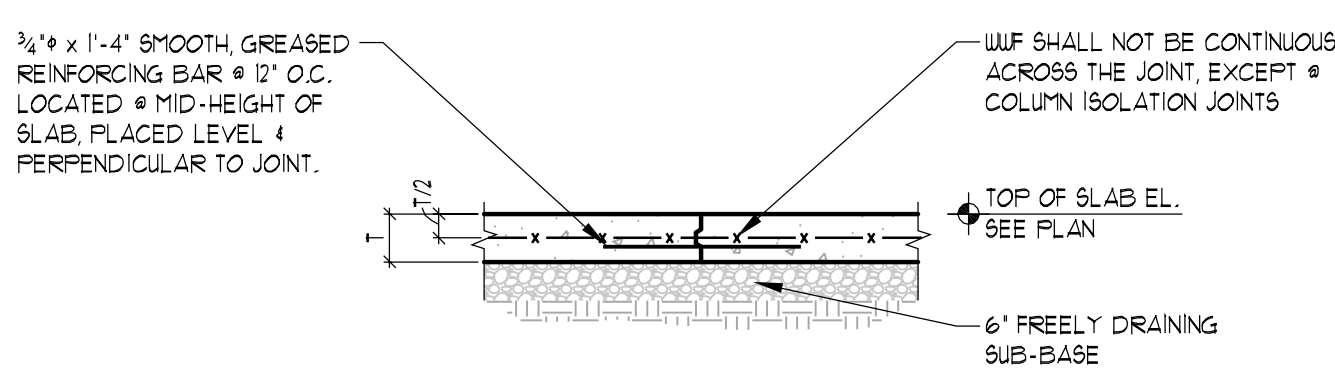
13
63.0
HOLDOWN ELEVATION @ SHEARWALL
SCALE: N.T.S.



10
63.0
STEPPED FOOTING @ MASONRY WALL
SCALE: N.T.S.

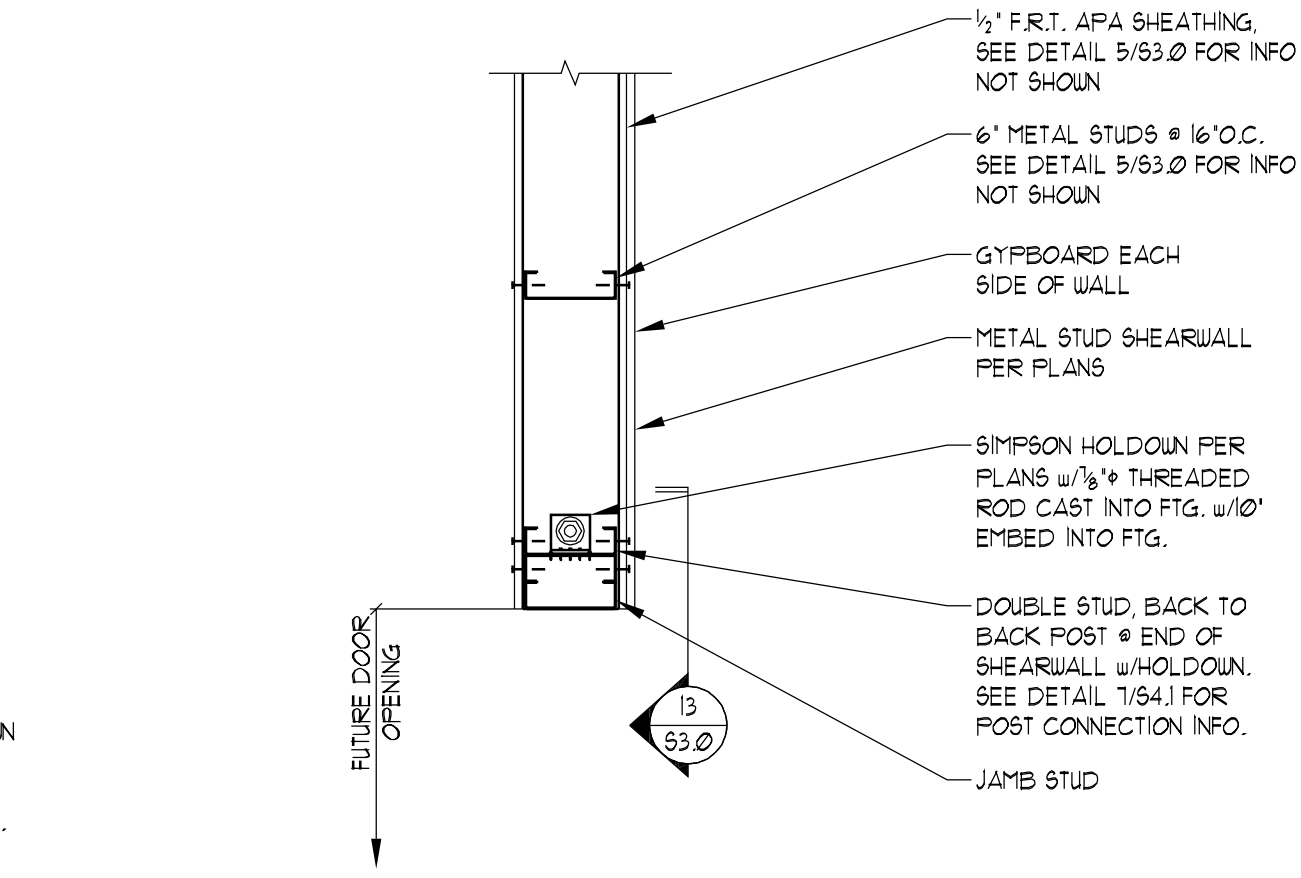


6
63.0
STOOP SECTION
SCALE: N.T.S.

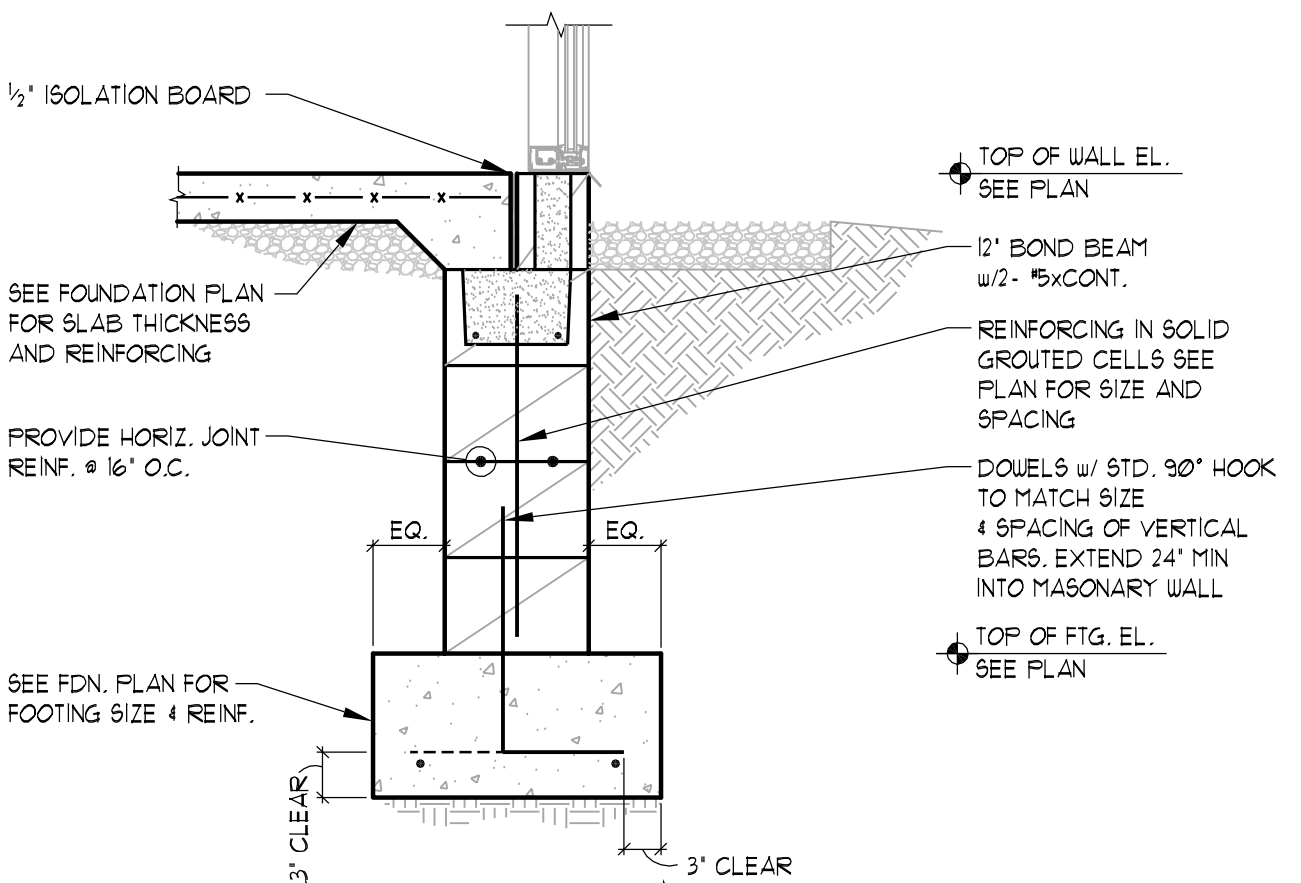


- NOTES:
1. SEE THE FOUNDATION PLAN FOR SLAB THICKNESS, REINFORCEMENT, AND JOINT LOCATIONS.
 2. SLAB SHALL BE PLACED USING 'STRIP' OR 'LANE' CONSTRUCTION.
 3. FILL JOINTS WITH SEMI-RIGID EPOXY MATERIAL.
 4. SMOOTH DOUCEL BARS SHALL BE SAWN, NOT SHEARED.

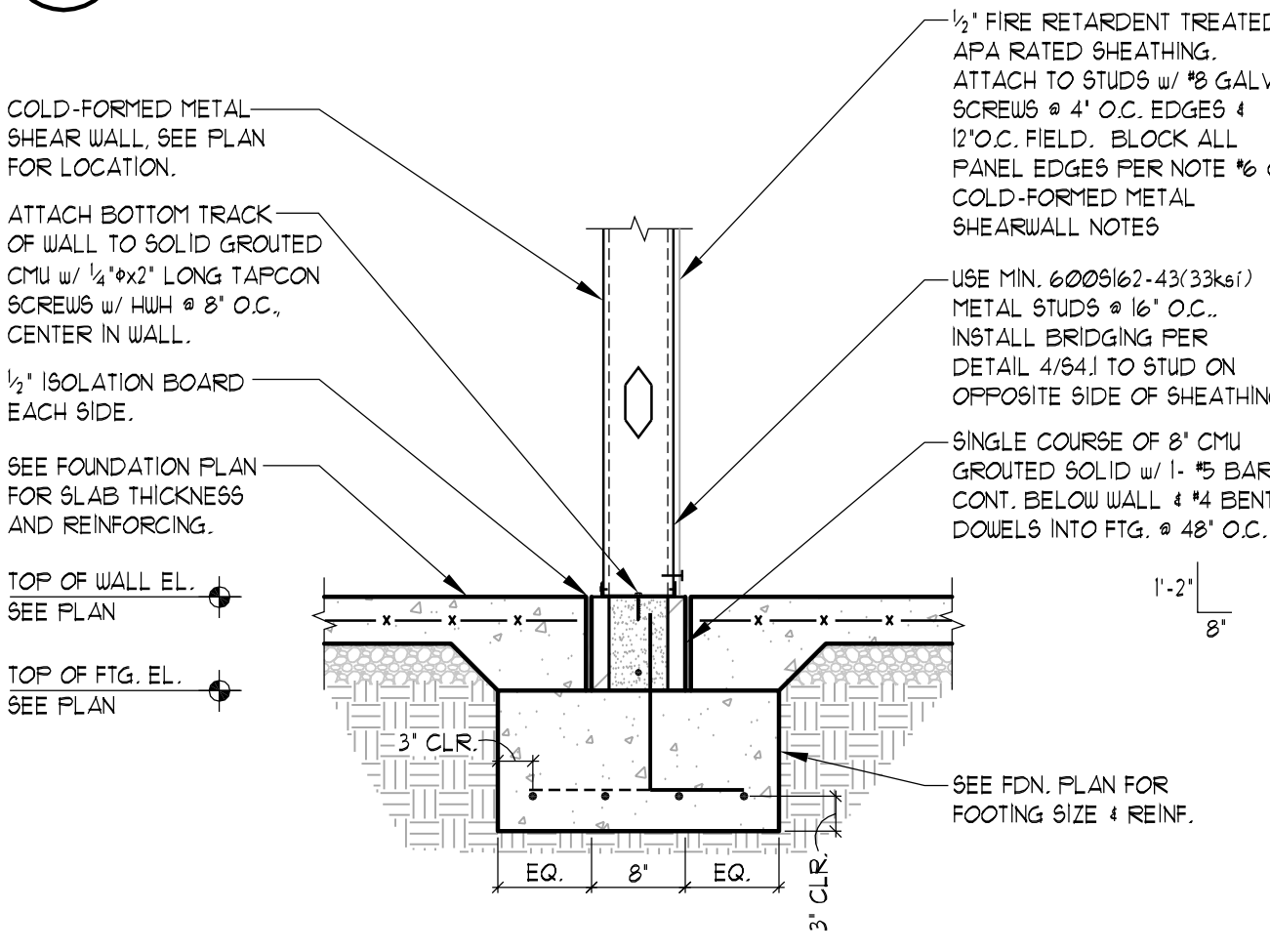
2
63.0
SLAB ON GRADE CONSTRUCTION JOINT
SCALE: N.T.S.



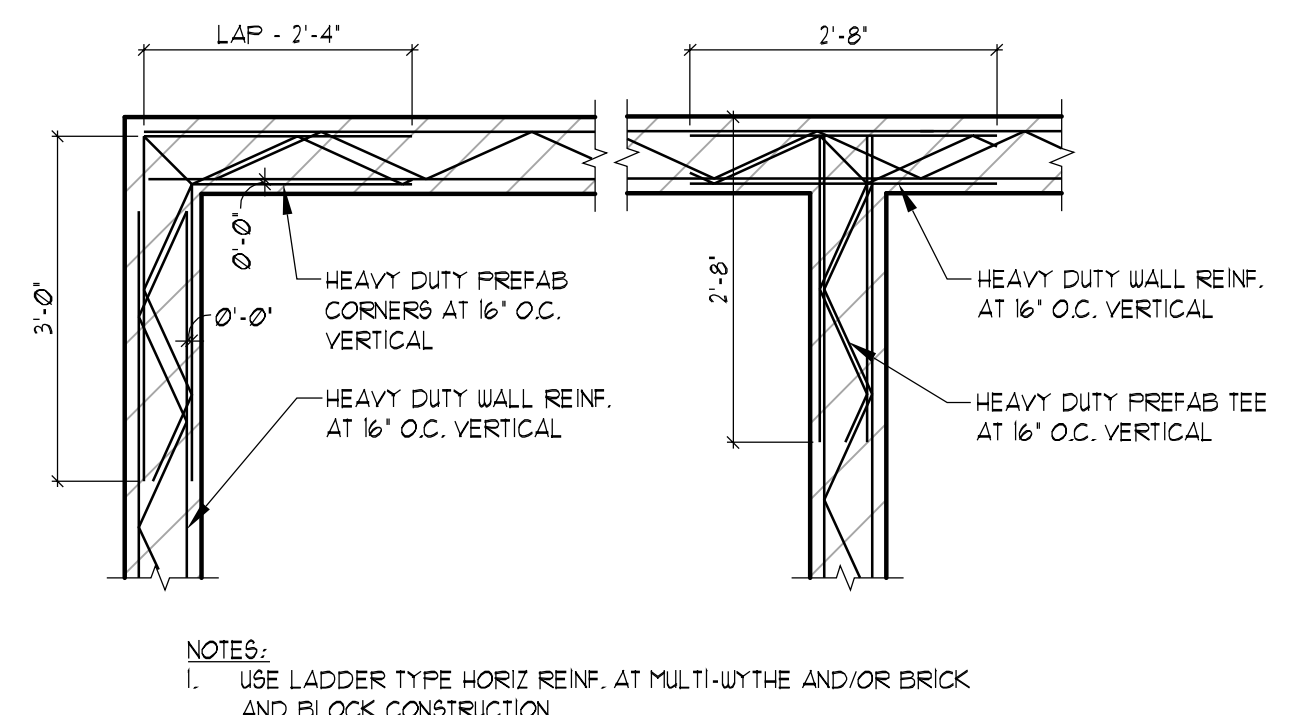
12
63.0
PLAN OF HOLDOWN @ SHEARWALL
SCALE: N.T.S.



9
63.0
TYPICAL EXTERIOR WALL FOOTING @ WINDOW
SCALE: N.T.S.



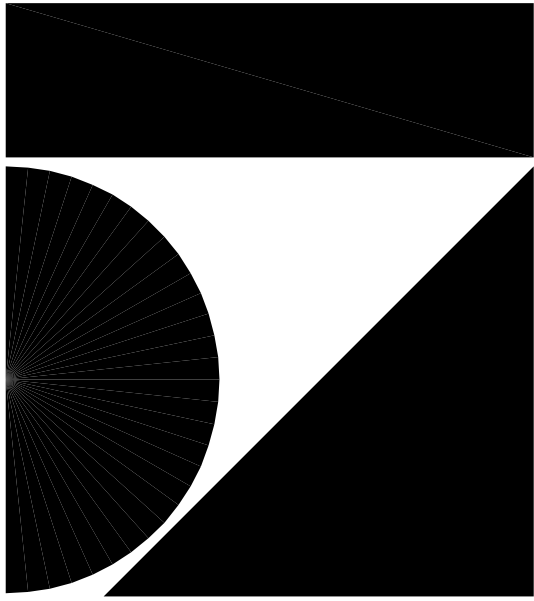
5
63.0
INTERIOR SHEAR WALL FOOTING
SCALE: N.T.S.



1
63.0
HORIZONTAL MASONRY WALL REINFORCEMENT
SCALE: N.T.S.

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Revisions

Sheet
FOUNDATION DETAILS

Project
PEWAUKEE CROSSINGS

COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

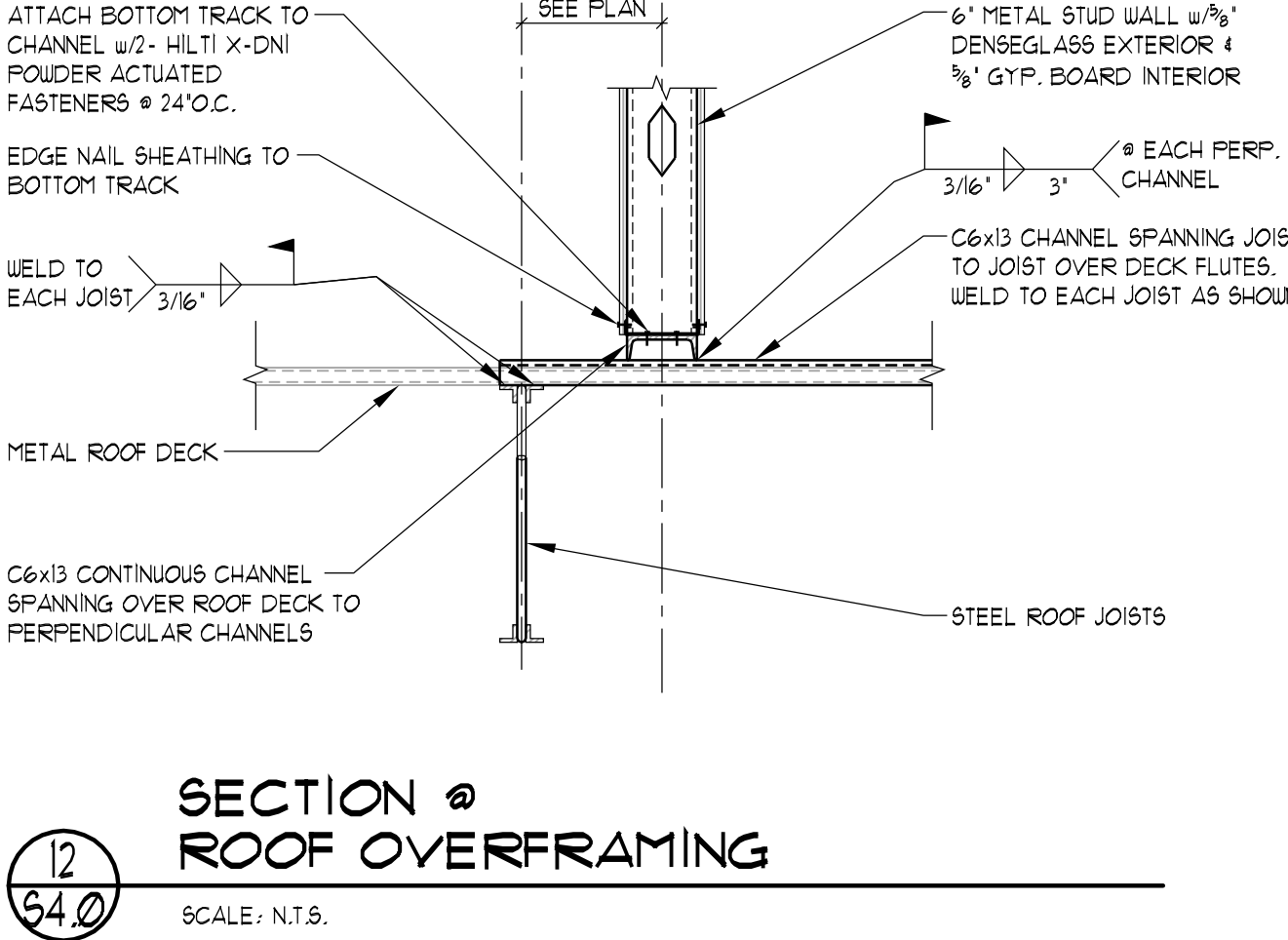
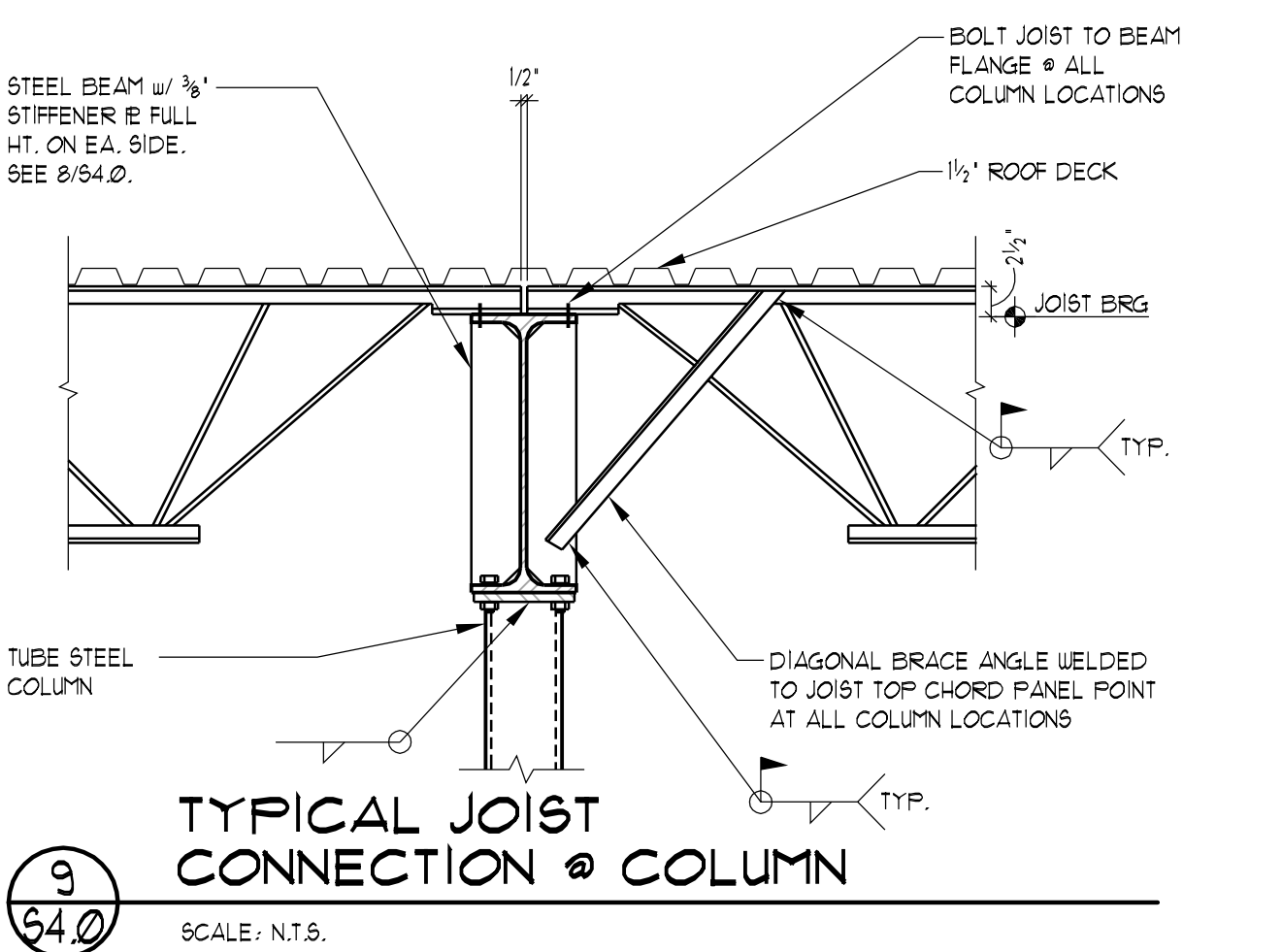
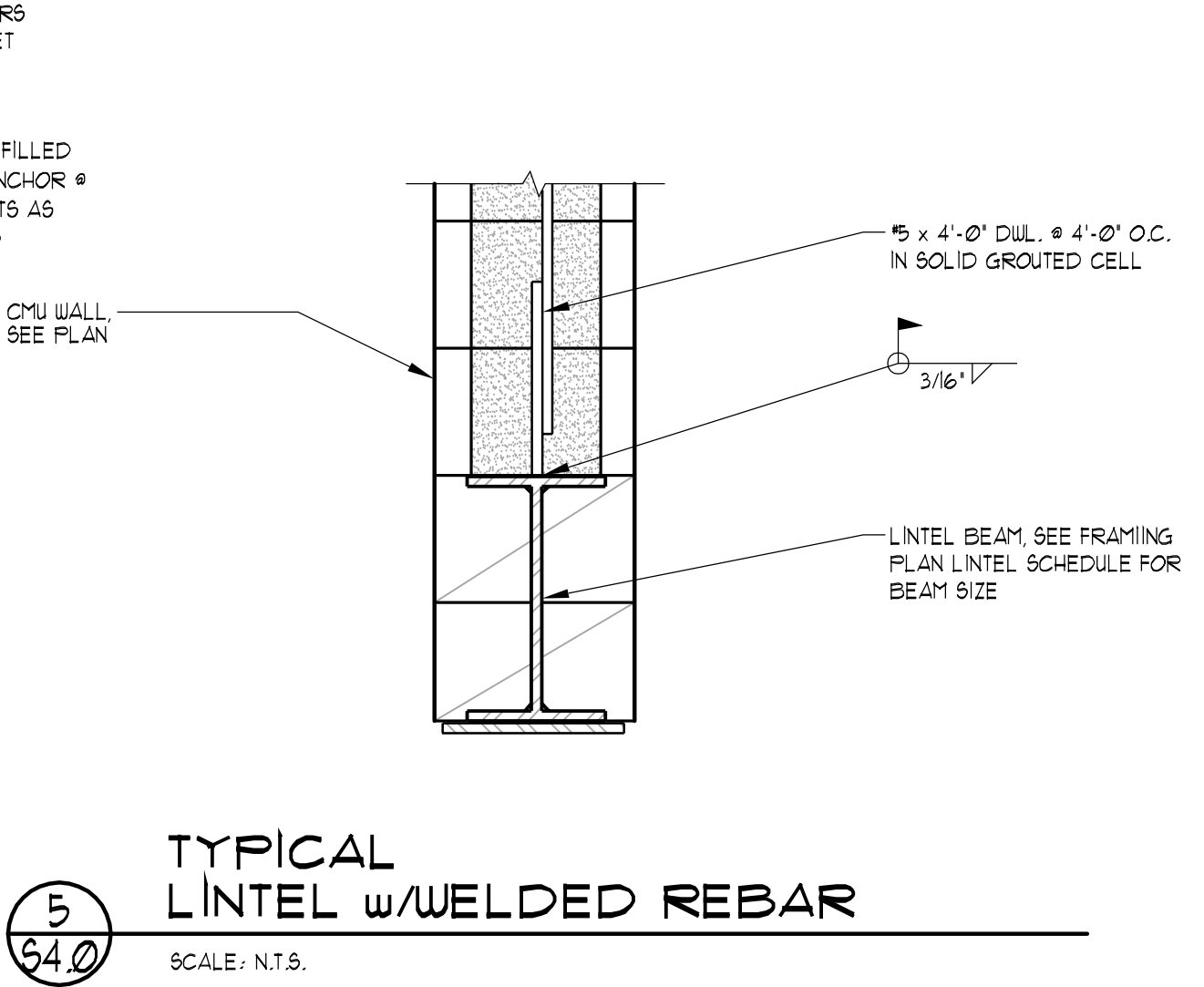
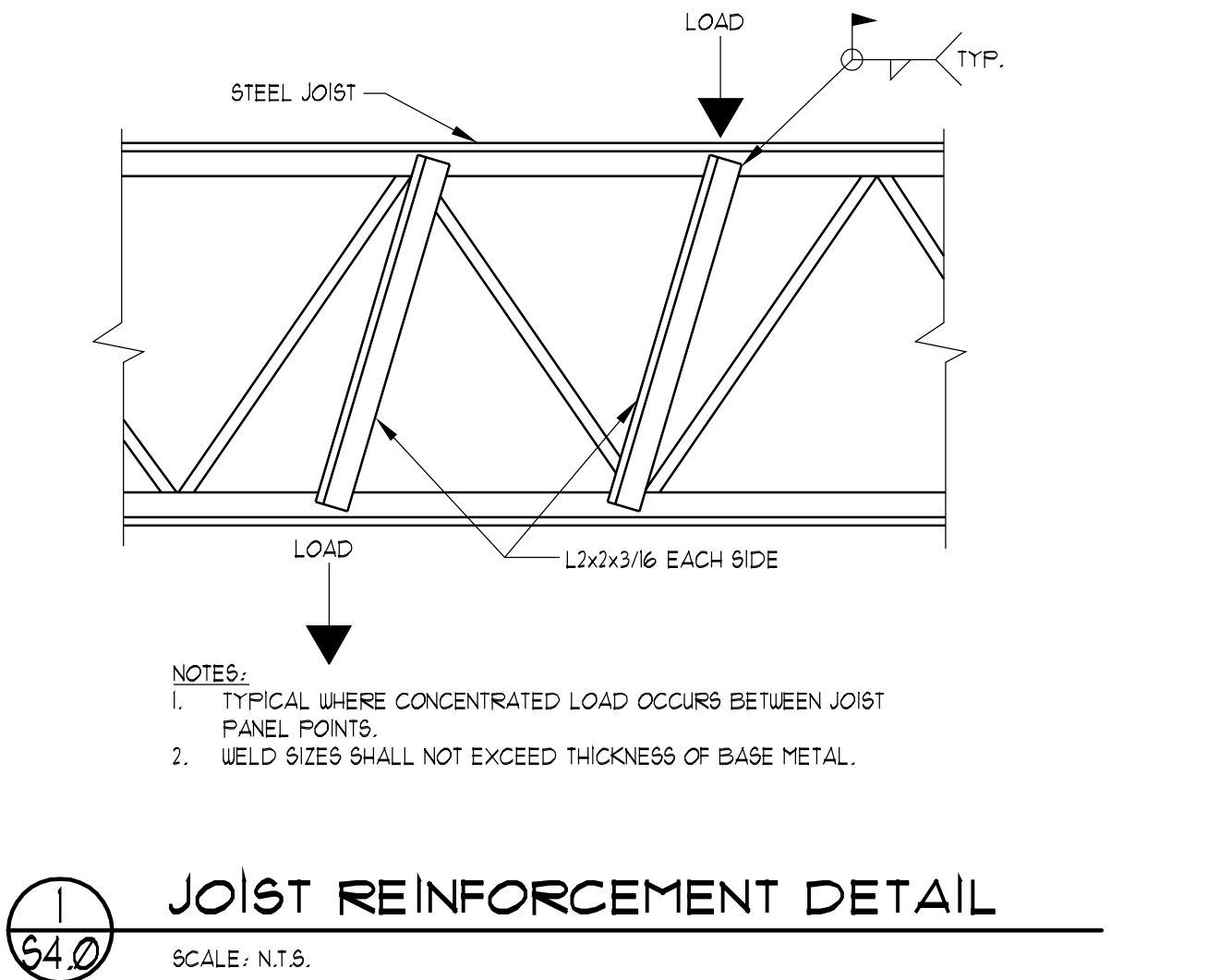
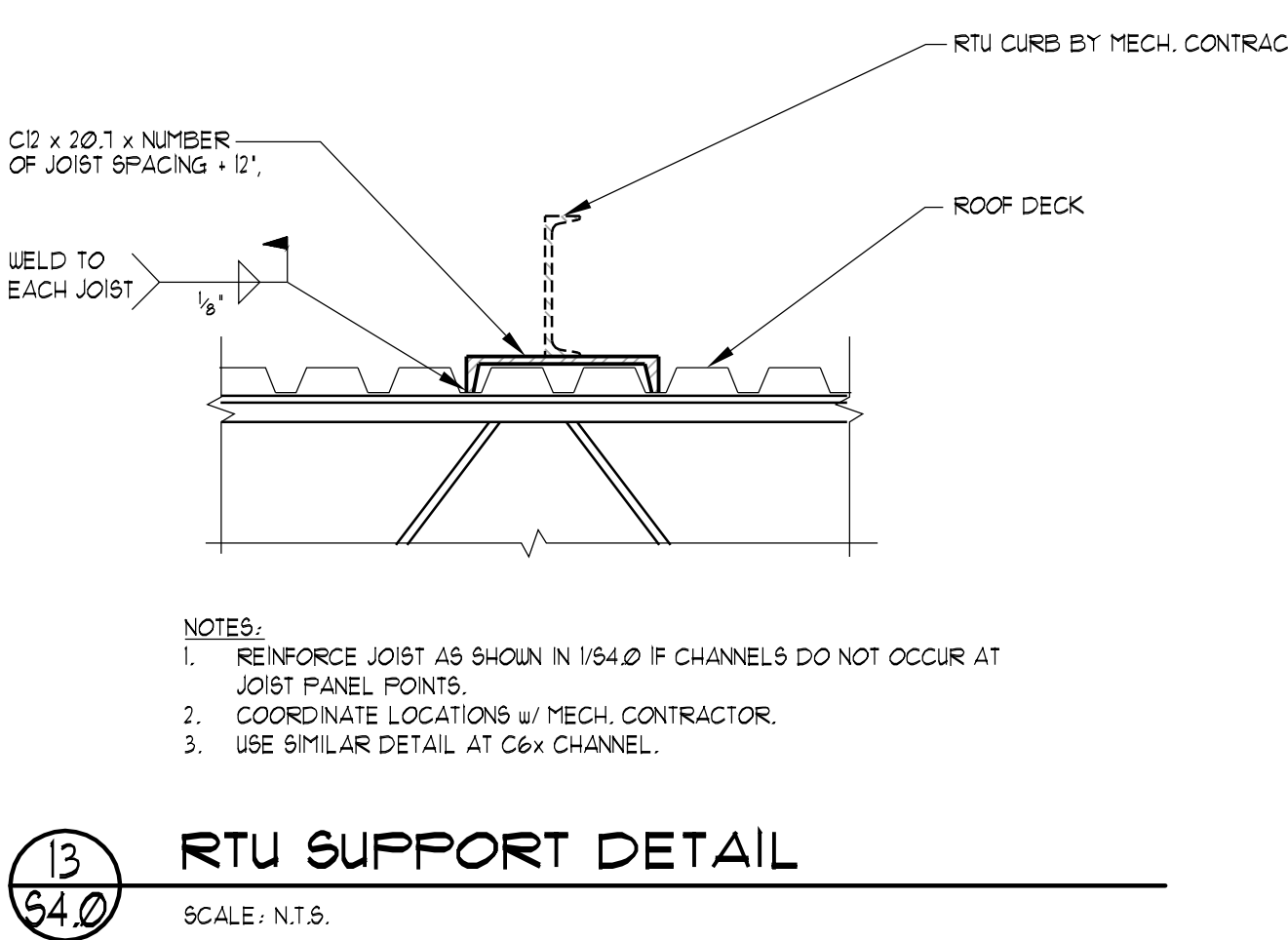
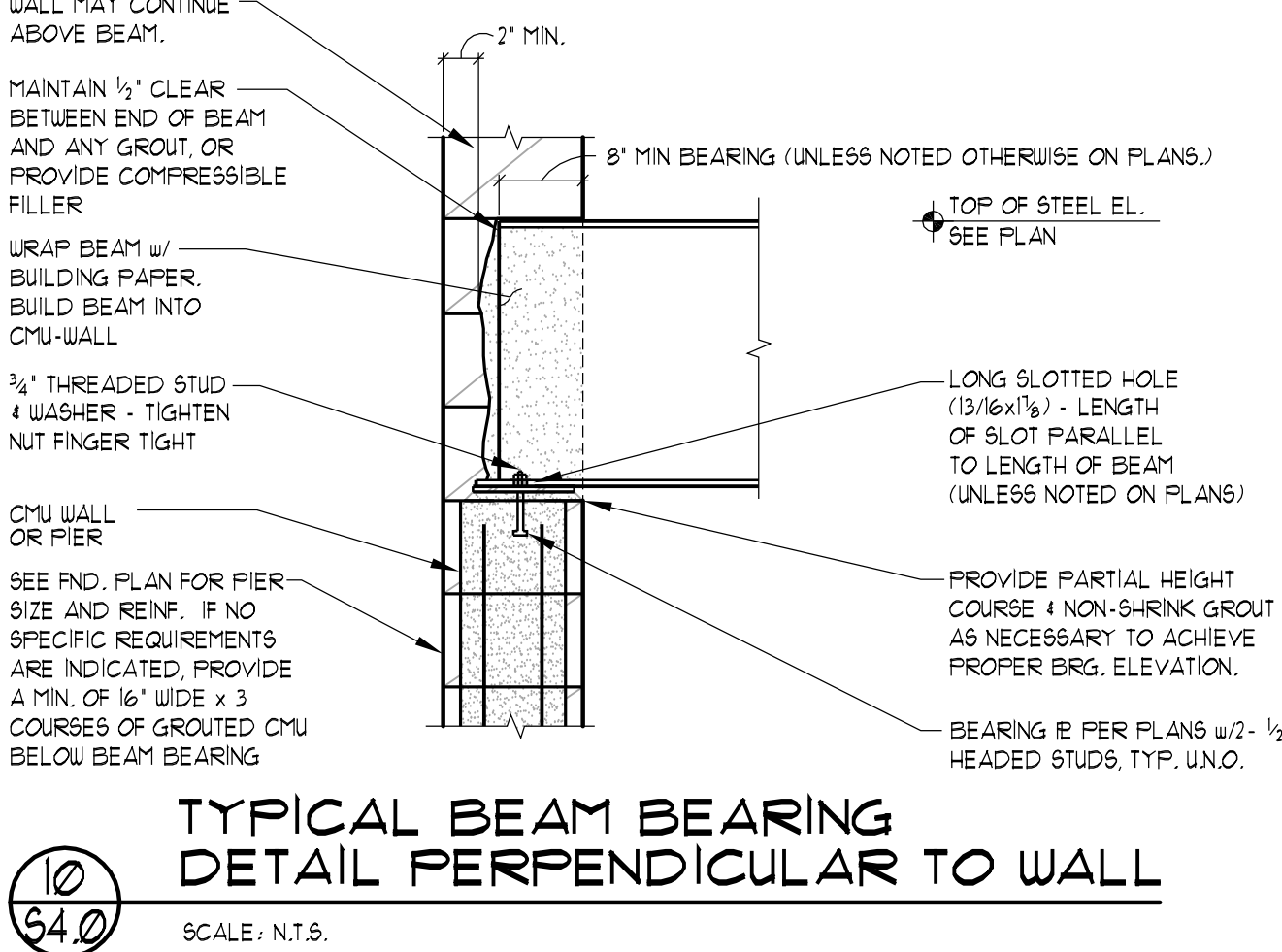
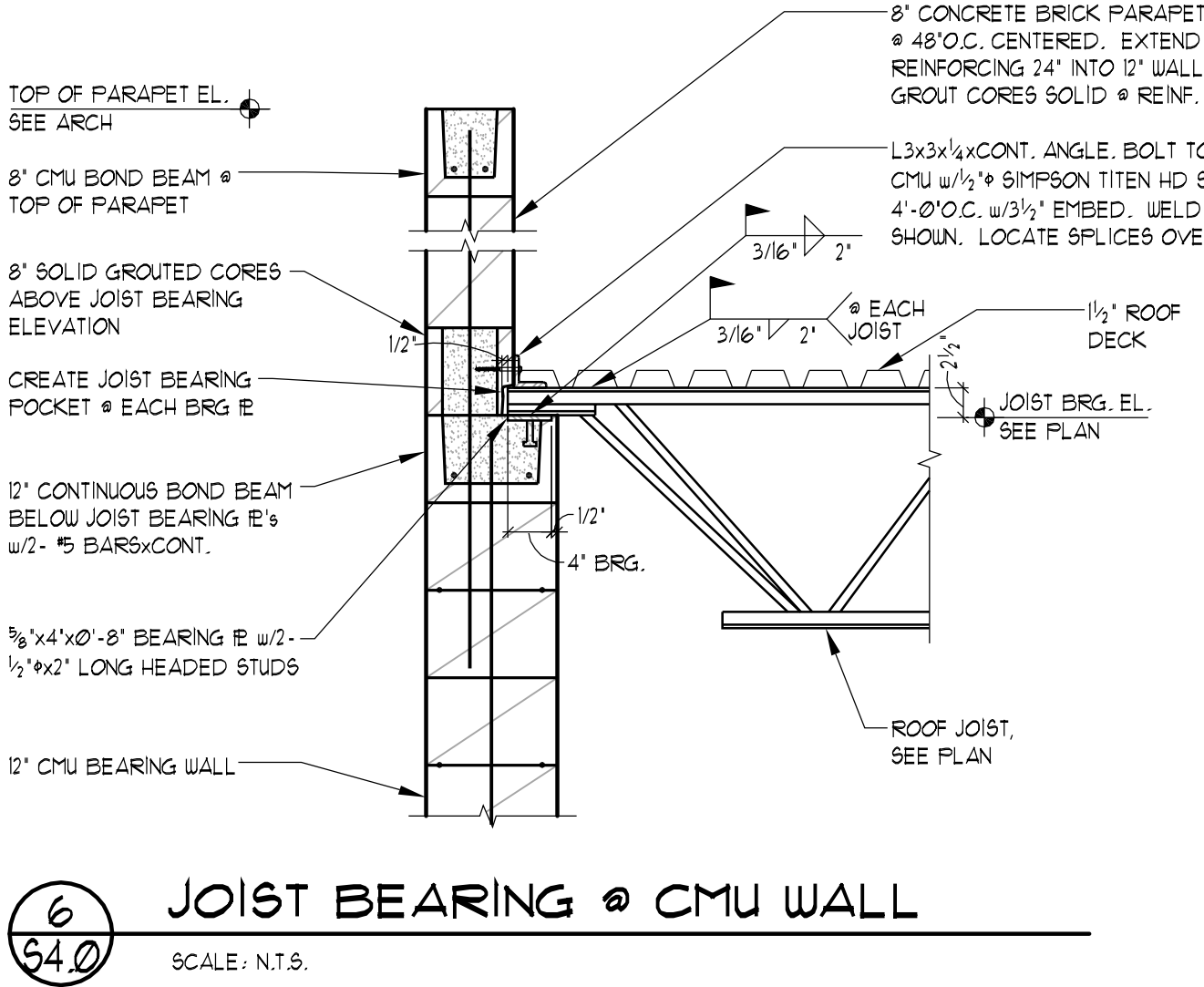
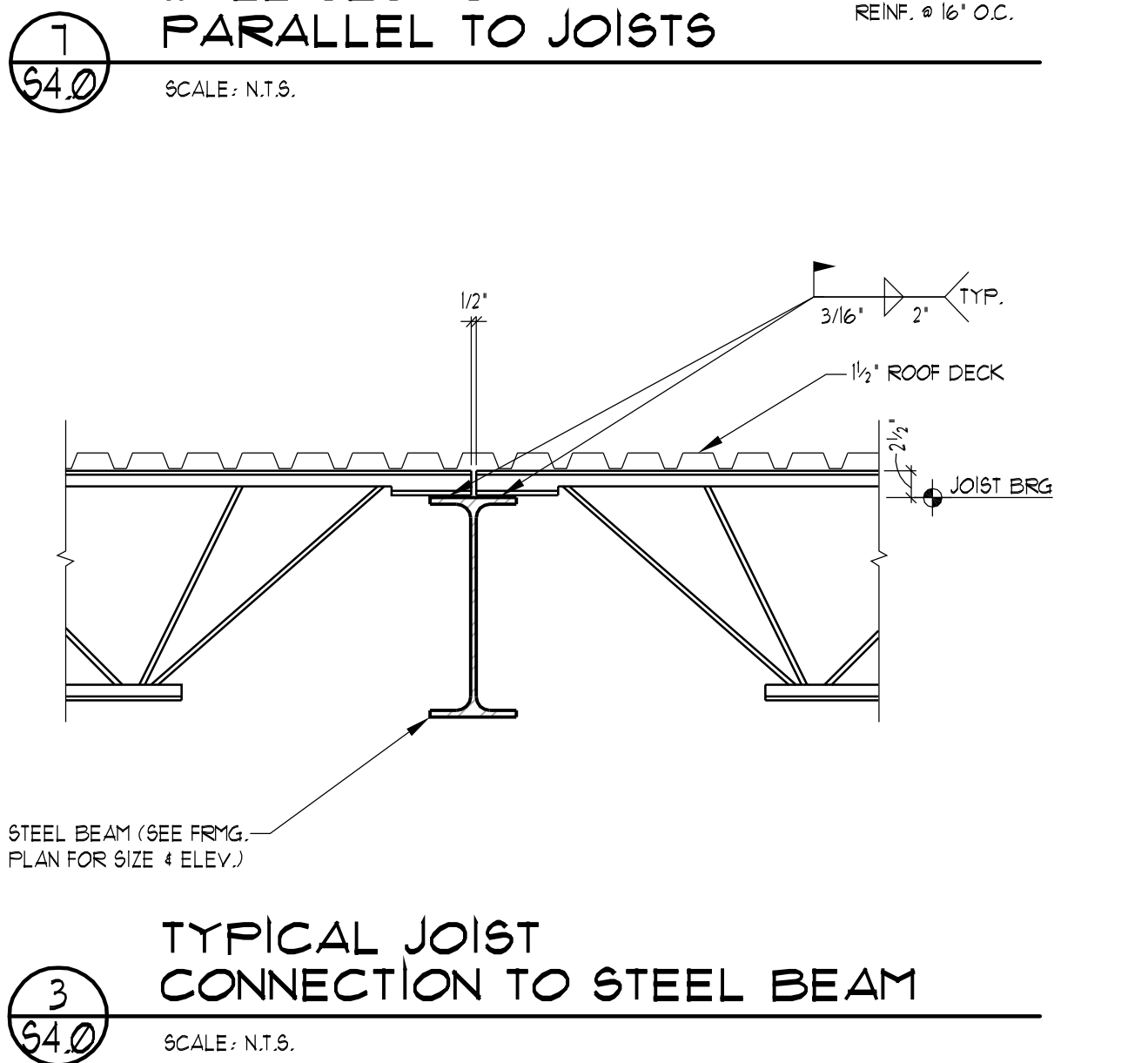
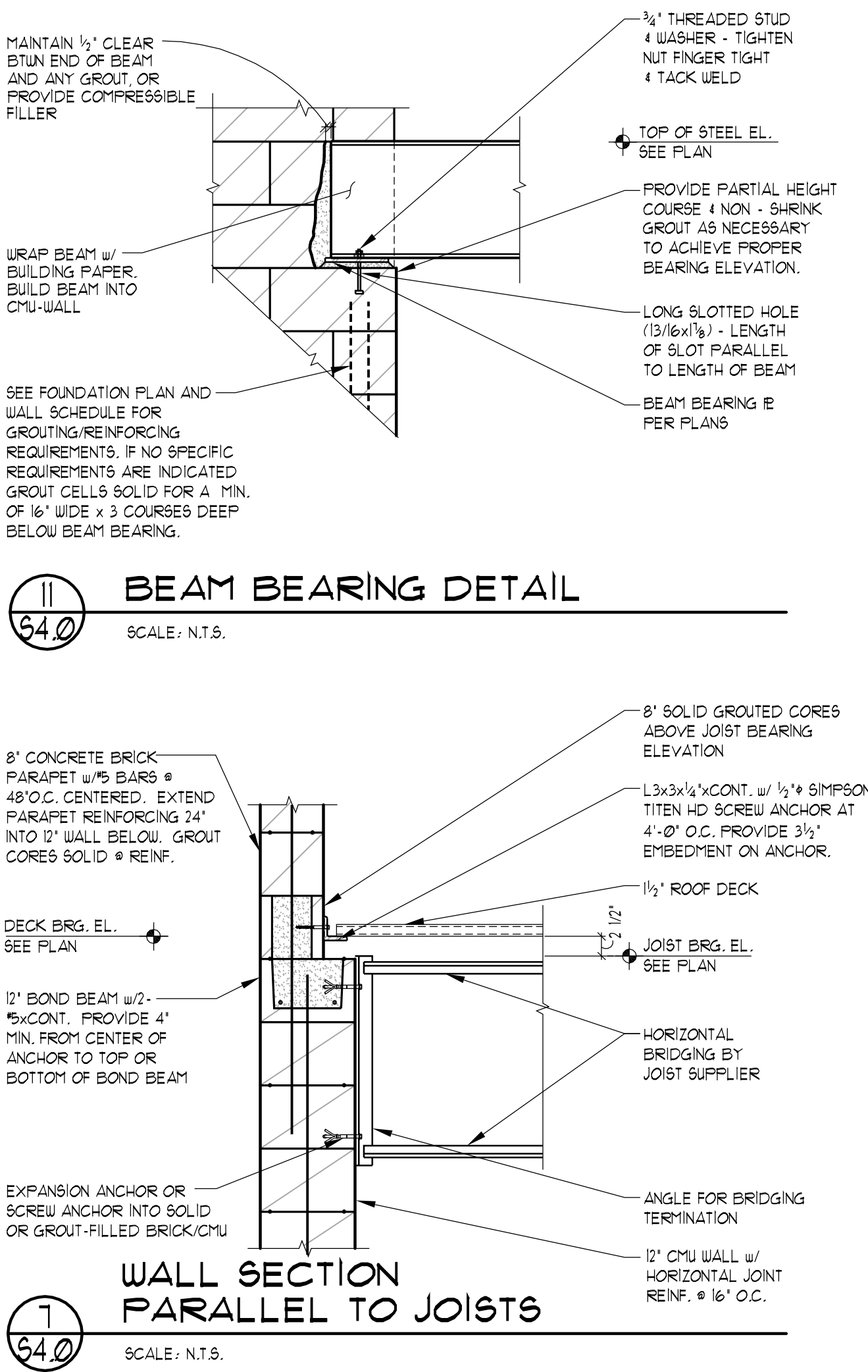
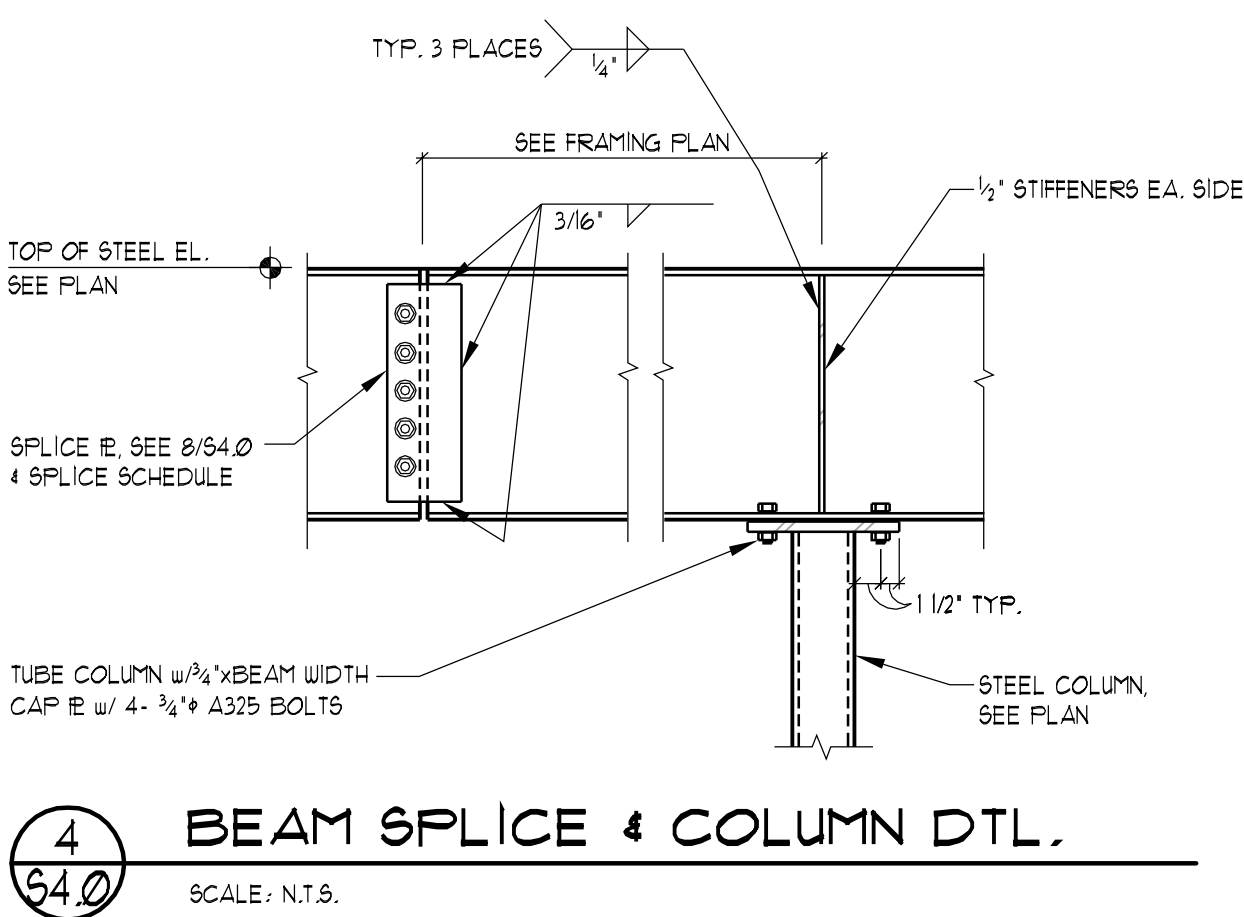
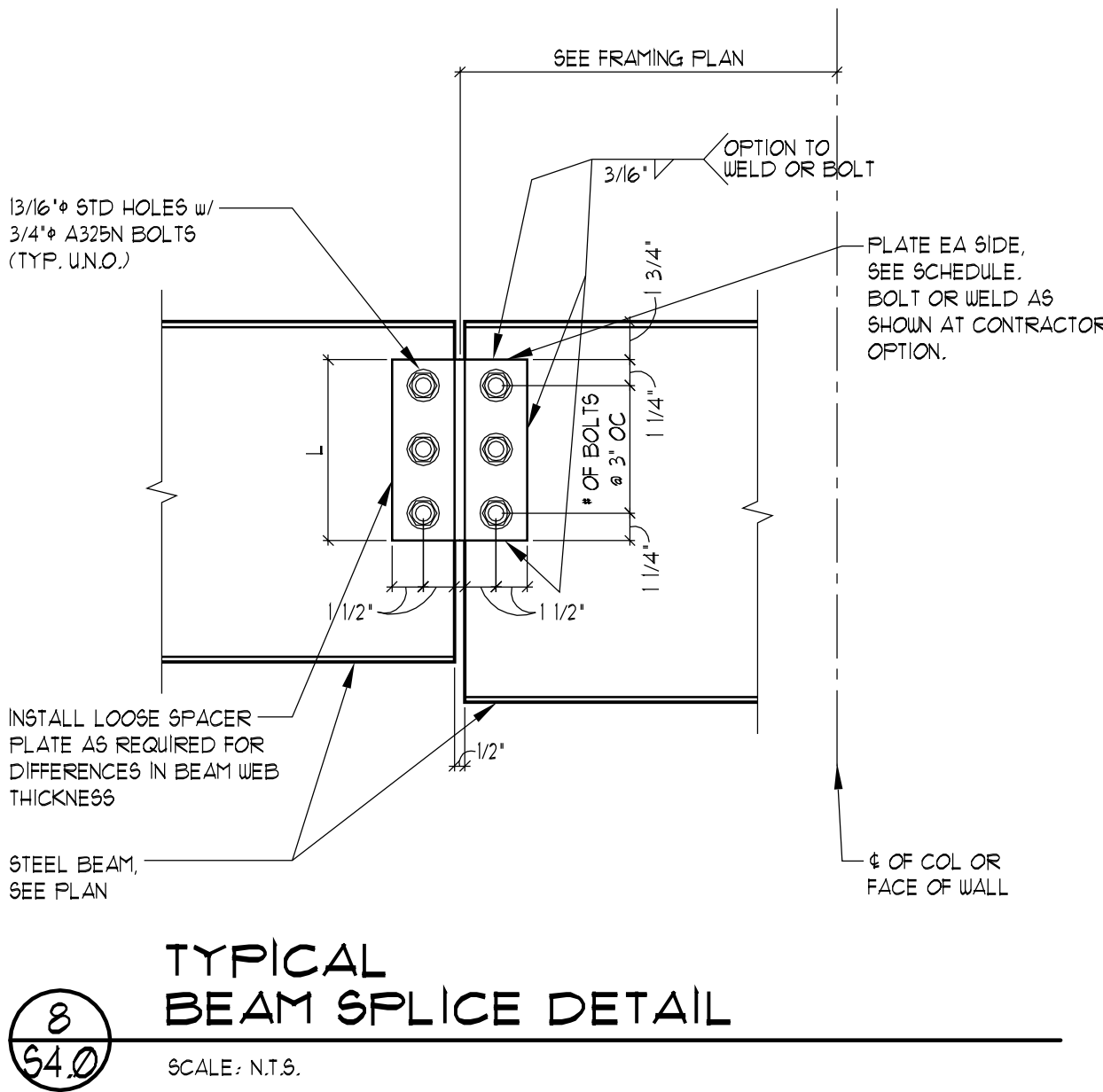
Date
06.14.06

Project Number
060033.00

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S3.0

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Sheet
FRAMING DETAILS

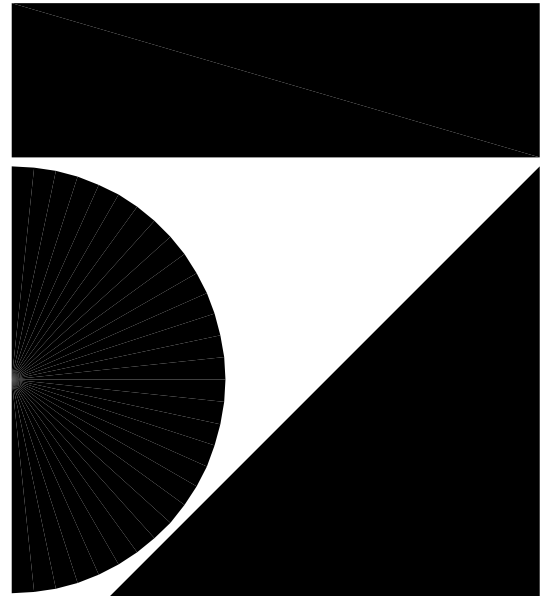
Project
PEWAUKEE CROSSINGS

County HWY "F" & WATERTOWN ROAD
PEWAUKEE, WI

Date
06.14.06

Project Number
060033.00

Sheet Number
S4.0



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FRAMING DETAILS

Project

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PEWAUKEE, WI

Date

06.14.06

Project Number

060033.00

Sheet Number

S4.1

COLD-FORMED METAL SHEARWALL NOTES

ALL WALLS USED AS SHEAR WALLS FOR RESISTING WIND & SEISMIC LATERAL FORCES SHALL CONFORM TO THE FOLLOWING MINIMUM REQUIREMENTS PER THE UECBC 2000, SECTION 2211.

- FOR SCREWED CONNECTIONS SCREWS SHALL BE OF SUFFICIENT LENGTH TO PENETRATE THROUGH THE COLD-FORMED STEEL FRAMING MEMBER BY AT LEAST THREE EXPOSED THREADS.
- STUDS SHALL BE A MINIMUM 1 3/8"x3 1/2" WITH A 1/8" RETURN LIP. AS A MINIMUM STUDS SHALL BE DOUBLED (BACK TO BACK) AT SHEAR WALL ENDS.
- TRACK SHALL BE A MINIMUM 1 1/4"x3 1/2", SAME GAUGE AS STUD.
- BOTH STUDS AND TRACK SHALL HAVE A MINIMUM UNCOATED BASE METAL THICKNESS OF 0.033 INCH (0.84mm) AND SHALL BE OF THE FOLLOWING GRADES OF STRUCTURAL QUALITY STEEL: A57M A653 55 GRADE 33, A57M A792 55 GRADE 33, OR A57M A875 55 GRADE 33.
- FASTENERS ALONG THE EDGES IN SHEAR PANELS SHALL BE PLACED NOT LESS THAN 3/8" IN FROM PANEL EDGES.
- ALL PANEL EDGES SHALL BE FULLY BLOCKED. WHERE HORIZONTAL STRAPPING IS USED TO PROVIDE SUCH BLOCKING, IT SHALL BE A MINIMUM 1 1/2" WIDE AND OF THE SAME MATERIAL & THICKNESS AS THE TRACK & STUDS. PANELS LESS THAN 12" WIDE SHALL NOT BE USED.
- WOOD STRUCTURAL PANEL SHEATHING:
 - LIGHT FRAMED COLD FORMED STEEL WALL SYSTEMS SHEATHED WITH WOOD STRUCTURAL PANELS ARE PERMITTED TO RESIST HORIZONTAL FORCES PROVIDED BY WIND OR SEISMIC LOADS.
 - WOOD STRUCTURAL PANELS SHALL COMPLY WITH DOC P91 OR P92.
 - STRUCTURAL PANELS ARE PERMITTED TO BE APPLIED WITH LONG DIMENSION EITHER VERTICAL OR HORIZONTAL TO FRAMING. SCREWS USED TO ATTACH PLYWOOD AND OSB SHALL BE APPROVED AND SHALL BE A MINIMUM NO. 8 FLAT-HEAD, SELF-DRILLING TAPPING SCREWS WITH A MINIMUM HEAD DIAMETER OF 0.231" (1.4mm) IN ACCORDANCE w/SAE J18.
 - GYPSON BOARD PANEL SHEATHING:
 - COLD-FORMED STEEL STUD WALL SYSTEMS SHEATHED WITH GYPSON BOARD ARE PERMITTED TO RESIST HORIZONTAL FORCES PRODUCED BY WIND LOADS ONLY.
 - GYPSON BOARD MUST BE DIRECTLY ATTACHED TO BOTH SIDES OF METAL STUDS WITHOUT THE USE OF RESILIENT CHANNELS.
 - GYPSON BOARD SHALL BE APPLIED TO STUDS WITH THE LONG DIMENSION HORIZONTAL ONLY. END JOINTS OF ADJACENT COURSES OF GYPSON BOARD SHEETS SHALL NOT OCCUR OVER THE SAME STUD.
 - SCREWS USED TO ATTACH GYPSON BOARD SHALL BE A MINIMUM NO. 6 IN ACCORDANCE WITH ASTM C954.

COLD-FORMED METAL MATERIAL NOTES

- ALL COLD-FORMED METAL FRAMING SHALL CONFORM TO:
PAINTED SECTIONS: 10, 12, 14 & 16 GA - A510 FY:50,000 PSI
PAINTED SECTIONS: 18 & 20 GA - A618 GD C FY:33,000 PSI
GALVANIZED SECTIONS: 10, 12, 14 & 16 GA - A446 GD D FY:50,000 PSI
GALVANIZED SECTIONS: 18 & 20 GA - A446 GD A FY:33,000 PSI
- REFER TO PLANS AND DETAILS FOR GAUGE AND SIZE REQUIREMENTS OF COLD-FORMED METAL FRAMING MEMBERS.
- ALL FRAMING PRODUCTS SHALL BE FORMED FROM STEEL POSSESSING A COATING CORRESPONDING TO THE MINIMUM REQUIREMENTS OF ASTM C955.
- ALL SIDE CLIPS, SUPPORT CLIPS, AND CLIP ANGLES ARE 50 KSI, UNLESS NOTED OTHERWISE.
- NOMENCLATURE: CONFORMS TO SPSMA STANDARDS, PRODUCT TECHNICAL INFORMATION, PAGE 5 (www.spsma.com), FOR "GENERIC" FRAMING MANUFACTURER.
- GALVANIZING: ALL FRAMING TO BE GALVANIZED, G60 COATING MINIMUM, UNLESS NOTED OTHERWISE.
- SUGGESTED WELD METAL AND PROCESS FOR SHOP WELDING ARE: 60 KSI WELD MATERIAL STRENGTH (MINIMUM), SUGGESTED METHODS FOR FIELD WELDING: 1/2" UNLESS NOTED OTHERWISE, E60XX (MINIMUM) ELECTRODE - SMAW - OR "GASLESS" MIG, MINIMUM WELD THROAT THICKNESS (1) MUST MATCH OR EXCEED THE BASE STEEL THICKNESS OF THE THINNEST CONNECTED PART UNLESS NOTED OTHERWISE.
- ZINC RICH PAINT: FOR WELD TOUCH-UP USE PAINT 20 TYPE II ORGANIC ZINC RICH.
- FASTENERS: SHALL BE CORROSION-RESISTANT CADMIUM OR ZINC PLATED SCREWS, NUTS, BOLTS, WASHERS AND OTHER FASTENERS.
- UNLESS NOTED OTHERWISE, REFER TO LITERATURE PUBLISHED BY HILTI FASTENING SYSTEMS, INC. FOR EXPANSION BOLT, OR POWDER ACTUATED FASTENER (P.A.F.) INFORMATION AND HILTI BUILDEX, INC. FOR TENS SCREW DATA. ALTERNATE MANUFACTURER'S FASTENERS OF COMPARABLE SPECIFICATIONS AND LOAD CAPACITIES ARE ACCEPTABLE WITH APPROVAL. ALL FASTENERS SUBJECT TO TENSION SHALL HAVE 1/8" (MINIMUM) DIAMETER STEEL WASHERS.
- ALL CONCRETE SCREW FASTENERS SHALL BE THOSE AS MANUFACTURED AND TESTED BY TAPCON CONCRETE ANCHORS OR APPROVED EQUAL, OR AS INDICATED ON THE DRAWINGS.

COLD-FORMED METAL PRODUCT IDENTIFICATION

PRODUCT GEOMETRIES MUST MEET OR EXCEED THE MINIMUM PROPOSED BY THE STEEL STUD MANUFACTURERS ASSOCIATION FOR INDUSTRY STANDARDIZATION. FOR SPSMA DESIGNATIONS SEE TABLES BELOW.

MEMBER SECTION TABLE

SECTION	SPSMA IDENTIFICATION	FLANGE WIDTH
S-SECTIONS (STUDS)	S31	1 3/4"
	S162	1 3/4"
	S200	2"
	S250	2 1/2"
T-SECTIONS (TRACKS)	T125	1 1/4"
	T200	2"

MEMBER THICKNESS TABLE

MILS GAUGE	MINIMUM DELIVERED THICKNESS	DESIGN THICKNESS
33	20	0.033"
43	18	0.042"
54	16	0.053"
68	14	0.061"
91	12	0.076"
118	10	0.102"

MEMBER DEPTH (WEB SIZE) TABLE

SPSMA IDENTIFICATION	MEMBER DEPTH
600	6"
800	8"
1000	10"

SPSMA PRODUCT IDENTIFICATION

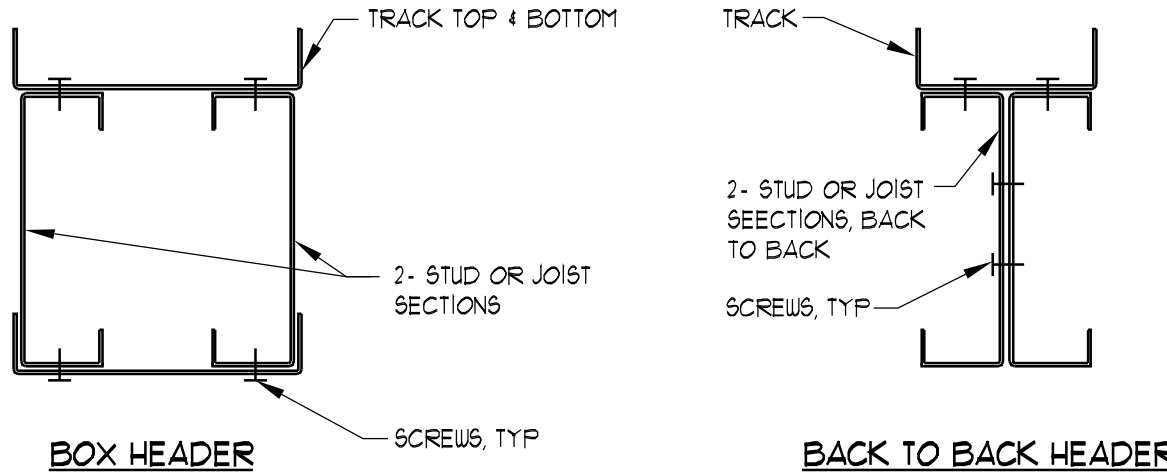
800S162-43 (50ksi)

MEMBER DEPTH SHAPE
MIL THICKNESS
FLANGE WIDTH
YIELD STRENGTH (IF GREATER THAN 33ksi)

COLD-FORMED METAL FRAMING NOTES

*** NOTE TO CONTRACTOR ***

- STUDS LISTED ARE MINIMUM SIZES AND ARE TO BE USED ONLY AS AN AID IN BIDDING. EXACT SIZES AND SPACINGS OF ALL COLD-FORMED METAL FRAMING SHALL BE DETERMINED BY THE COLD-FORMED FRAMING DESIGNER. SHOP DRAWINGS AND SUPPORTING CALCULATIONS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER IN THE STATE OF WISCONSIN. SEE COLD-FORMED METAL FRAMING NOTES FOR ADDITIONAL INFORMATION.
- THE COLD-FORMED METAL FRAMING SHALL BE COMPLETELY DESIGNED AND SUPPLIED BY THE CONTRACTOR FOR ALL GRAVITY, LATERAL, AND OTHER LOADS INDUCED BY THE BUILDING MATERIALS SHOWN ON THE PROJECT DRAWINGS, AND THE DESIGN LOADS APPLIED IN ACCORDANCE WITH THE BUILDING CODE LISTED IN THE DESIGN DATA.
- MEMBER SECTION PROPERTIES AND ALLOWABLE STRESSES SHALL BE CALCULATED IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF THE AISC 1.1, "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
- SHOP DRAWINGS AND SUPPORTING CALCULATIONS FOR THE COLD-FORMED METAL FRAMING SYSTEM, INCLUDING ALL STUDS, JOISTS, HEADERS, JAMBS, SILLS, AND ASSOCIATED CONNECTION DETAILS, SHALL BE SEALED & SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WISCONSIN.
- HEADERS AND JAMBS AT OPENINGS MAY CONSIST OF BUILT-UP COLD-FORMED METAL SECTIONS OR HOT ROLLED STEEL SECTIONS (TUBES, ANGLES, ETC.). SOME CONDITIONS MAY NECESSITATE HOT-ROLLED STEEL SECTIONS, AND ARE TO BE SUPPLIED AND INSTALLED BY THE COLD-FORMED METAL CONTRACTOR.
- MECHANICAL BRIDGING SHALL BE INSTALLED PRIOR TO THE ATTACHMENT OF FACING MATERIALS AND SHALL BE SECURED IN A MANNER TO PREVENT STUD ROTATION AND BE SPACED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. MAXIMUM SPACING SHALL BE 6'-0" ON CENTER FOR LATERALLY LOADED WALLS AND 4'-0" ON CENTER FOR AXIALLY LOADED WALLS.
- PROVIDE WEB STIFFENERS AT HORIZONTAL AND VERTICAL REACTION POINTS.
- PROVIDE ALL HORIZONTAL AND VERTICAL ATTACHMENT MECHANISMS WHERE REQUIRED.
- PROVIDE JACK STUDS OR CRIPPLES BELOW WINDOW SILLS, AND ABOVE WINDOW AND DOOR HEADS. THESE SHALL BE SECURELY ATTACHED TO SUPPORTING MEMBERS.
- ALL WELDING SHALL BE PERFORMED BY AISC D13 CERTIFIED WELDERS IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF AISC D13, "SPECIFICATIONS FOR WELDING SHEET STEEL IN STRUCTURES."
- TEMPORARY BRACING SHALL BE PROVIDED AND REMAIN IN PLACE UNTIL THE STRUCTURE IS COMPLETELY STABILIZED. PRIOR TO ATTACHMENT OF WALL SHEATHING, PROVIDE TEMPORARY BRACING TO RESIST BUCKLING OF LOAD-BEARING STUDS. TEMPORARY X-BRACING TO RESIST LATERAL WIND AND SEISMIC LOADS AND ANY OTHER TEMPORARY BRACING DEEMED NECESSARY DURING CONSTRUCTION. TEMPORARY BRACING IS THE RESPONSIBILITY OF THE COLD-FORMED METAL INSTALLER.
- ALL FIELD CUTTING OF STUDS MUST BE DONE BY SAWING OR SHEARING. TORCH CUTTING OF COLD-FORMED MEMBERS IS UNACCEPTABLE.
- STUDS SHALL NOT DEVIATE FROM PLUMB, LEVEL AND TRUE TO LINE OF 1/8" IN 10'-0" OR IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- MAXIMUM DEFLECTIONS FOR STUDS BACKING UP EXTERIOR BUILDING SKIN MATERIALS SHALL BE LIMITED TO THE FOLLOWING:
BRICK / STONE L/600
EIFS / STUCCO L/360
METAL PANELS / WOOD SIDING L/240

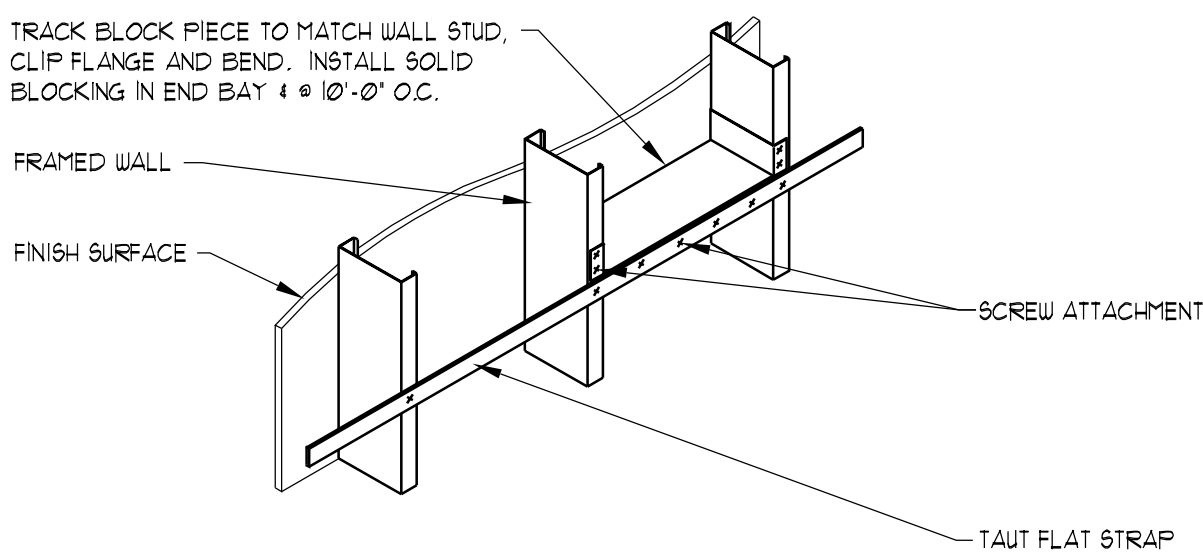


NOTES:

- HEADER CONFIGURATIONS ARE SHOWN FOR INFORMATION PURPOSES ONLY. COLD-FORMED METAL FRAMING CONTRACTOR SHALL FULLY DESIGN ALL METAL STUD HEADERS (MSH) AS REQUIRED PER COLD-FORMED METAL FRAMING NOTES.
- STRUCTURAL STEEL HEADER MAY BE SUBSTITUTED IF REQUIRED BY DESIGN.
- ALL HEADER MEMBERS MUST BE UNFINISHED. IT IS CONTRACTOR'S RESPONSIBILITY TO SPECIFY UNFINISHED MEMBERS WHEN ORDERING MATERIALS.
- ALL HEADER SILL, & JAMB MEMBERS MUST BE FULL LENGTH. NO SPLICES ARE ALLOWED. WALL TOP TRACK MUST BE FULL LENGTH OVER ALL OPENINGS (NO SPLICES ALLOWED). JOIST RIM TRACK MUST BE FULL LENGTH (NO SPLICES) & ALL OPENINGS. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT OPENING SIZE REQUIREMENTS.

MSH HEADER CONFIGURATIONS

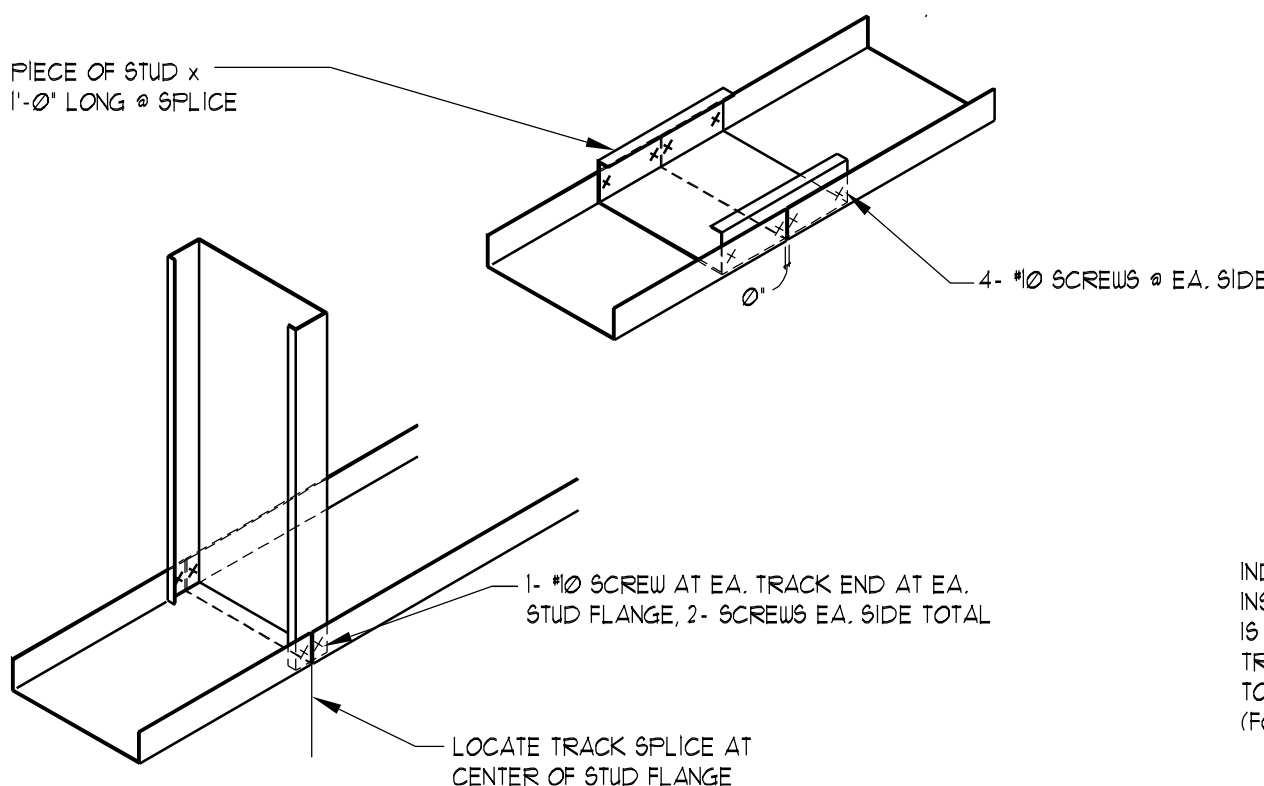
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NOTE:
AT METAL STUD SHEARWALLS OPPOSITE SIDE OF WOOD SHEATHING INSTALL # 4'-0" O.C. VERTICAL.

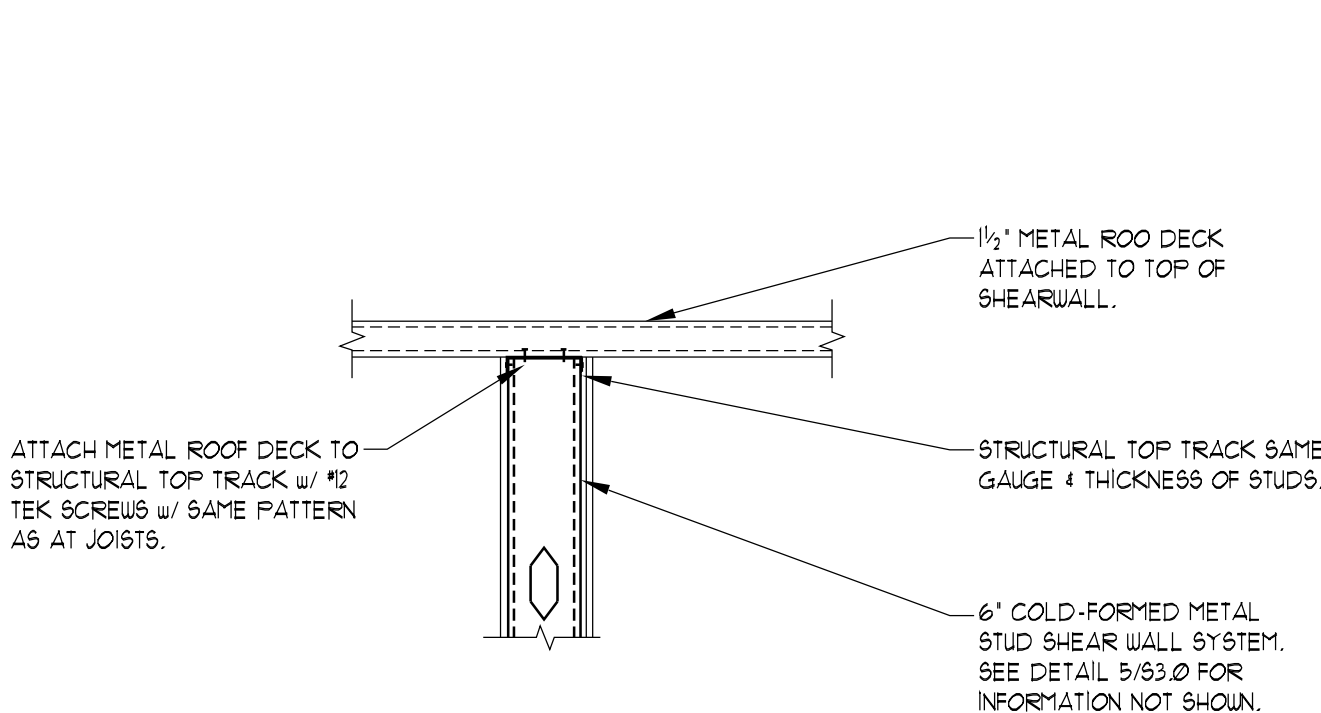
SINGLE STRAP BRIDGING

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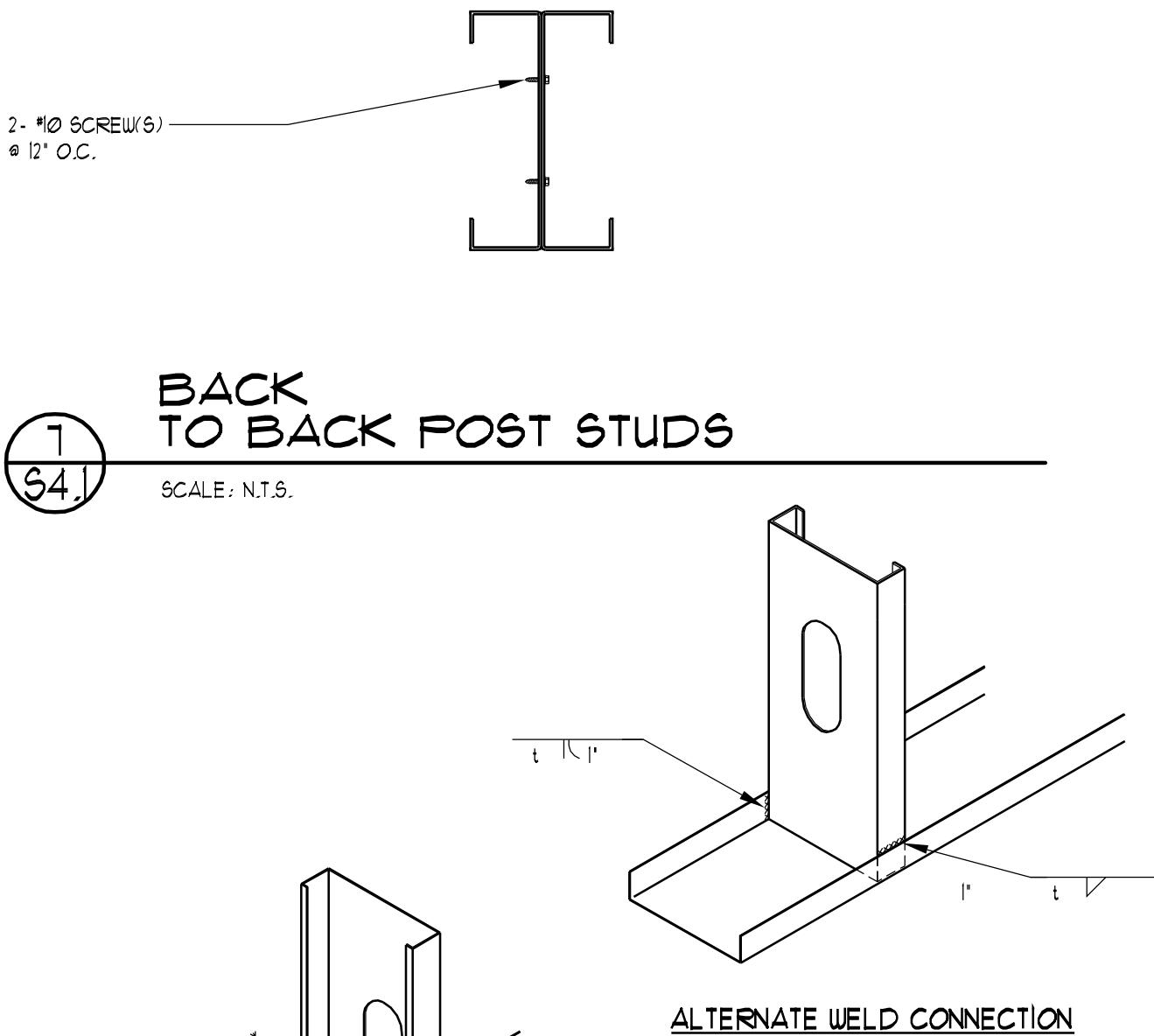
TRACK SPLICE DETAILS

SCALE: N.T.S.



ROOF SECTION AT INTERIOR SHEAR WALL

SCALE: N.T.S.

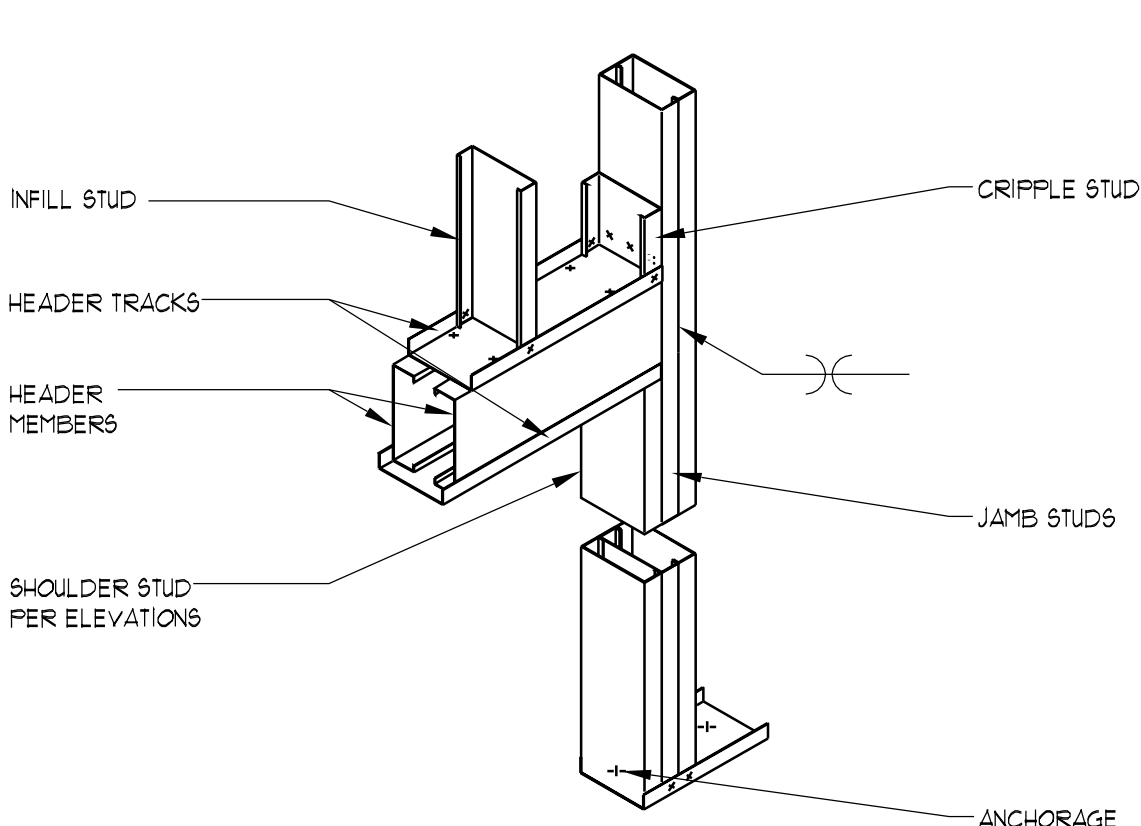


INDEXED STUDS:
INSTALL STUDS SO THIS DIMENSION IS THE SAME ALONG BOTTOM TRACK. MAY ALSO OCCUR ALONG TOP TRACK WHERE APPROPRIATE (FOR BRIDGING ALIGNMENT)

NOTE:
SET ALL STUDS TIGHT TO RADIUS OF TRACK (TOP & BOTTOM) (TYP)

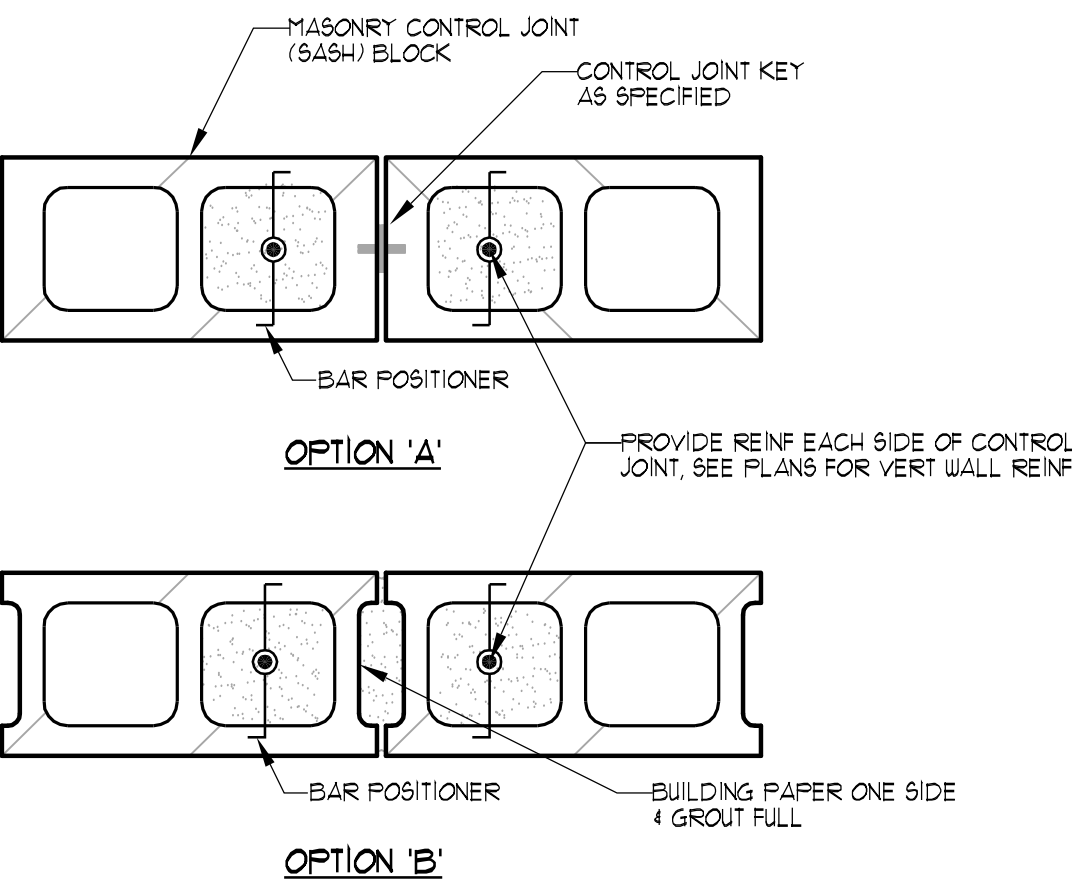
STUD TO TRACK CONNECTION

SCALE: N.T.S.



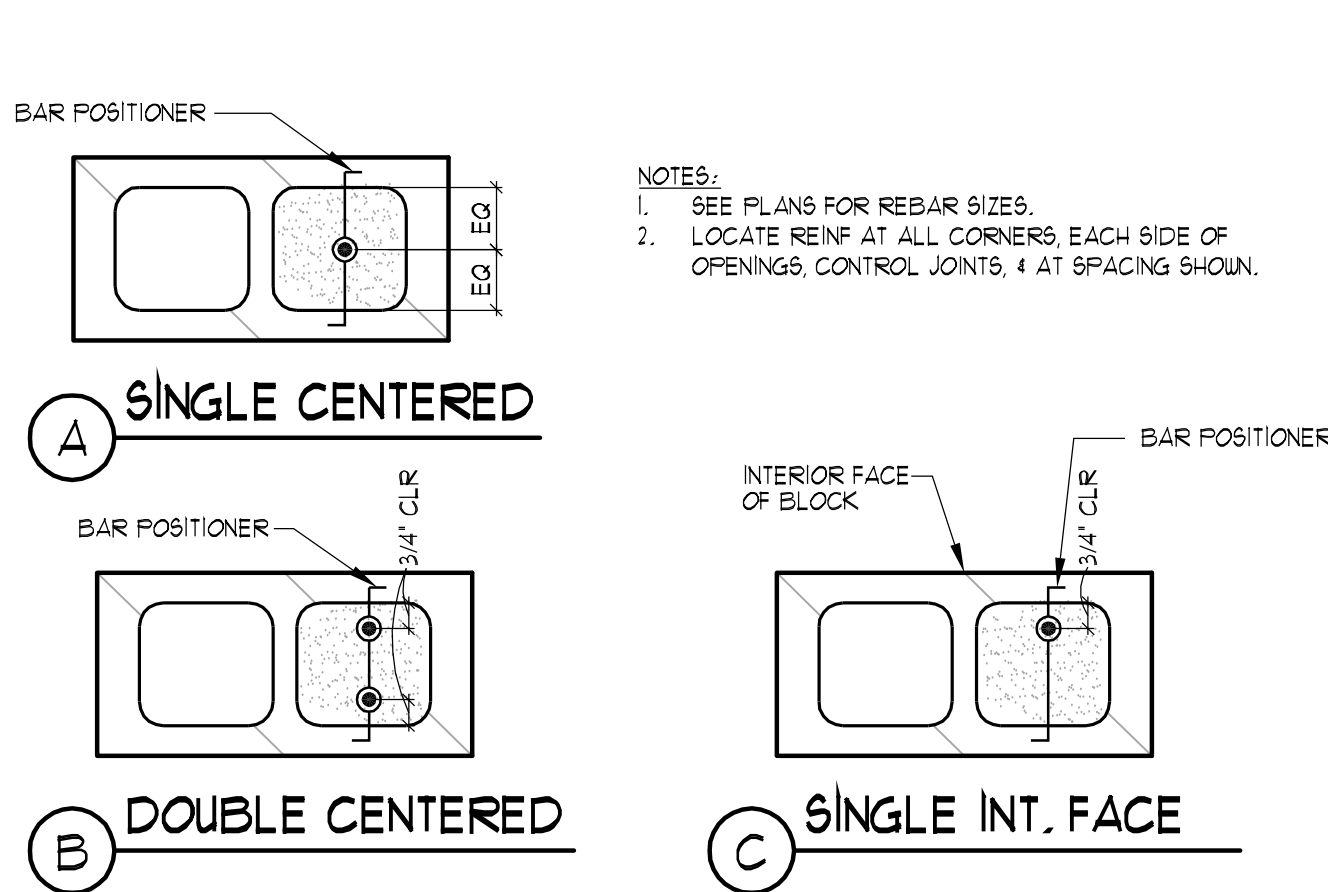
LOAD BEARING DOOR BOXED HEADER

SCALE: N.T.S.



TYPICAL CONTROL JOINT (CJ) @ MASONRY WALL

SCALE: N.T.S.



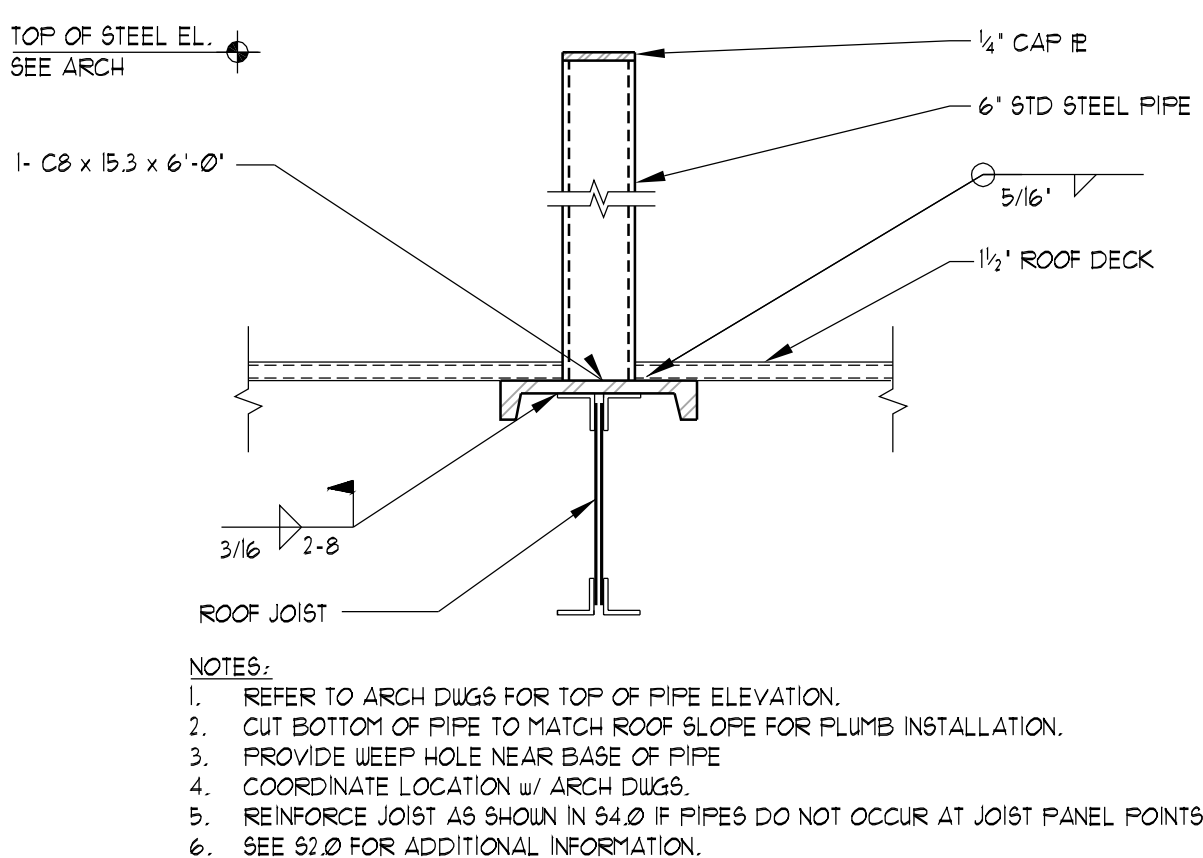
TYPICAL VERTICAL WALL REINF.

SCALE: N.T.S.

THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FROM ANY DAMAGE, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS AND DATA, WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

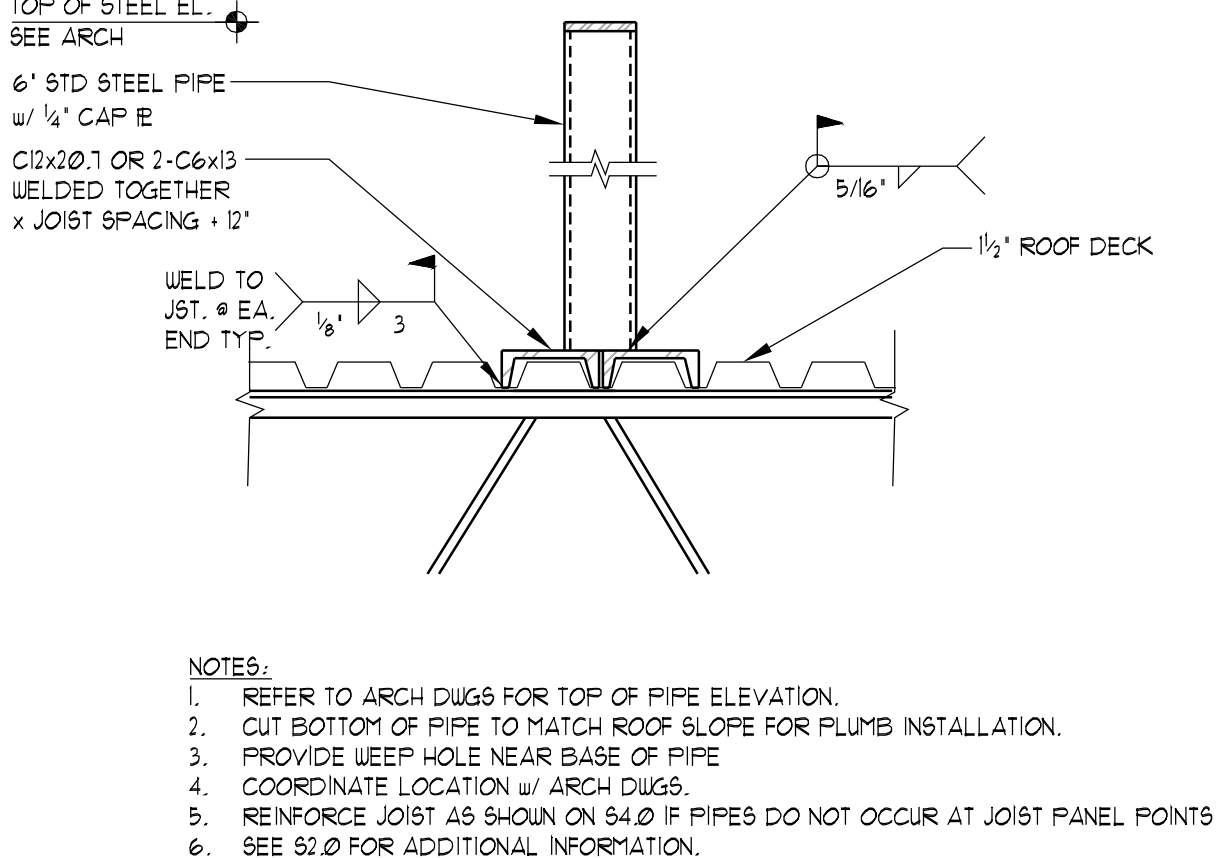
03200	CONCRETE REINFORCEMENT	
	GENERAL	
1.1	Scope	A. Perform all Work required to complete the Concrete Reinforcement indicated by the Contract Documents, and furnish all items necessary for its proper installation.
1.2	References	A. American Concrete Institute (ACI) - ACI 117, Standard Specifications for Tolerances for Concrete Construction and Materials. - ACI 308, Standard Specifications for Structural Concrete. - ACI 315, Manual of Standard Practice for Detailing Reinforced Concrete Structures. - ACI 318, Building Code Requirements for Reinforced Concrete. B. American Society for Testing and Materials (ASTM) - ASTM A62, Standard Specification for Steel Wire, Plain, for Concrete Reinforcement. - ASTM A185, Standard Specification for Steel Welded Wire Fabric, Plain, for Concrete Reinforcement. - ASTM A615, Standard Specification for Deformed and Plain Billet Steel Bars for Concrete Reinforcement. C. American Welding Society's (AWS) - AWS A5.1, Mild Steel Covered Arc-Welding Electrodes. - AWS D1.4, Reinforcing Steel Welding Code. D. Concrete Reinforcing Steel Institute (CRSI) - Manual of Standard Practice. - Recommended Practice for Placing Reinforcing Bars.
1.3	Quality Assurance	A. Welders' Qualifications: Welders shall be qualified in accordance with AWS D1.4.
2	PRODUCTS	
2.1	Materials	A. Bars: New billet steel, ASTM A615 Grade 60, ASTM A706 Grade 60, or ASTM A816 Grade 80, Designation S1. See Contract Documents for specified steel. B. Tie Wires and Splices: ASTM A62. C. Welded Wire Fabric: ASTM A185 supplied in flat sheets only. D. Welding Electrodes: Mild steel covered arc-welding types conforming to AWS A5.1. E. Bar Supports: As required for assembling and supporting reinforcement in place. Typical: CRSI Class B pre-galvanized.
2.2	Fabrication	A. Conform with the requirements of ACI 315 where specific details are not shown or where the Drawings and specifications are not more demanding. B. Conform with the requirements of ACI 317 for reinforcement fabricating tolerances.
3	EXECUTION	
3.1	Preparation	A. Clean reinforcement of loose rust, mill scale and other foreign materials immediately prior to placement.
3.2	Installation	A. Comply with CRSI recommended practice for "Placing Reinforcing Bars" for details and methods of reinforcement placement and supports and as herein specified. B. Provide supports for reinforcement including bolsters, chairs, spacers and other devices suitable for proper spacing, supporting and fastening reinforcing in place. Use wire bar type supports complying with CRSI "Manual of Standard Practice". C. Space reinforcing bars in place with ACI 318. D. Place reinforcement to obtain proper coverage for concrete protection. Arrange, space and tie the bars and bar supports together with steel wire. Set wire to ends into the concrete. Place and tie column downs. E. Splice reinforcement with contact lapped splices in accordance with ACI 318 Class B considering both basic and top bar tables, unless indicated otherwise on the Drawings. F. Welding - Employ shielded metal-arc method and conform to AWS D1.4. - Only A706 Grade 60 rebar to be welded. No welding of A816 Grade 80 rebar permitted. - Install welded wire fabric with one square plus 2 inches and end laps. Offset end laps.
3.3	Field Bending or Straightening	A. When permitted, bend or straighten reinforcement partially embedded in concrete in accordance with the following procedures. - Reinforcing bar sizes No. 3 through No. 5 may be bent cold the first time, provided reinforcement bar temperature is above 32 degrees Fahrenheit. - For other bar sizes, preheat reinforcement bars before bending in accordance with the procedures of ACI 301, Reinforcement and Reinforcement Support Section.
END OF SECTION		

03300	CAST-IN-PLACE CONCRETE	
	GENERAL	
1.1	Scope	A. Perform all Work required to complete the Cast-In-Place Concrete indicated by the Contract Documents and furnish all items necessary for its proper installation.
1.2	References	A. American Concrete Institute (ACI) - ACI 301, Specification for Structural Concrete for Buildings. - ACI 302, Guide for Concrete Floor and Slab Construction. - ACI 304, Recommended Practice for Measuring, Mixing and Placing Concrete. - ACI 305, Recommended Practice for Hot Weather Concrete. - ACI 306, Recommended Practice for Cold Weather Concrete. - ACI 308, Standard Practice for Curing Concrete. - ACI 318, Building Code Requirements for Reinforced Concrete. B. American Society for Testing and Materials (ASTM) - ASTM C33, Standard Specification for Concrete Aggregates. - ASTM C150, Standard Specification for Portland Cement. - ASTM C267, Standard Specification for Air-Entraining Admixtures for Concrete. - ASTM C484, Standard Specification for Chemical Admixtures for Concrete.
1.3	Submittals	A. The Contractor shall submit the following. Certified copies of mix designs for each concrete class specified including compressive strength test reports. Submit mix designs to the Engineer 7 days prior to first pour.
1.4	Quality Assurance	A. Requirements of ACI 301 shall govern work, materials and equipment related to this section; specifications herein set minimum results required, and references to procedures are intended to establish minimum guides. B. When concreting during hot weather, conform with ACI 305R. C. When concreting during cold weather, conform with ACI 306R.
2	PRODUCTS	
2.1	Materials	A. Portland cement: Portland cement shall conform with ASTM C150 Type I or II. B. Aggregates: - Coarse aggregate shall conform with ASTM C33. Aggregates shall be in the saturated surface dry condition. - Fine natural sand shall conform with ASTM C33. C. Water: Water shall be clean and potable, free from impurities detrimental to concrete. D. Other Admixtures: As approved by the Engineer. Calcium chloride or admixtures containing calcium chloride shall not be permitted. E. Non-Shrink Grout under Column Base Plates: Premixed grout containing non-metallic aggregates and requiring only addition of water at the site. Minimum design strength 6,000 psi. Grout shall not contain gypsum.
2.2	Mixes	A. General Requirements - Prepare design mixes for each type and strength of concrete. Design concrete in accordance with ACI 318, Chapter 5, "Proportioning on the basis of field experience or trial mixtures". B. Concrete Mix Design Schedule. Compressive strength in psi after 28 days when tested in accordance with ASTM C38. The water/cement ratio specified shall be calculated using the weight of cement plus the weight of flyash, slag and silica fume. - Footings = 3000psi, 4" slump, 1-1/2" max. aggregate, 4% air entraining, 0.58 max. water/cement ratio. - Interior slab-on-grade = 4000psi, 3" slump, 3/4" max. aggregate, 1% air entraining, 0.48 max. water/cement ratio. - Miscellaneous concrete = 4000psi, 4" slump, 3/4" max. aggregate, 2% air entraining, 0.48 max. water/cement ratio.
2.3	Mixing	A. Mix concrete in accordance with ASTM C94.



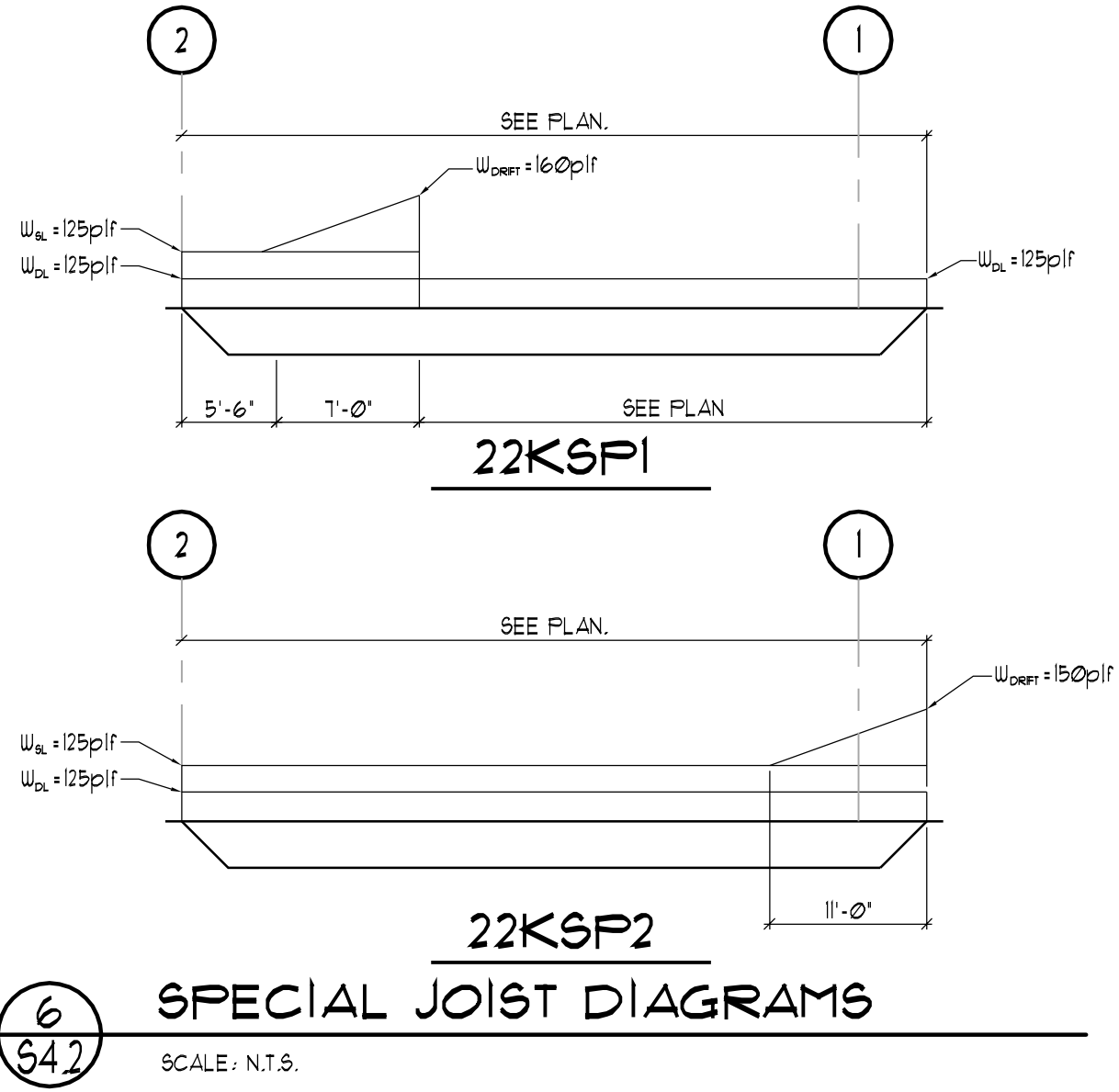
ROOF SCREEN DETAIL

SCALE: N.T.S.



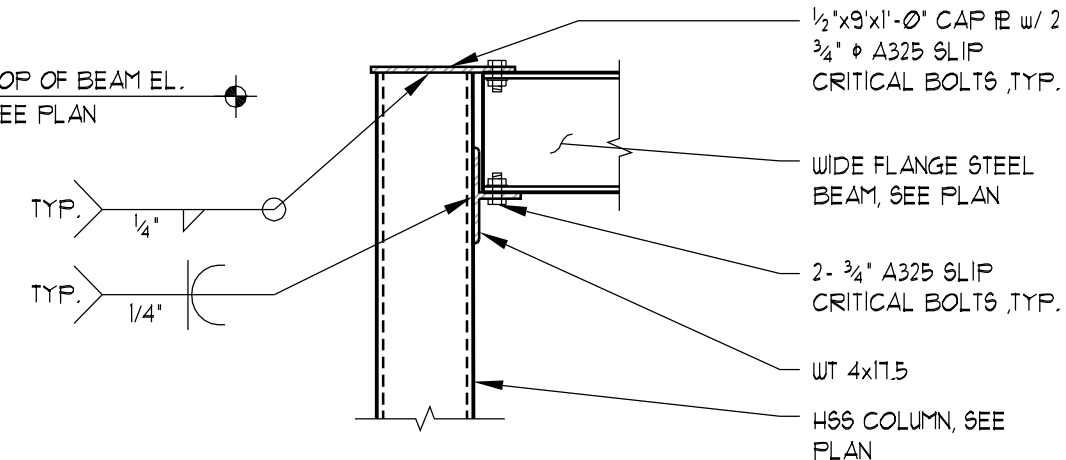
ROOF SCREEN DETAIL

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SPECIAL JOIST DIAGRAM

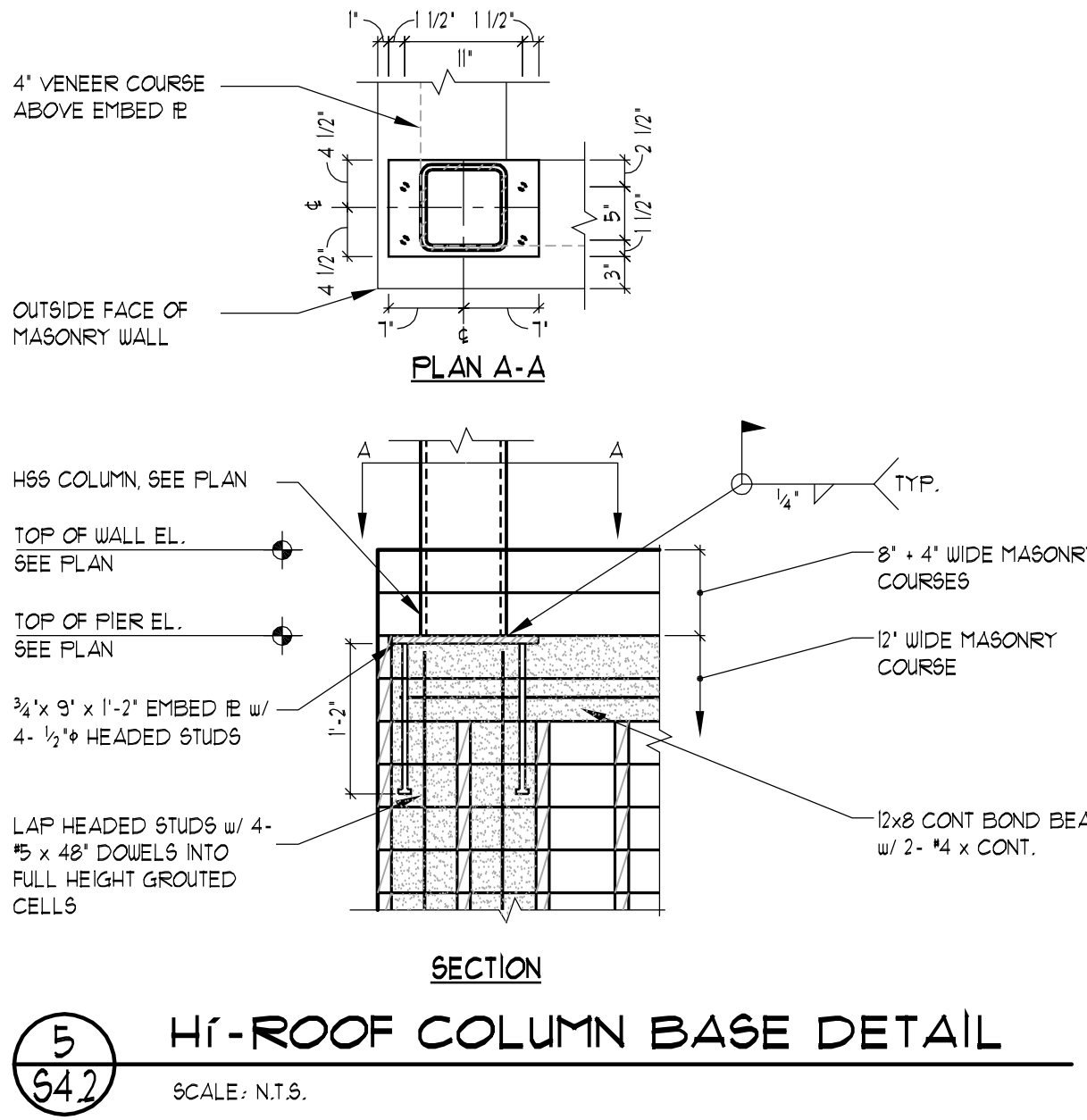
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HSS COLUMN & BEAM MOMENT CONNECTION DETAIL

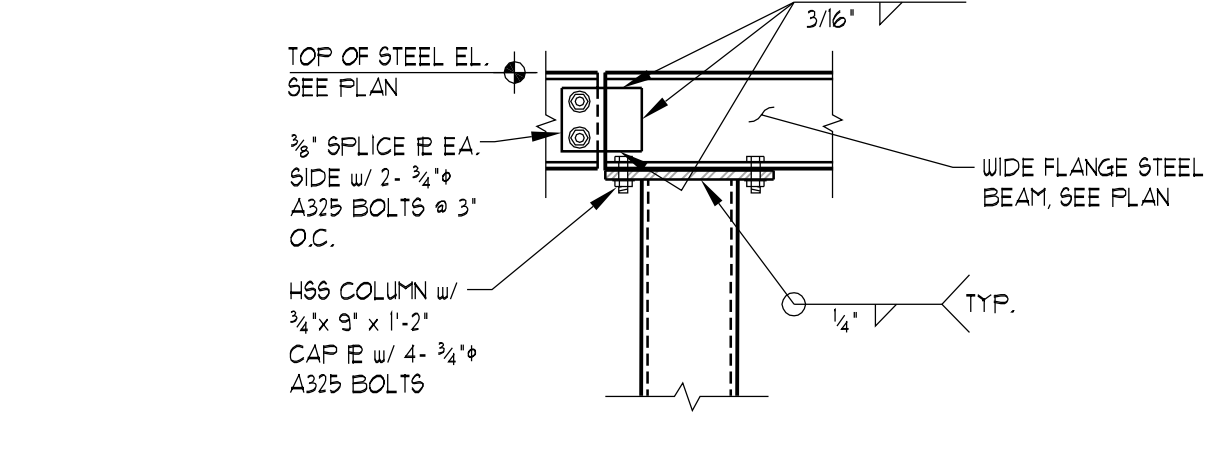
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05300	METAL DECKING	
	GENERAL	
1.1	Scope	A. Perform all Work required to erect the Metal Decking as indicated by the Contract Documents, and furnish all items necessary for proper installation.
1.2	References	A. Steel Deck Institute (SDI) - American Iron and Steel Institute (AISI) - AISI, Design of Cold-Formed Steel Structural Members. - AISI, Specification for the Design of Cold-Formed Steel Structural Members. C. American Society for Testing and Materials (ASTM) - ASTM A911, Standard Specification for Steel, Sheet, Carbon, Cold-Rolled, Structural Quality. - American Welding Society (AWS) D. AWS D1.3, Structural Welding Code - Sheet Steel.
1.3	Quality Assurance	A. Each welder, welding operator, and tackler shall be certified as qualified under AWS D1.3 for the welding process of sheet steel attachment.
2	PRODUCTS	
2.1	Materials	A. All decking shall be fabricated from steel conforming to the AISI - Specifications, Section A3.
2.2	Roof Deck	A. Roof deck shall be wide rib of type, size and gauge as indicated on the Drawings. Roof deck shall be prime painted as indicated on the Drawings.
2.3	Accessories	A. Accessories such as closures, pour stops, girder filler plates shall be as indicated on the Drawings.
2.4	Mechanical Fasteners	A. Fasteners shall be sized and spaced to provide equivalence to a 5/8 inch diameter puddle weld at the spacing indicated on the Drawings. B. Acceptable Fasteners: - Screw Type 12-24 x 7/8 inch Traxx4 and 12-24 x 1 1/4 inch Traxx5 screws as manufactured by ITW Builders. Appropriate screw size shall be selected for the structural thickness to which decking is being attached. 2. Side Lap Fasteners - Side laps shall be drill type of thread diameter as indicated on the Drawings. Fasteners shall be SCH Traxx11 screws as manufactured by ITW Builders, or approved equal.
3	EXECUTION	
3.1	Erection	A. Erection of steel deck shall be placed in accordance with Drawings, manufacturer's recommendations, and SDI referenced documents. B. Place deck panels on structural supports and adjust to final position with ends aligned. Lay end joints or butt ends as indicated on the Drawings. Attach firmly to the supports immediately after placement in order to form a safe working platform. - Welding - Anchor deck units to steel supporting members by arc spot puddle welds of size and weld pattern as indicated on the Drawings. - Mechanical Fasteners - Fasten side laps and perimeter edges of units between supports with self drilling screws of size and spacing as indicated on the Drawings.
END OF SECTION		



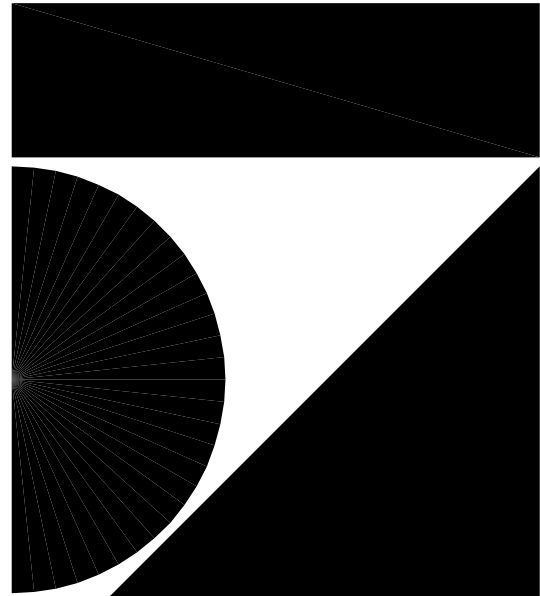
HSS COLUMN BASE DETAIL

SCALE: N.T.S.



HSS COLUMN & BEAM MOMENT CONNECTION DETAIL

SCALE: N.T.S.



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Milwaukee, WI 53213
414 476 9500

PIERCE
ENGINEERS, Inc.
241 North Broadway, Suite 900
Milwaukee, WI 53202
414.278.6000
414.278.6001 fax
PE Project 00102

Revisions

Sheet
FRAMING DETAILS

Project
PEWAUKEE CROSSINGS

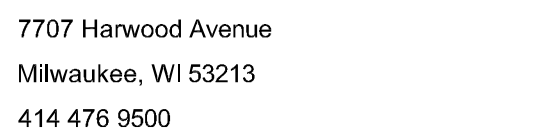
COUNTY HWY "F" &
WATERTOWN ROAD
PEWAUKEE, WI

Date
06.14.06

Project Number
060033.00

Sheet Number

S4.2

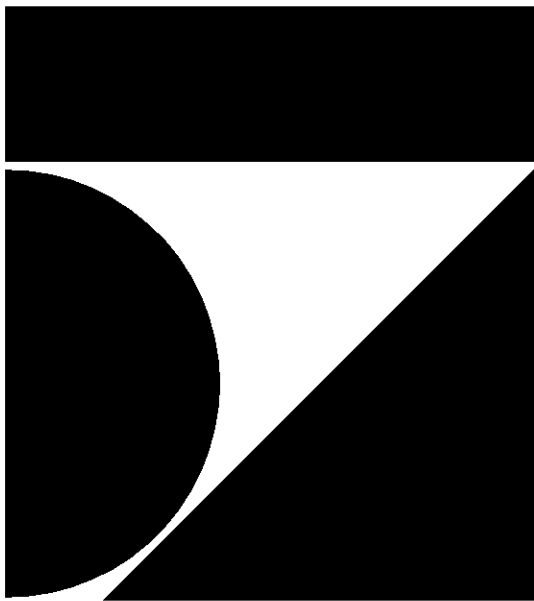


Project
PEWAUKEE CROSSINGS

Date
06.14.06

Sheet Number

L1.0



7707 Harwood Avenue
Milwaukee, WI 53213
414 476 9500

Revisions

Sheet
LANDSCAPE DETAILS,
SCHEDULES & NOTES

Project
PEWAUKEE CROSSINGS

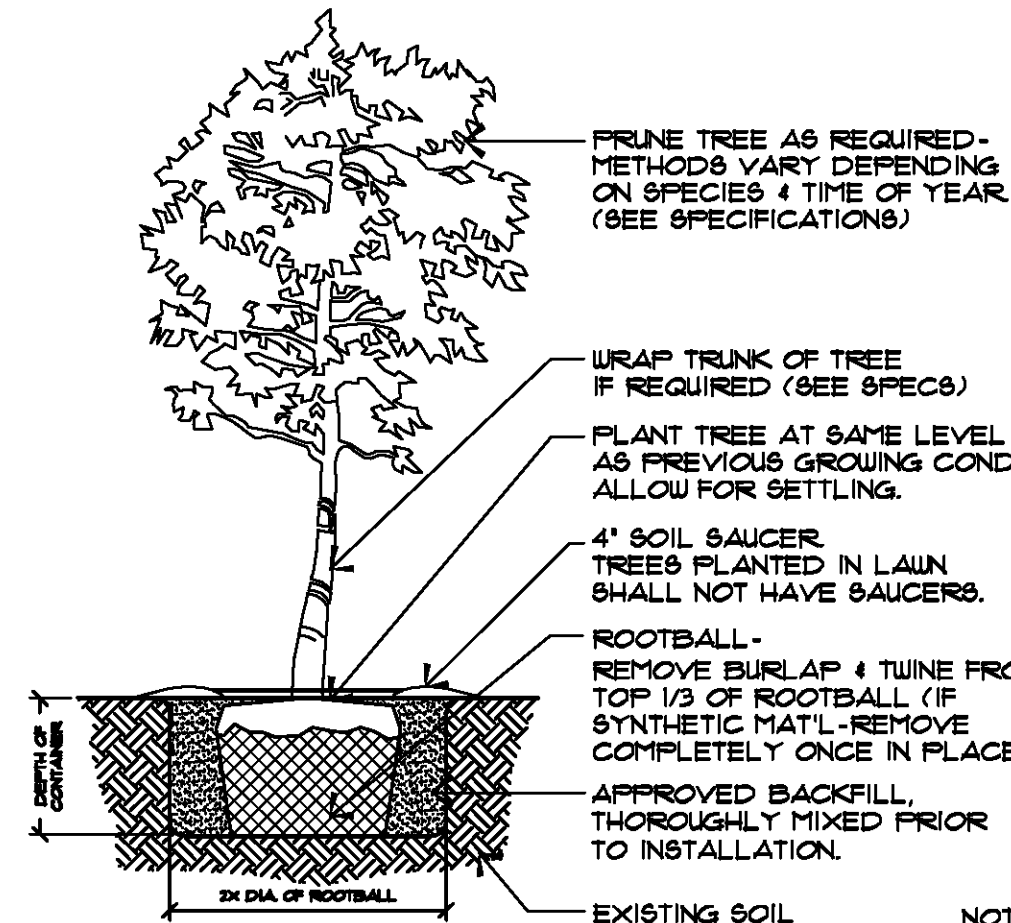
COUNTY HWY "F" &
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PEWAUKEE, WI

Date
06.14.06

Project Number
060033.00

Sheet Number

L1.1

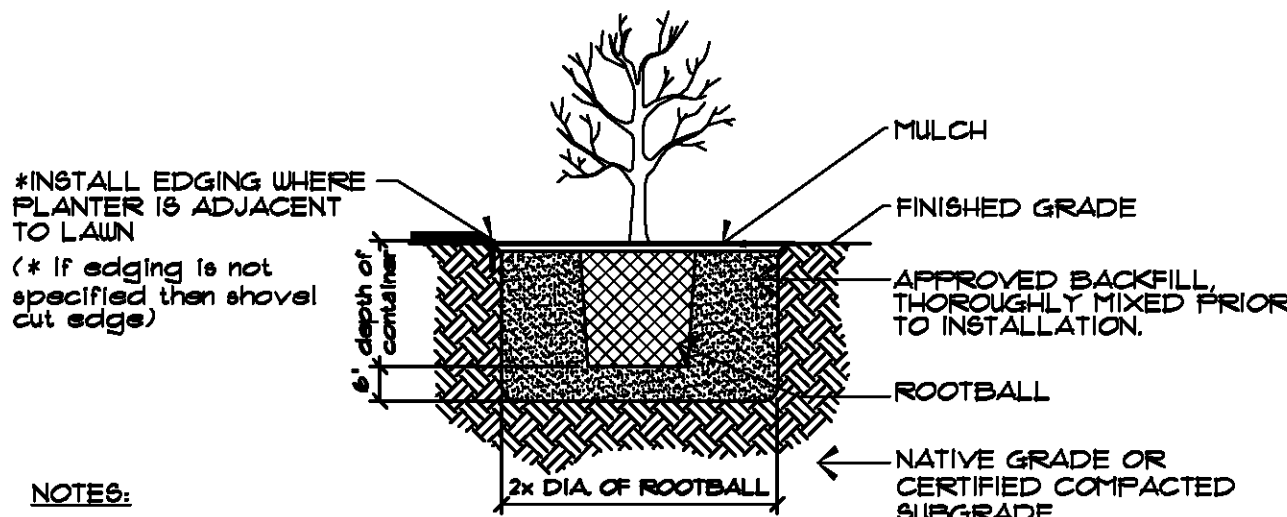


TREE PLANTING

NOT TO SCALE

NOTES:

-SEE PLANTING SPECS PRIOR TO INSTALLATION OF PLANT MATERIALS.



SHRUB PLANTING

NOT TO SCALE

Plant Schedule

1. All written dimensions supercede scaled dimensions.
2. All dimensions are taken from face of curb, wall or existing building foundations.
3. The Contractor shall verify location of all underground utilities and additional information prior to commencement of site construction.
4. Rough grading and drainage is to be completed prior to Landscape Contractor's work. Verify all existing site and grading conditions prior to construction.
5. All work shall be in conformance with all applicable local codes & ordinances.
6. All areas disturbed by grading or site construction shall be fine graded and seeded. See plans for seed locations.
7. Contractor shall verify plant quantities shown on plan and provide a list to the Client identifying the species and sized to be used throughout the project. The Landscape Architect reserved the right to reject any sub-standard planting material. Such rejected material shall be removed from the project site immediately.
8. All planting beds shall receive a blended topsoil mix to a depth of 6". Contractor shall provide positive drainage away from all buildings for a minimum of 10'. Remove excessive clay, gravel & stones which would be detrimental to healthy plant growth. Roto-til new topsoil into existing soil.
9. All perennial and groundcover areas shall receive a blend of organic soil amendments prior to planting. Roto-til the amendments into the existing soil to a depth of 12". Avoid damage to existing tree roots where applicable by lightly working amendments into soil with pitch fork

Add per 100 square feet:
1-2 c.f. bale of Peat Moss
1/2 lb. of 5-10-5 garden fertilizer (Ozsmocote or Milorganite)
1/2 lb. granular sulphur
1/2 lb. Bone meal
1/4 c.y. of mushroom compost
10. All perennial and groundcover areas shall receive a 1-2" layer of shredded bark mulch. Do not allow mulch to touch stems or leaves of perennials! All woody planting areas shall receive a 3" layer. Unless otherwise noted, no landscape fabric or weed barrier is to be installed.
11. Unless otherwise shown, all perennials & shrubs to be planted in a triangular arrangement. For plants not shown individually, refer to the spacing shown in the plant schedule.
12. Before 60-day maintenance period ends, Contractor to install a 6" shovel-cut bed edge wherever noted.

SEEDING INSTALLATION

- Optimally, seeding shall be completed between 5/1 and 6/15, or between 9/1 and 10/1.
- No seeding shall occur if the wind exceeds 6 MPH.
- Prior to applying the seed, Contractor shall stake the seeding zones for approval by Landscape Architect
- Seeds shall be viable and will be mixed using a sand filler material
- Straw mulch shall be clean without seeds and blown onto seedbed at a rate of 55 bales per acre
- Based on availability, seed not available may be substituted following approval by Landscape Architect.

SEED MIXES (See plans for locations)

MAINTAINED TURF:

"Bluemound Top Quality Lawn Seed Mix."
Available from Prince Seed Corp., Marshfield WI, 800-777-2486. Or approved equal.
To be installed & maintained per supplier's specifications.

- 10% Apollo Kentucky Bluegrass
- 10% Midnight Kentucky Bluegrass
- 15% Viva Kentucky Bluegrass
- 15% Dragon Kentucky Bluegrass
- 20% Creeping Red Fescue
- 15% Palmer III Perennial Ryegrass
- 15% Panther Perennial Ryegrass

Apply @ 5 lbs per 1000 SF.

PRAIRIE MIX:

"Short Prairie For Medium Soils."
Available from Prairie Nursery, Westfield WI, 800-476-9453. Or approved equal.
To be installed & maintained per supplier's specifications.

Apply @ 4 lbs per AC. Also apply Annual Ryegrass cover-crop @ 5 lbs per AC.

WETLAND MIX:

"Detention Basin Wet Prairie Mix."
Available from Prairie Nursery, Westfield WI. Or Approved equal.
To be installed & maintained per supplier's specifications.

Apply @ 4 lbs per AC.

SEEDING NOTES

1. The seedbed shall be prepared for optimal native seed germination after placement of the landscape trees.
2. This work shall consist of preparing the seedbeds and furnishing, sowing and mulching the required seed on the various seeded turf areas, as outlined in the site plans or other areas designated by the Landscape Architect, all in accordance with the requirements of this specification.
3. Grading and topsoiling shall be completed before sowing the seed mix. The area to be seeded shall be worked with discs, harrows, or other appropriate equipment until a reasonably even and loose seedbed is obtained immediately in advance of the seeding.
4. The seed mixture shall be sown by means of equipment adapted to the purpose, or it may be scattered uniformly over the areas to be seeded. Scattering seed by hand shall be done only with satisfactory hand seeders and only at such times when the air is sufficiently calm to prevent seeds from blowing away. If the area is hand sown, the soil surface must be raked following seeding.
5. Clean straw, free of debris and seeds, shall be applied as mulch on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre. Mulch material shall be chopped and blown into the seeded area.

Plant Schedule

P L A N T L I S T

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
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DECIDUOUS CANOPY TREES

Acce. 'Aut.'	4	Acce. Freeman 'Autumn Blaze'	Autumn Blaze Maple	28' Cal.	B/B	
Acce. 'Gra'	3	Acce. snc. 'Green Mountain'	Green Mountain Sugar Maple	3' Cal.	B/B	
Gla. 'Gra'	8	Gleditsia tr. 'Shademaster'	Shademaster Honeylocust	3' Cal.	B/B	
Til. 'Gra'	3	Tilia ton. 'Sterling Silver'	Sterling Silver Linden	3' Cal.	B/B	

DECIDUOUS UNDERSTORY TREES

Cra. 'Unk'	1	Crataegus vtr. 'Unmarking'	Unmarking Hawthorn	2' cal.	B/B	
Mal. 'Ada'	1	Malus 'Adams'	Adams Crabapple	28' Cal.	B/B	
Py. 'Aut.'	10	Pyrus calleryana 'Autumn Blaze'	Autumn Blaze Pear	2' Cal.	B/B	
Sy. 'Ivo.'	3	Syringa ret. 'Ivory Silk'	Ivory Silk Jap. Tree Lilac	28' Cal.	B/B	

CONIFEROUS SHRUBS

Jun. 'Kall'	55	Juniperus chl. 'Kallay's Compact'	Kallay's Compact Juniper	8 Gal.	Com.	
Tax. 'Gem'	22	Taxus x media 'Gem'	Gem Dwarfform Tree	8 Gal.	Com.	

DECIDUOUS SHRUBS

Col. 'Luc'	24	Coloreaster lucida	Hedge Coloreaster	18-24" Ht.	Com.	
Col. 'Van'	46	Coloreaster x. 'Vernal'	Hedge Coloreaster	15-18" Ht.	Com.	
Euc. 'Com'	10	Eucryphia alata 'Compacta'	Compact Burning Bush	48-60" Ht.	B/B	
For. 'Happ'	21	Forseythia 'Happy Centennial'	Happy Centennial Forsythia	18' Ht.	Com.	
Hyd. 'Ank'	26	Hydrangea arb. 'Annabelle'	Annabelle Hydrangeas	36" Ht.	Com.	
Rhu. 'Gros'	29	Rhus aromatica 'Gros Lou'	Gros Lou Sumac	18' Ht.	Com.	
Rosa. 'CRU'	44	Rosa 'Carefree Wonder'	Carefree Wonder Rose	18' Ht.	Com.	
Spi. 'Pro'	40	Spiraea jap. 'Proserpine'	Proserpine Spirea	24-30' Ht.	Com.	
Spi. 'Gra'	56	Spiraea ch. 'Graham'	Graham Spirea	24-30' Ht.	Com.	
Sy. 'Fell'	8	Syringa meyeri 'Pallidin'	Pallidin Lilac	36-36" Ht.	B/B	
Vib. 'Aut.'	21	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Arrowwood Viburnum	48" Ht.	B/B	

PERENNIALS & GRASSES

Hem. 'Hign'	32	Hemerocallis 'Higneron'	Higneron Daylily	1 Gal.	Com.	
Mis. 'Flor.'	10	Miscanthus sin. 'Flaming Light'	Flaming Light Pampasgrass	1 Gal.	Com.	

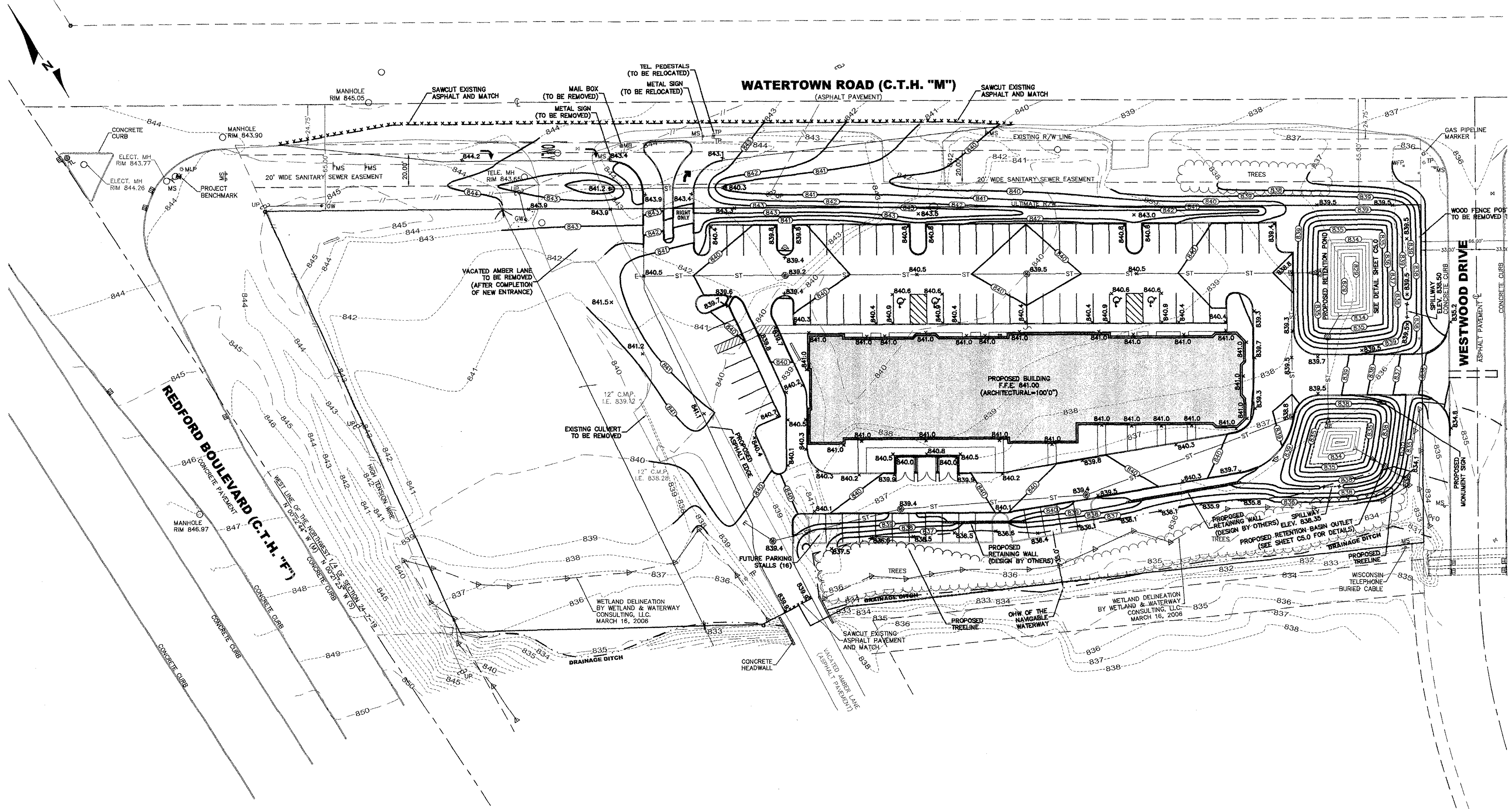
SITE GRADING PLAN
PEWAUKEE CROSSINGS
C.T.H. "F" & C.T.H. "M"
PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

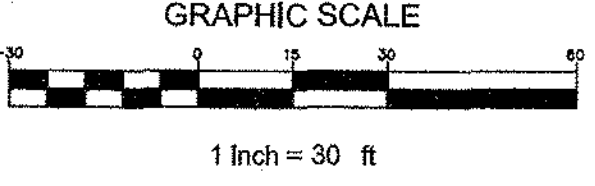
actually
revised on
7
weather one

C1.0
SHEET 1 OF 5

X:\CIVIL\2005\C05076R12.dwg, Mark Balch

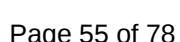


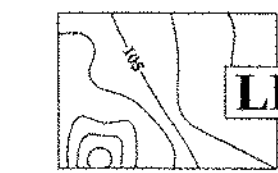
TO OBTAIN LOCATIONS OF
PARTICIPATING DISSEMINATING
FACILITIES BEFORE YOU
DIG, CALL 800-342-8611
TOLL FREE
DIGGERS HOTLINE
CALL DIGGER'S HOTLINE
1-800-342-8611
TOLL FREE
WIS. STATUTE (REG. 62.02(2)(2))
NEVER BEFORE THE EXISTING
NOISE BEFORE THE EXISTING
MILW. AREA 228-1181
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS
SHOWN ON THIS DRAWING ARE APPROXIMATE AND NOT
GUARANTEED. THE USER OF THIS DRAWING SHALL
BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES
BEFORE ANY EXCAVATION OR CONSTRUCTION.



- GRADING NOTES:
- 1.) ALL ELEVATIONS ALONG PROPOSED CURB ARE AT THE BOTTOM OF CURB.
 - 2.) ALL WORK IN C.T.H. "M" (WATERTOWN ROAD) SHALL BE PERMITTED BY WAUKESHA COUNTY AND PERFORMED ACCORDING TO WAUKESHA COUNTY SPECIFICATIONS.
 - 3.) PROPOSED ENTRANCE DRIVE, RIGHT-TURN LANE, ACCELERATION LANE, AND DRAINAGE ALONG WATERTOWN ROAD SUBJECT TO CHANGE PER WAUKESHA COUNTY REVIEW.

LEGEND	
-----	SAWCUT LINE MATCH
-----	EXISTING PAVEMENT
-----	EXISTING CONTOUR
-----	PROPOSED CONTOUR
836.5 x	PROPOSED ELEVATION
-----	EXISTING STORM SEWER
-----	PROPOSED STORM SEWER





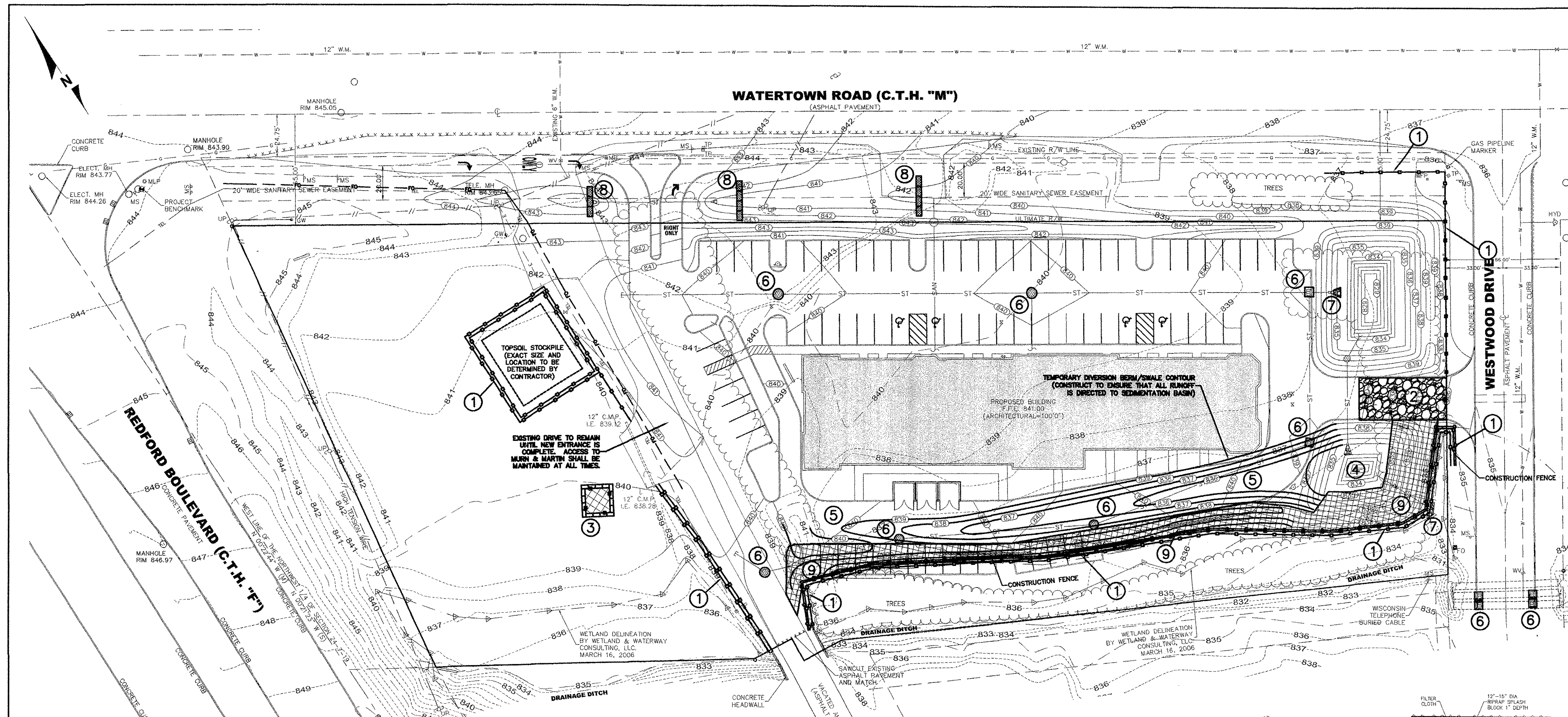
LAND INFORMATION SERVICES, INC.
ENGINEERS, SURVEYORS & CONSULTANTS
9022 WATERTOWN PLANK ROAD
BUILDING 34
WATERTOWN, WI 53226
TEL: 480-9000 FAX: 480-9001

EROSION CONTROL PLAN
PEWAUKEE CROSSINGS
C.T.H. "F" & C.T.H. "M"
PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

C3.0
SHEET 3 OF 5

X:\CIVIL\2005\C05076R12.dwg, Mark Balch



CONSTRUCTION SCHEDULE

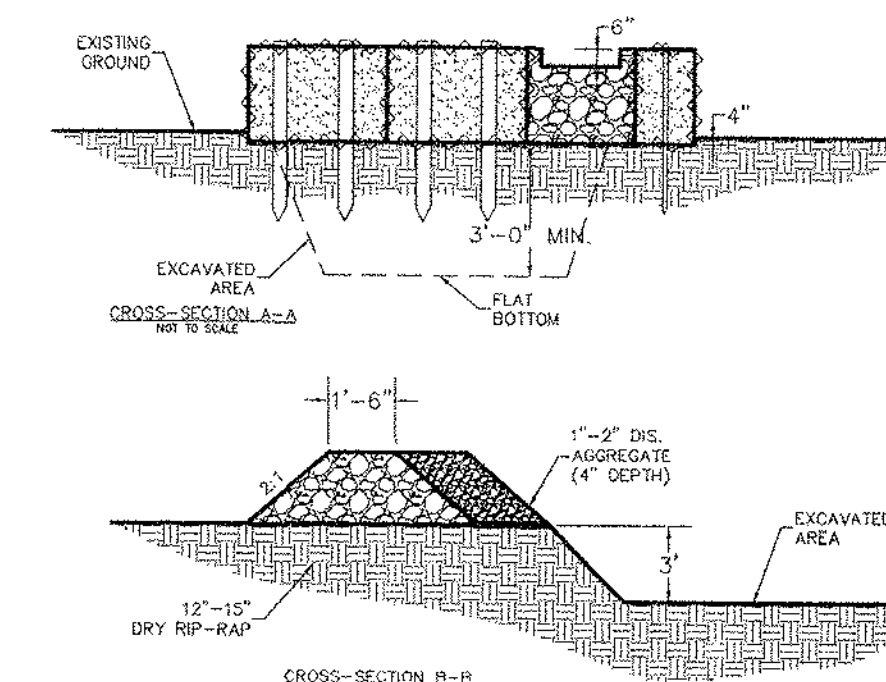
1. INSTALL SILT FENCE AND CONSTRUCTION FENCE (WDR CONSERVATION PRACTICE STANDARD 1056).
2. INSTALL CONSTRUCTION EXIT (WDR CONSERVATION PRACTICE STANDARD 1057).
3. INSTALL TEMPORARY DEWATERING BASIN.
4. CONSTRUCT PROPOSED SEDIMENTATION BASIN, IMMEDIATELY VEGETATE AND MULCH WITH A FAST-GROWING GRASS SEED MIXTURE (WDR CONSERVATION PRACTICE STANDARD 1064, 1059 AND 1058) AND INSTALL EROSION MATTING ON ALL SLOPES OF 4:1 OR GREATER. ALL DEWATERING ACTIVITIES SHALL BE DIRECTED TO THE TEMPORARY DEWATERING BASIN.
5. CONSTRUCT DIVERSION SWALE/BERM FROM EAST TO WEST USING SOILS EXCAVATED FROM THE SEDIMENTATION BASIN. IMMEDIATELY VEGETATE AND MULCH WITH A FAST-GROWING GRASS SEED MIXTURE (WDR CONSERVATION PRACTICE STANDARD 1064, 1059 AND 1058) AND INSTALL EROSION MATTING ON ALL SLOPES OF 4:1 OR GREATER, AS WORK ON THE BERM PROGRESSES WESTWARD.
6. REMOVE TEMPORARY DEWATERING BASIN AND RE-DIRECT ALL DEWATERING PRACTICES TO SEDIMENTATION BASIN.
7. STRIP TOPSOIL AND PERFORM ROUGH GRADING FOR THE REMAINDER OF THE SITE. STOCKPILE SOIL IN AREA INDICATED ON THE EROSION CONTROL PLAN AND SURROUND PILE WITH SILT FENCE AS SHOWN ON PLAN.
8. EXCAVATE FOR FOOTINGS.
9. CONSTRUCT PROPOSED BUILDING.
10. INSTALL UTILITIES TO BUILDING. INSTALL STORM SYSTEM IN PARKING LOT.
11. INSTALL INLET PROTECTION (WDR CONSERVATION PRACTICE STANDARD 1060).
12. CONSTRUCT CONCRETE CURB AND GUTTER, ASPHALT AND CONCRETE PAVEMENT AREAS AND CONCRETE SIDEWALK AS SHOWN ON PLAN.
13. PERFORM FINAL GRADING OF SITE.
14. SEED/SOD THE DISTURBED AREA IMMEDIATELY UPON COMPLETION OF FINAL GRADING (WDR CONSERVATION PRACTICE STANDARD 1059 AND 1058).
15. UPON COMPLETION OF CONSTRUCTION AND ONCE VEGETATION HAS BEEN ESTABLISHED, REMOVE TEMPORARY EROSION CONTROL MEASURES AND SEED/SOD DISTURBED AREAS.

MAINTENANCE PLAN

1. ALL CONSTRUCTION TRAFFIC TO ENTER/EXIT SITE AT THE SPECIFIED LOCATION VIA WESTWOOD DRIVE.
2. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 0.5 FEET DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
4. ALL SEEDING AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. ANY SEDIMENT REACHING A PUBLIC RIGHT OF WAY SHALL BE CLEANED (NOT FLUSHED) AT THE END OF EACH WORKDAY.
6. IMPLEMENT WINTER STABILIZATION PLAN PRIOR TO FREEZING ACTIVITIES.
7. FINAL STABILIZATION OF THE SITE IS APPROXIMATELY SIX MONTHS.
8. RESPONSIBILITY FOR FOLLOWING THE MAINTENANCE PLAN SHALL FALL ON THE GENERAL CONTRACTOR.

WINTER STABILIZATION CONTINGENCY PLAN

1. ALL DISTURBED AREAS TO BE STABILIZED AND/OR VEGETATED BY NOVEMBER 1, 2006.
2. IF SITE IS NOT STABILIZED BY NOVEMBER 1, 2006, THE FOLLOWING PROCEDURES SHOULD BE TAKEN:
 - A. INSPECT SILT FENCE AND REPAIR AS NECESSARY TO MAINTAIN A BARRIER.
 - B. INSPECT DIVERSION SWALE/BERM TO ENSURE SITE RUNOFF WILL BE DIRECTED TO SEDIMENTATION BASIN.
 - C. ENSURE EROSION MATTING PLACEMENT, RESEED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER, ONE MONTH PRIOR TO WINTER SEASON.
 - D. INSPECT SEDIMENTATION BASIN AND REGRADE AS NECESSARY.
 - E. ALL UNVEGETATED AREAS SHALL BE SPRAYED WITH A POLYMER/TACKIFIER TO STABILIZE FOR THE DURATION OF THE WINTER SEASON.



3 TEMPORARY DEWATERING BASIN
NOT TO SCALE

SITE DEWATERING NOTES

1. ANY SITE DEWATERING MUST INCLUDE TREATMENT OF WATER TO REMOVE SEDIMENT PRIOR TO DISCHARGE TO THE WATERWAY.
2. ALL SITE RUNOFF SHALL BE DIRECTED TO THE SEDIMENTATION BASIN VIA THE DIVERSION SWALE/BERM, DURING CONSTRUCTION.
3. ALL DEWATERING SHALL BE DIRECTED TO THE SEDIMENTATION BASIN, DURING CONSTRUCTION.
4. NO SITE DEWATERING SHALL BE DISCHARGED DIRECTLY INTO THE WATERWAY.
5. PUMPING RATE INTO TEMPORARY DEWATERING BASIN SHALL NOT EXCEED 70 GPM.

LEGEND

XXXXXXX	SAWCUT LINE MATCH
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
836.5 x	PROPOSED ELEVATION
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER

NOTE: ALL ELEVATIONS ALONG PROPOSED CURB ARE AT THE BOTTOM OF CURB.

EROSION CONTROL PRACTICES SCHEDULE

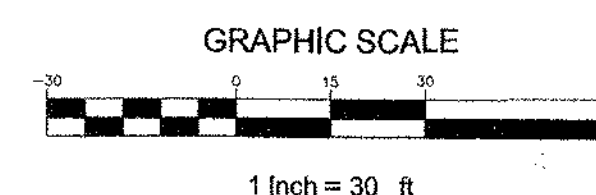
(DETAILS ON SHEET C5.0)

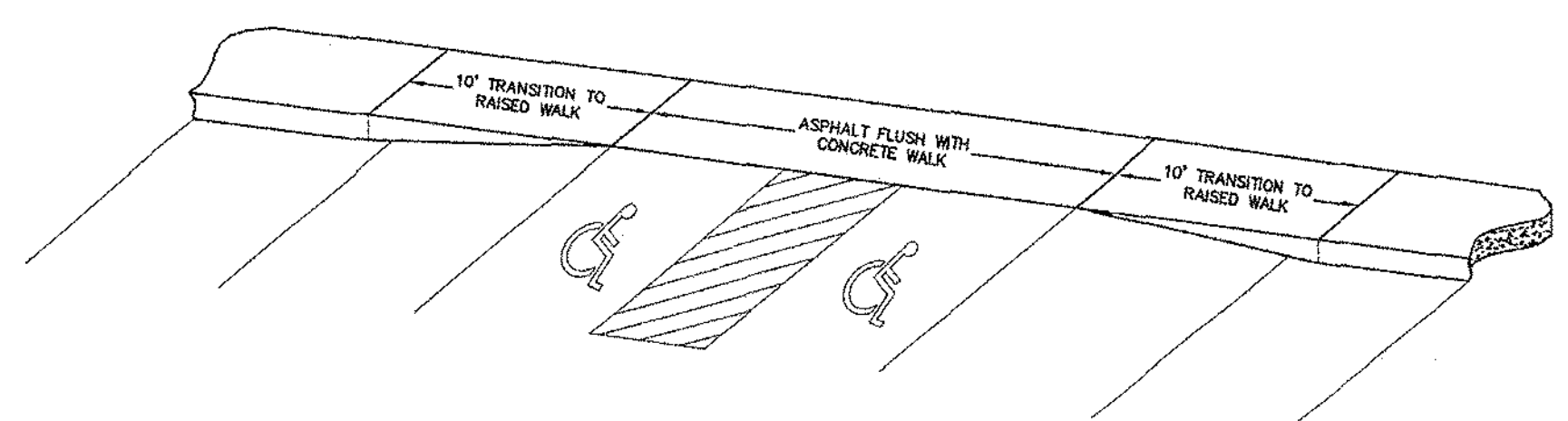
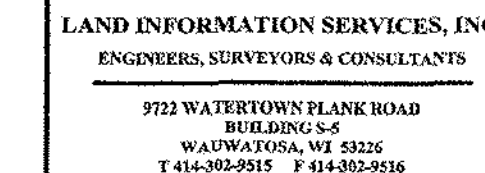
- 1 SILT FENCE
- 2 CONSTRUCTION EXIT
- 3 TEMPORARY DEWATERING BASIN
- 4 SEDIMENTATION BASIN
- 5 DIVERSION SWALE/BERM
- 6 INLET GRATE SCREEN
- 7 OUTLET PROTECTION FOR END APRON
- 8 STAKED STRAW BALES
- 9 EROSION MATTING

TO OBTAIN LOCATIONS OF
PARADIGMS UNDERGROUND
PRACTICES, SEE SHEET C5.0
DO NOT DISTURB

DIGGERS HOTLINE
CALL DIGGERS HOTLINE
1-800-242-8851
TOLL FREE
MIS STATUTE 183.22(2)(27A)
REQUIRES MIN. 5 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 255-1101

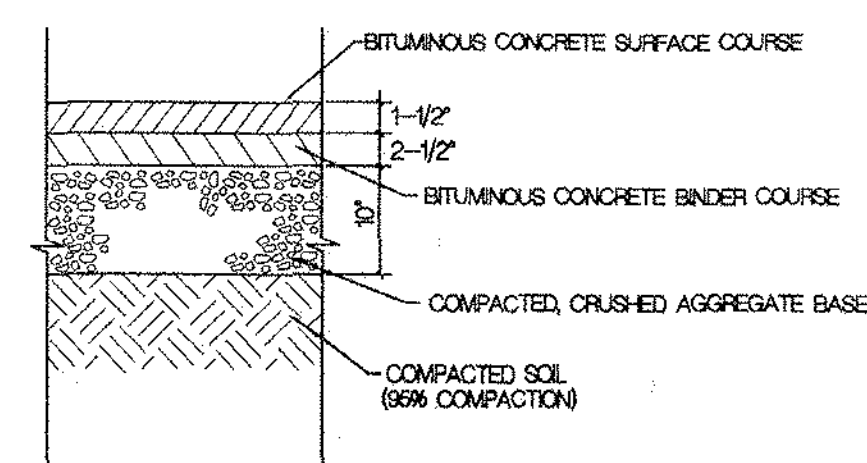
THE LOCATIONS OF EXISTING UTILITIES SHOWN
HEREON ARE NOT GUARANTEED. ANY
CONFLICTS WITH EXISTING UTILITIES SHALL BE
THE RESPONSIBILITY OF THE USER. THESE ARE
NOT TO BE GUARANTEED OR WARRANTEED.





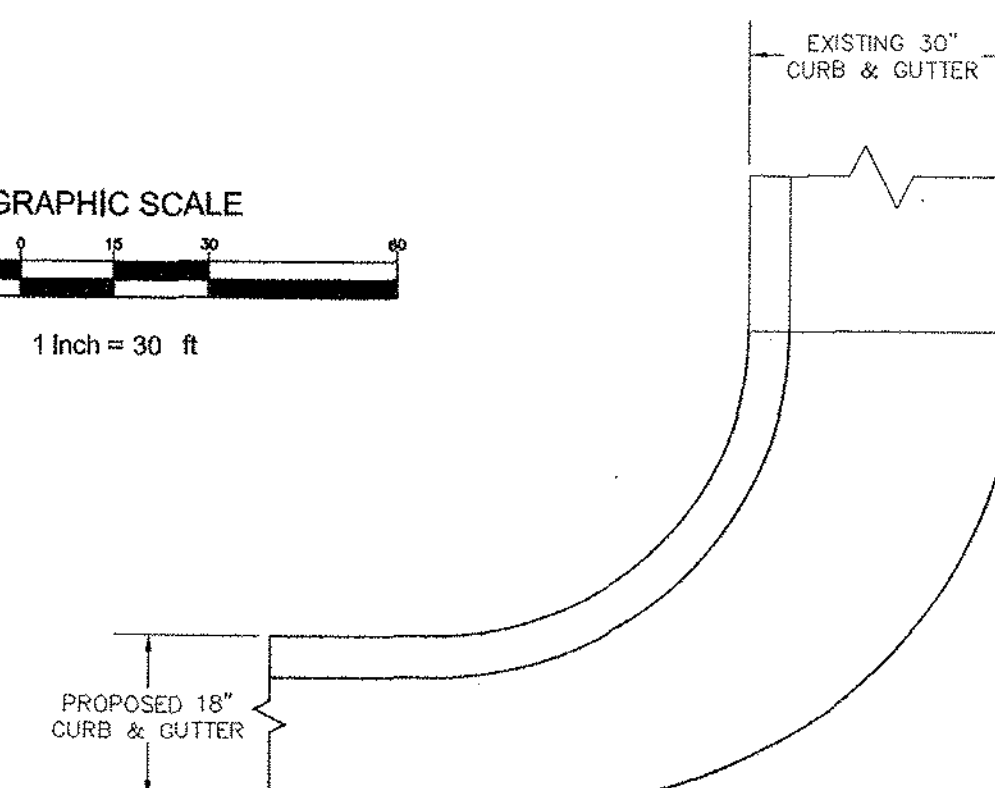
PAYING NOTES

- 1.) ALL DIMENSIONS TAKEN TO FACE OF CURB
UNLESS OTHERWISE NOTED. B.O.C.=BACK OF CURB.
- 2.) ALL WORK IN C.T.H. "M" (WATERTOWN ROAD)
SHALL BE PERFORMED ACCORDING TO WAUKESHA
COUNTY SPECIFICATIONS.
- 3.) PROPOSED ENTRANCE DRIVE, RIGHT-TURN LANE,
AND ACCELERATION LANE SUBJECT TO CHANGE PER
WAUKESHA COUNTY.



GRAPHIC SCALE

1 Inch = 30 ft



5 CONCRETE CURB TRANSITION DETAIL
C4.0 NOT TO SCALE

TO OBTAIN LOCATIONS OF
PARTICIPANTS UNDERGROUND
FACILITIES BEFORE YOU
DIG IN WISCONSIN

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-5511
TOLL FREE
MIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MR.W. AREA 259-1181

UNDERGROUND POWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF HANDMADEITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE SURVEY AREA.

SITE PAVING PLAN

PEWAUKEE CROSSINGS
C.T.H. "F" & C.T.H. "M"

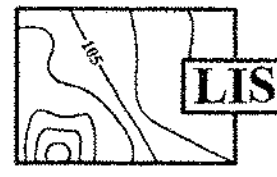
PEWAUKEE, WI

DRAWN BY:	N.G.K.
CHECKED BY:	M.A.B.
DATE:	08/29/06
JOB NUMBER:	C05076R12

C4.0

SHEET 4 OF

X:\CIVIL\2005\C05076\dwg\C05076R12.dwg Mark Bal



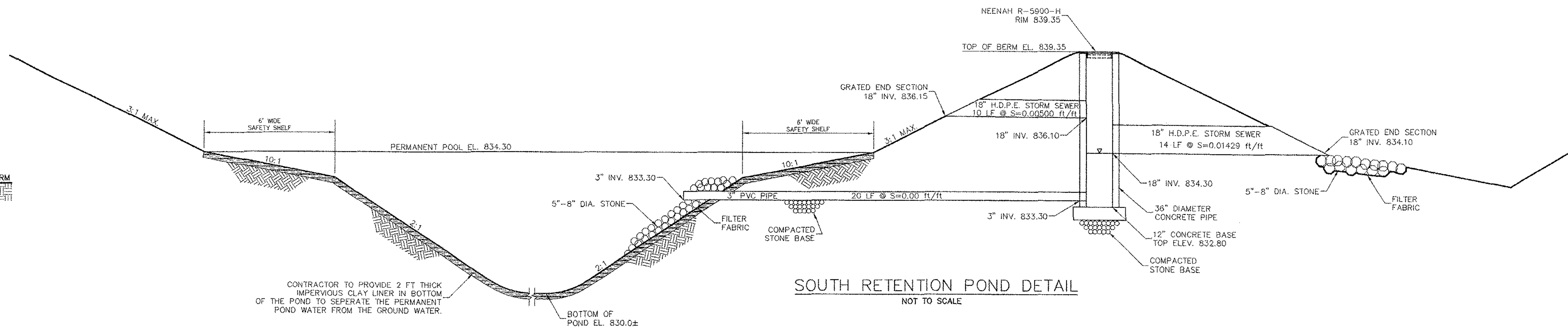
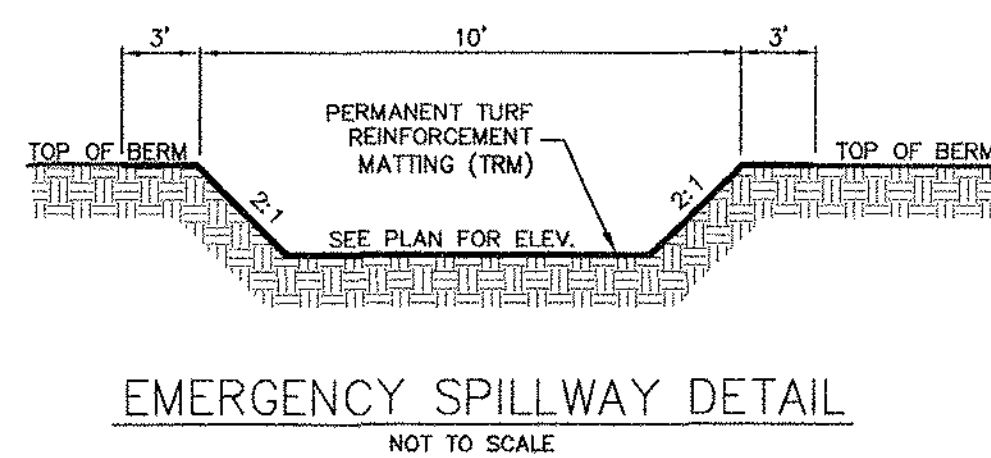
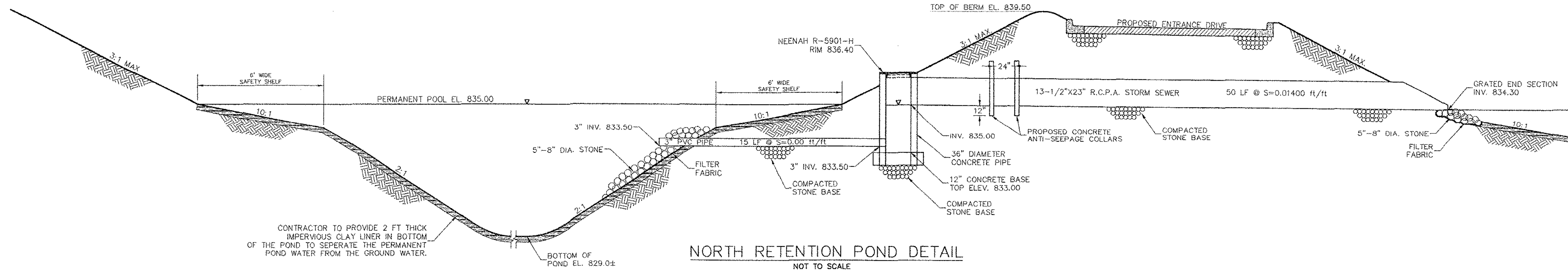
LAND INFORMATION SERVICES, INC.
ENGINEERS, SURVEYORS & CONSULTANTS
9722 WATERTOWN PLANK ROAD
BUILDING 545
WAUKESHA, WI 53120
TEL: 414-303-9515 FAX: 414-303-9516

SITE GRADING & EROSION CONTROL DETAILS
PEWAUKEE CROSSINGS
C.T.H. "F" & C.T.H. "M"
PEWAUKEE, WI

DRAWN BY: N.G.K.
CHECKED BY: M.A.B.
DATE: 08/29/06
JOB NUMBER: C05076R12

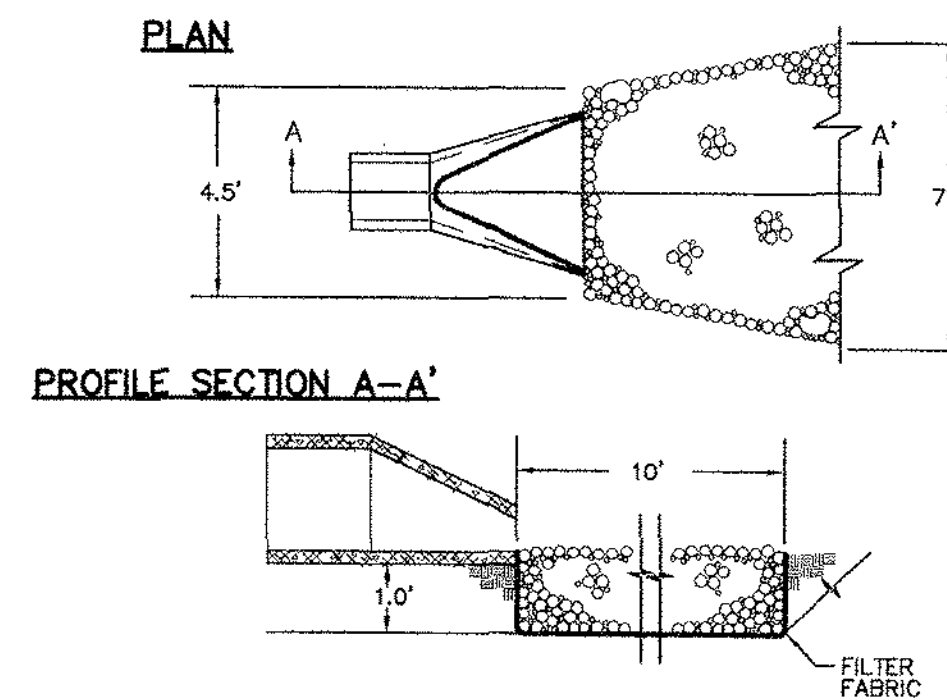
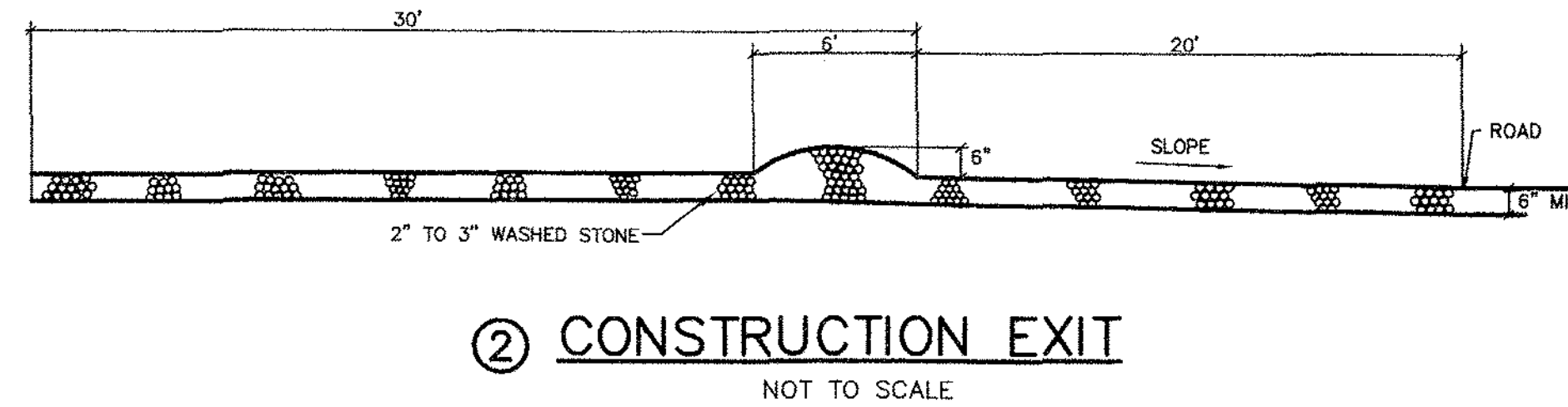
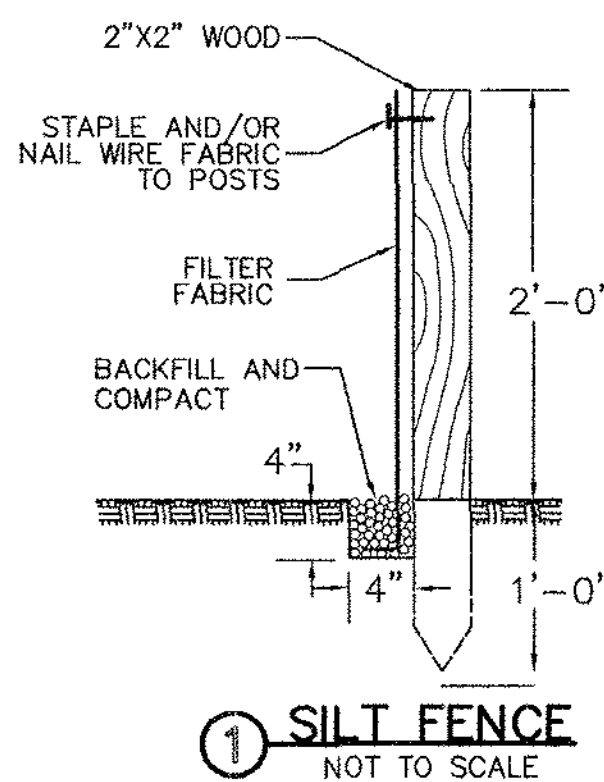
C5.0
SHEET 5 OF 5

X:\CIVIL\2005\C05076\dwg\C05076R12.dwg, Mark Balch



SILT FENCE CONSTRUCTION SPECIFICATIONS

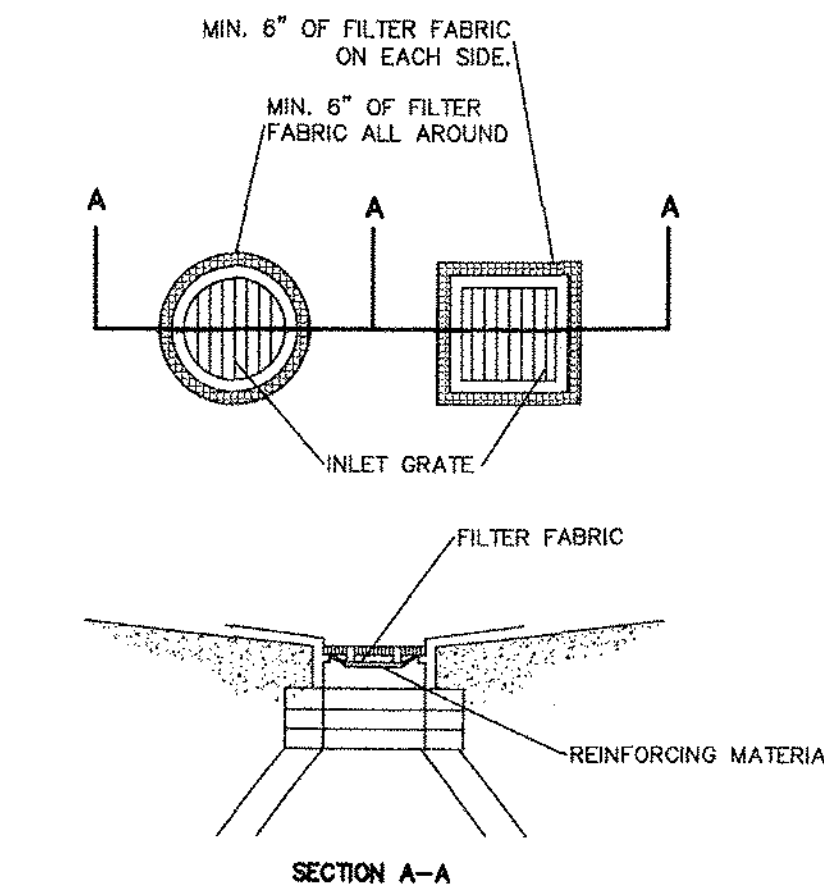
1. CONSTRUCT SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON EROSION CONTROL PLAN, TO PREVENT SEDIMENT FROM BEING WASHED INTO THE DRAINAGE SYSTEM.
2. LOCATE POSTS DOWNSLOPE OF FABRIC TO HELP SUPPORT FENCING.
3. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FABRIC AT A SUPPORT POST WITH OVER LAP TO THE NEXT POST.
4. FILTER FABRIC TO BE OF NYLON, POLYESTER, PROPYLENE OR ETHYLENE YARN WITH EXTRA STRENGTH - 100 LB/LIN. IN. (MINIMUM) - AND WITH A FLOW RATE OF 10 GAL./SQ. FT./MIN. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS REACHING A STABILITY OF 90 PERCENT USING TEST METHOD ASTM D-4355.
5. THE FILTER FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF FABRIC IN A 4\"/>



CONSTRUCTION SPECIFICATIONS

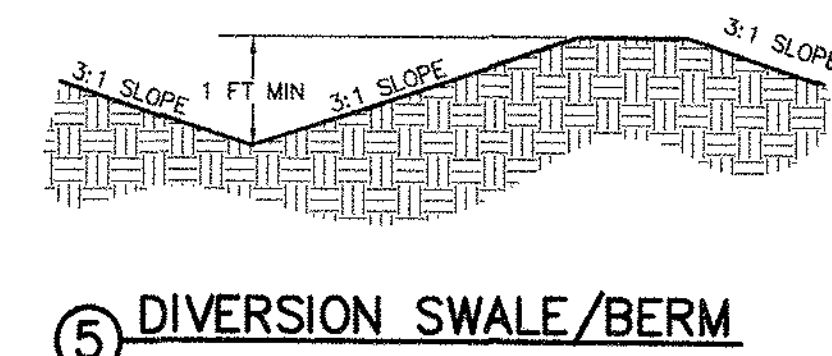
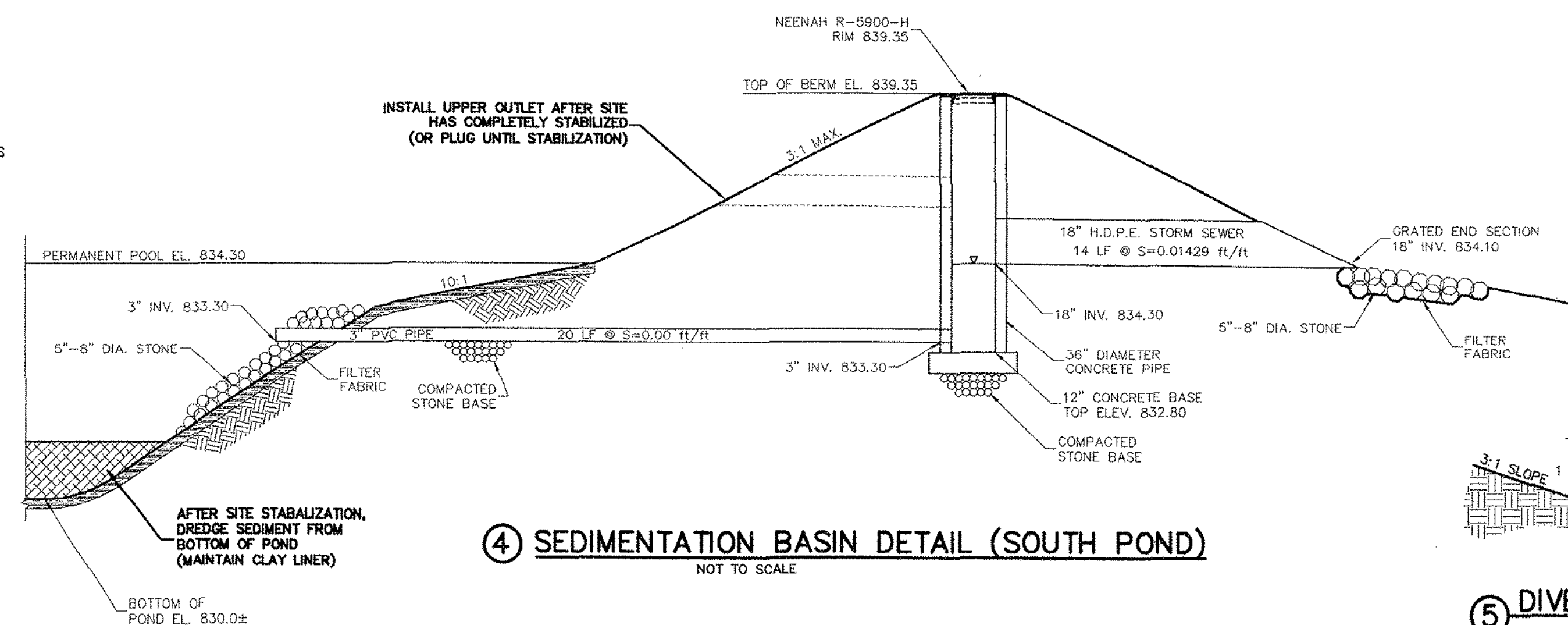
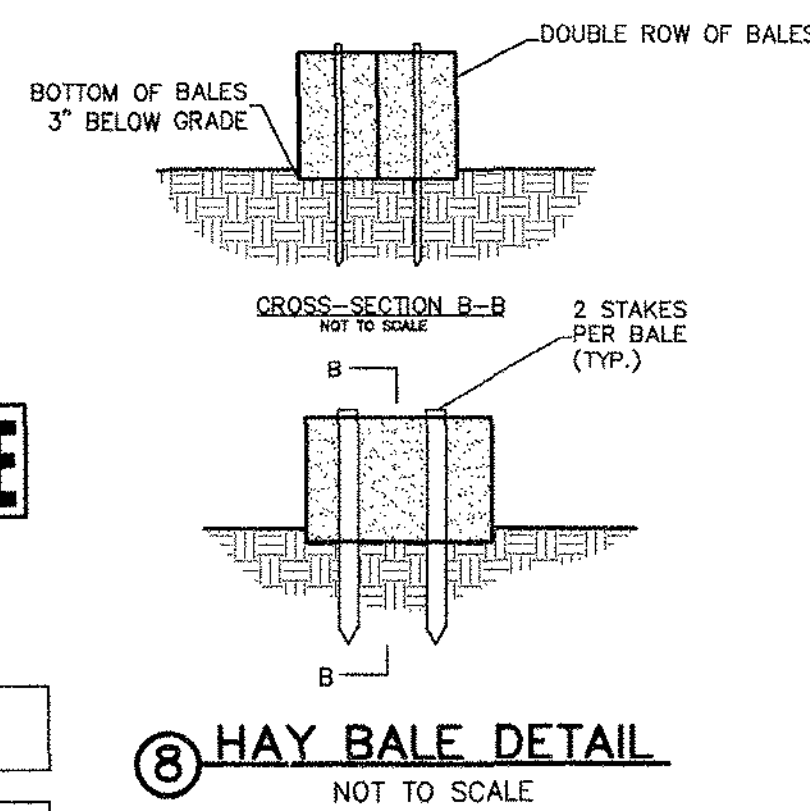
1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIPRAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
3. EXERCISE CARE IN RIPRAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
4. PLACE RIPRAP ON ZERO GRADE - TOP OF RIPRAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
5. RIPRAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5\"/>

6 INLET GRATE SCREEN
NOT TO SCALE



INLET GRATE SCREEN CONSTRUCTION SPECIFICATIONS

1. REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6\"/>



DIGGERS HOTLINE
CALL DIGGER'S HOTLINE
1-800-342-4851
TOLL FREE
MIS. STATE: 16.00/25/1270
RESIDENTS: 5.00/5.00/5.00
NORTH: 10.00/10.00/10.00
M.W. AREA: 250-1101
UNDESIGNED CUTOFFS ARE ONLY INFORMATION AS SHOWN
ON THIS PLAN. THE DESIGNER'S RESPONSIBILITY IS TO
VERIFY THE EXISTING CONDITIONS AND TO PROVIDE THE
NECESSARY DESIGN AND CONSTRUCTION DETAILS.
THE DESIGNER'S RESPONSIBILITY IS TO PROVIDE THE
NECESSARY DESIGN AND CONSTRUCTION DETAILS.
THE DESIGNER'S RESPONSIBILITY IS TO PROVIDE THE
NECESSARY DESIGN AND CONSTRUCTION DETAILS.

Cloud 9 Smoke Shop – Response to Staff Comments

1. Do you have a floor plan designed yet for the tenant space? If so, that should be provided with your submission to Plan Commission.

Response: Yes, we do have a preliminary floor plan for the tenant space. We will include it with our upcoming submission to the Plan Commission.

2. What are your proposed hours of operations?

Response: Our preferred hours are **9:00 AM to 10:00 PM**. However, if staying open past 9:00 PM would require an amendment that could delay the approval process, we're absolutely fine with operating from **8:00 AM to 9:00 PM** instead. We're open to either option—please advise which would be most efficient at this stage.

3. How many employees are anticipated?

Response: We anticipate employing 4 to 5 team members, made up of both full-time and part-time staff to ensure consistent coverage and high-quality customer service throughout all business hours.

Staff responsibilities will include:

- Stocking and organizing inventory
- Cleaning and maintaining store appearance
- Operating the register and handling customer transactions
- Assisting customers with product information and general inquiries

This staffing structure allows us to maintain a clean, organized, and customer-focused environment while ensuring flexible coverage for weekends, sick days, and peak hours.

Employee 1 (Full-Time):

Monday – Friday | 9:00 AM – 4:00 PM

Employee 2 (Full-Time):

Monday – Friday | 4:00 PM – 10:00 PM

Employee 3 (Part-Time):

Saturday & Sunday | 9:00 AM – 4:00 PM

Employee 4 (Part-Time):

Saturday & Sunday | 4:00 PM – 10:00 PM

Employee 5 (Part-Time/Flex): Available as needed for weekend coverage, sick days, and additional support during peak hours or special events.

4. Please confirm there are no beer or liquor sales proposed.

Response: Confirmed! There will be absolutely no beer or liquor sales at Cloud 9. We will only be offering tobacco and related products as permitted.

5. Staff anticipates recommending the following conditions:

5.1 “Applicant shall obtain all other governmental approvals, permits, licenses and the like, required for and applicable to the proposed use and sale of tobacco products, including but not limited to the State of Wisconsin Department of Revenue.”

Response: We fully understand and support this condition. We have already obtained our sales permit through the Wisconsin Department of Revenue, and we have submitted the City of Pewaukee tobacco permit application as part of our Conditional Use materials. If anything additional is needed to complete our approval package, please let us know—we’re eager to make sure everything is properly in order.

Seller’s Permit: 456-1032003553-04

Legal Name: SMOKEEXPRESS LLC

5.2 “Hours of operations shall not extend past 9:00 p.m. without an amendment to this Conditional Use Permit.”

Response: Understood—we accept this condition. If possible, we would like to request an amendment to allow operation until 10:00 PM, but only if this does **not** delay the approval process. If it does, we are happy to proceed with the 9:00 AM to 9:00 PM schedule.

5.3 “This Conditional Use Permit shall be subject to periodic review to ensure ongoing compliance with applicable City, County and State standards and regulations.”

Response: We are completely supportive of this and welcome periodic reviews. We’re committed to staying fully compliant with all regulations.

5.4 “No lighting or promotional displays shall be affixed to or displayed on the exterior surface of windows or affixed to the interior surface of windows if visible from the exterior.”

Response: We understand and will comply with this guideline. The only visible displays we anticipate include modest items such as an “Open” sign and small decals indicating product types (e.g., “Vape,” “CBD,” “Cigars”). We would like to discuss appropriate options for exterior signage visibility, especially since the plaza becomes quite dark in the evenings. If neon signs are not preferred, we’re open to using LED signage with controlled brightness or other city-approved alternatives.

**A COVENANT
REGARDING THE ISSUANCE OF A
CONDITIONAL USE PERMIT
BY THE
CITY OF PEWAUKEE**

**TAX KEY NUMBER(S)
OR PARCEL(S) INVOLVED:** **CONDITIONAL USE
PERMIT:**
NO. CUP-25-6-1

PWC 0958982004

LEGAL DESCRIPTION:

UNIT 1 PEWAUKEE CROSSINGS CONDOMINIUM & UNDIV
INTEREST IN THE COMMON AREAS CREATED UNDER
DECLARATION RECORDED AS DOC #4436009 :: LOCATED IN
LOT 1 CSM #10295 VOL 97/229 PT NW1/4 & SW1/4 OF NW1/4
SEC 24 T7N R19E

**PERSON(S), AGENT(S) OR CORPORATION(S) PETITIONING
FOR PERMIT:**

SmokeXpress LLC/Cloud 9

Recording area

Name & Return Address

City of Pewaukee
W240N3065 Pewaukee Rd
Pewaukee, WI 53072

WHEREAS, It is understood by all parties to this covenant that Section 62.23 of WIS. Statutes prescribes the legal basis for the granting of a conditional use permit by a City and Chapter 17 of the City Codes and Ordinances provides for the issuance of such permits as well as the standards by which all such uses will be measured; and,

WHEREAS, The City Plan Commission has held a meeting on June 12, 2025; has reviewed the various elements of the petitioner's proposal; and has recommended that a Conditional Use Permit be granted to the above-named petitioner for the property/parcel identified above; and,

WHEREAS, The City Common Council held a public hearing meeting on July 7, 2025.

NOW, THEREFORE, let it be known that the City Common Council by its action on July 7, 2025 has, hereby, granted a Conditional Use Permit for the following use(s):

Operating a smoke and vape retail store.

FURTHER, such approved use of the above designated parcel(s) are hereby allowed based on the following conditions being continually met:

1. Applicant shall obtain all other governmental approvals, permits, licenses and the like, required for and applicable to the proposed use and sale of tobacco products, including but not limited to the State of Wisconsin Department of Revenue.
2. Hours of operation shall not extend past 10:00pm without an amendment to this Conditional Use Permit.
3. This Conditional Use Permit shall be subject to periodic review to ensure ongoing compliance with applicable City, County and State standards and regulations.
4. Window signage shall be allowed in accordance with Section 340-9.6E. of the Zoning Code. No other lighting, signage, promotional displays, or advertisements shall be affixed to or displayed on the exterior surface of windows or placed within the interior of the store with the intent or for the purpose of being visible through the windows to the exterior of the storefront. All internal lighting, signage, promotional displays, and advertisements must be positioned and directed such that they are not visible through the windows to the exterior.

The parties hereto, namely the City of Pewaukee and the Equitable Owner of the property for which this conditional use has been sought, set their signatures or the signatures of their representatives below, thereby agreeing to the provisions and conditions set forth in this covenant.

Attest:

Signature of equitable owner

Date

Kelly Tarczewski
City Clerk

Steve Bierce
Mayor, City of Pewaukee

Date

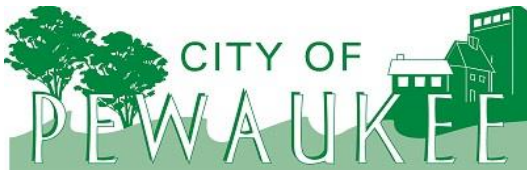
State of Wisconsin
County of Waukesha

Signed or attested before me on _____, 2025 by Steve Bierce, Mayor and Kelly Tarczewski, Clerk.

(Seal)

Ami Hurd
My Commission expires _____

This instrument was drafted by Ami Hurd, Deputy Clerk



Office of the Planner & Community Development Director
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072
Phone (262) 691-0770 Fax (262) 691-1798
fuchs@pewaukee.wi.us

REPORT TO THE PLAN COMMISSION

Meeting of June 12, 2025

Date: June 4, 2025

Project Name: Kazmierczak Certified Survey Map

Project Address/Tax Key No.: N47W26699 Lynndale Road / PWC 0882999

Applicant: Briohn Building Corp.

Property Owner: Brian Kazmierczak and Kevin Kazmierczak

Current Zoning: A-1 Agricultural District, F-1 Floodplain District, and UC Upland Conservancy District

2050 Land Use Map Designation: Mixed Office/Retail Commercial, Manufacturing/Fabrication/Warehousing, Floodplains, Lowland, & Upland Conservancy and Other Natural Areas, and Low Density Residential (> 2 Ac./D.U.)

Use of Surrounding Properties: Village of Lisbon (agricultural and single-family residential) to the north, agricultural land to the south, CELA and agricultural land to the east, and single-family residential to the west

Project Description/Analysis

The applicant is requesting approval of a Certified Survey Map to subdivide the existing 165-acre agricultural property located at N47W26699 Lynndale Road.

The CSM creates a 35-acre parcel that consists of the existing single-family home and the accessory agricultural buildings that are located on the property.

The remaining 130-acres will continue to be utilized for agricultural purposes. There has been discussion with the property owner regarding redevelopment of this land for industrial development. The Plan Commission reviewed a Conceptual Review Application at their October 17, 2024, meeting. That conceptual plan included four single-family lots where the current 35-acre parcel is proposed.

The proposed lot size conforms to the minimum lot width and area requirements of the A-1 District, so no change in zoning or land use is proposed or required. There are no proposed changes to any of the existing structures on the property.

Recommendation

Staff recommends approval of the Certified Survey Map to create a 35-acre parcel of land located at approximately N47W26699 Lynndale Road.

CERTIFIED SURVEY MAP NO. _____

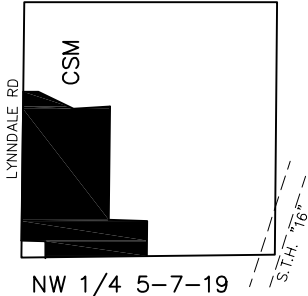
BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

PREPARED FOR:
BRIAN & KEVIN KAZMIERCZAK
W202N11420 MERKEL DR.
GERMANTOWN, WI 53022

TAX KEY NO.:
PWC 0882999
ZONED A-1, AGRICULTURE

VICINITY MAP
1" = 2000'

NORTH



NORTH

GRAPHIC SCALE



1 INCH = 400 FT.

- INDICATES FOUND 1" IRON PIPE UNLESS OTHERWISE NOTED.
- INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.68 LBS PER LINEAL FOOT, SET.

ALL DISTANCES SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS WERE MADE TO THE NEAREST ONE SECOND

ALL BEARINGS REFER TO NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 5, WHICH HAS A WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY, BEARING OF N 89°41'55" E.

SEE SHEETS 2-5 FOR LOT DETAILS

LOT 1 SERVED BY ON SITE SEWER & WATER

LOT 1 FALLS IN ZONE X: AREA OF MINIMAL FLOODING AND ZONE A: SPECIAL FLOOD HAZARD AREAS WITHOUT BASE FLOOD ELEVATION, PER FIRM PANEL 55133C0182H, EFFECTIVE DATE 10/19/2023, CITY OF PEWAUKEE

PRIMARY ENVIRONMENTAL CORRIDOR FROM WAUKESHA CO. GIS. NO WETLANDS SHOWN ON GIS OR OBSERVED AT THE TIME OF THE SURVEY.

1' CONTOURS AS PROVIDED BY WAUKESHA COUNTY. ELEVATIONS REFER TO NAVD 88

ALL BEARINGS REFER TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 5, WHICH HAS A WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY BEARING OF N 89°41'55" E.

LYNDALE ROAD
C.T.H. "JK"

LOT 1
1,524,924 SQ. FT.
35.074 ACRES

CENTERLINE OF UNNAMED CREEK

GREENHILL
DRIVE



CAPITOL SURVEY ENTERPRISES
2015 LA CHANDELLE CT.
BROOKFIELD, WI 53045
PH: (262) 786-6600
FAX: (262) 786-6608
WWW.CAPITOLSURVEY.COM

THIS INSTRUMENT DRAFTED BY MICHAEL J. BERRY



JUNE 3, 2025

SHEET 1 OF 9

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

NORTHWEST CORNER
NORTHWEST 1/4
5-7-19
CONCRETE MONUMENT
W/BRASS CAP, FOUND
N. 195,215.3185
E. 669,135.3185

LYNNDALE ROAD
C.I.H. "JK"
PUBLIC RIGHT OF WAY WIDTH VARIES



CITY OF
PEWAUKEE

LOT 14

GREENHILL SUBDIVISION

GREENHILL DRIVE
66' PUBLIC RIGHT OF WAY



JUNE 3, 2025

REGULATED
FLOODWAY

30' STORM SEWER EASEMENT PER SUBD. PLAT

N 00°38'47" E

2765.02'

30'

TOWN OF
LISBON

N 89°41'55" E 2602.32'
N 89°41'55" E 1551.76'
DEDICATED TO THE PUBLIC FOR
ROAD PURPOSES. 77,602 SQ. FT.
N 89°41'55" E 1552.59'

174.60'

950

945

940

C.S.M. 288

935

930

925

920

915

910

905

900

895

890

885

880

875

870

865

860

855

850

845

840

835

830

825

820

815

810

805

800

795

790

785

780

775

770

765

760

755

750

745

740

735

730

725

720

715

710

300' SETBACK FROM APPROX. O.H.W.M.

WETLAND LINE
FROM WAUKESHA CO. GIS

ZONE X 875

SPECIAL FLOOD 870
HAZARD AREA LINE

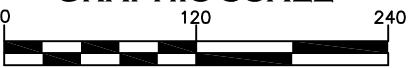
ZONE A

CREEK CENTERLINE

WETLAND LINE
FROM WAUKESHA CO. GIS

ZONE A

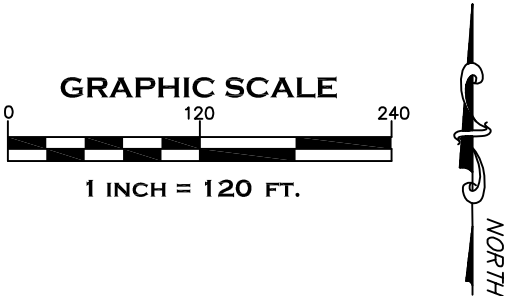
UNPLATTED
LANDS



1 INCH = 120 FT.

CERTIFIED SURVEY MAP NO. _____

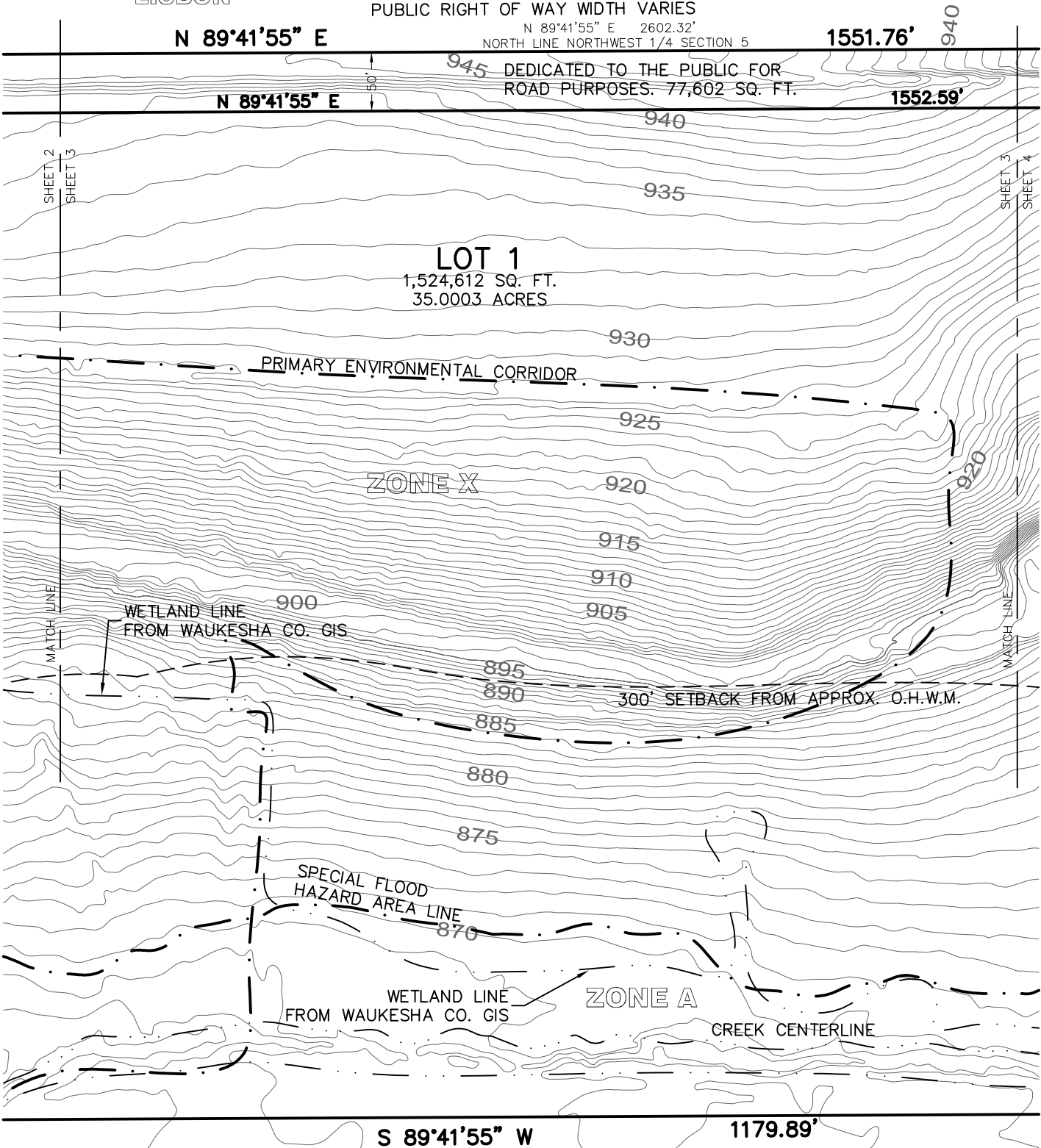
BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



JUNE 3, 2025
TOWN OF LISBON

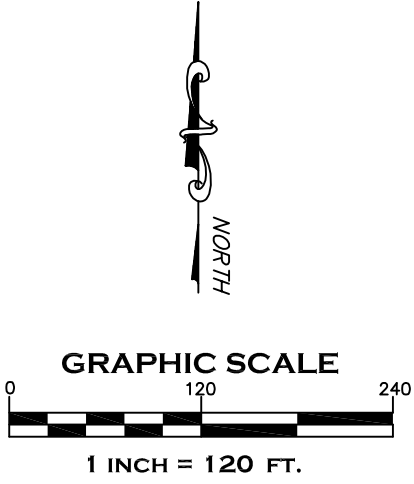
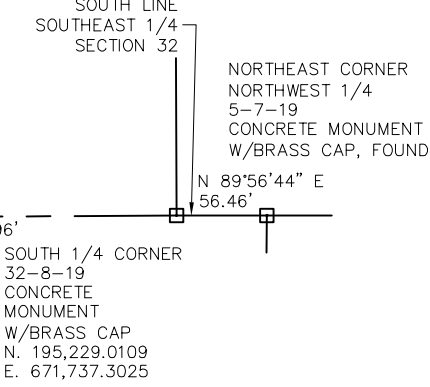
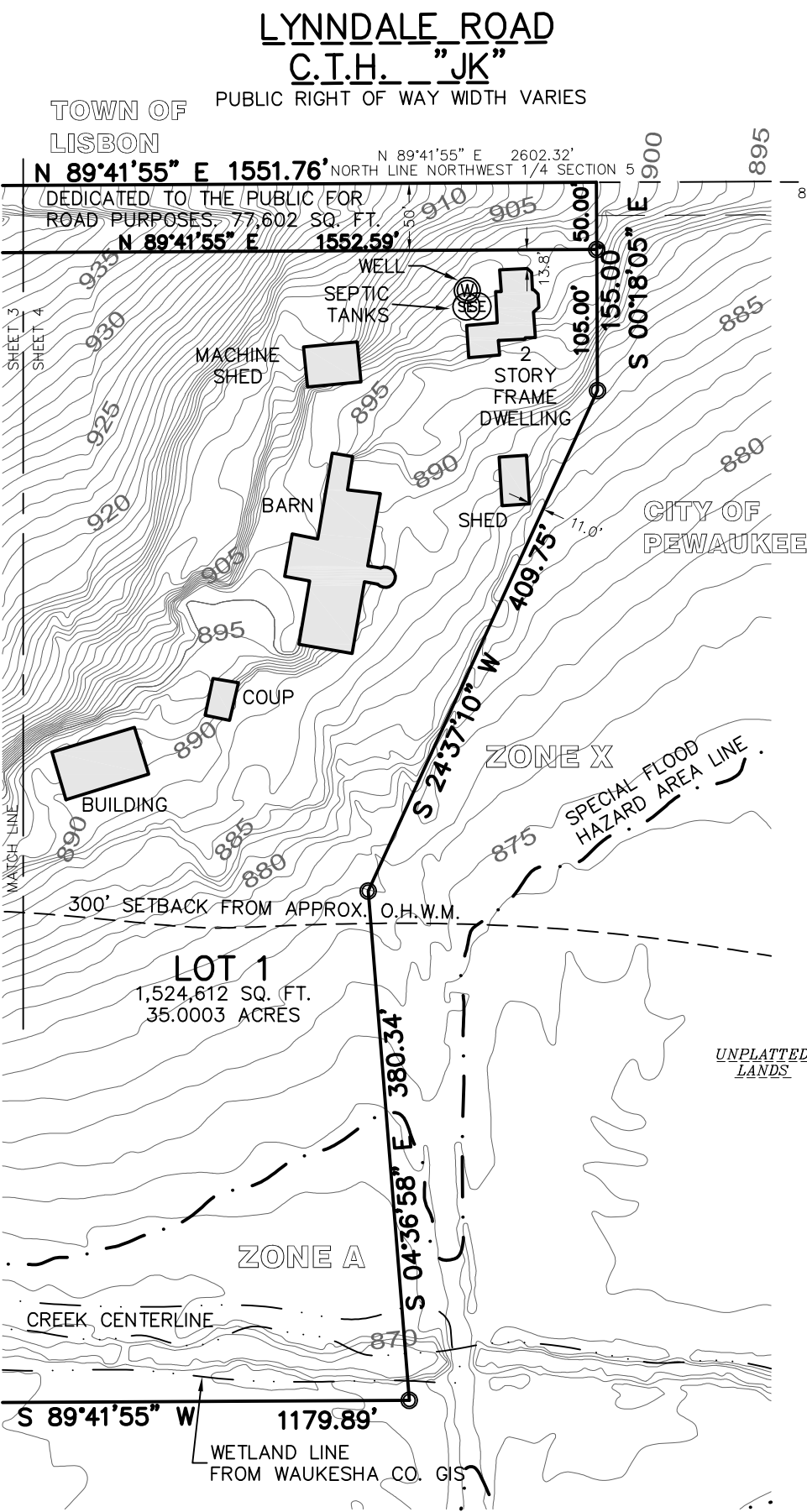
LYNNDALE ROAD
C.T.H. "JK"

PUBLIC RIGHT OF WAY WIDTH VARIES



CERTIFIED SURVEY MAP NO. _____

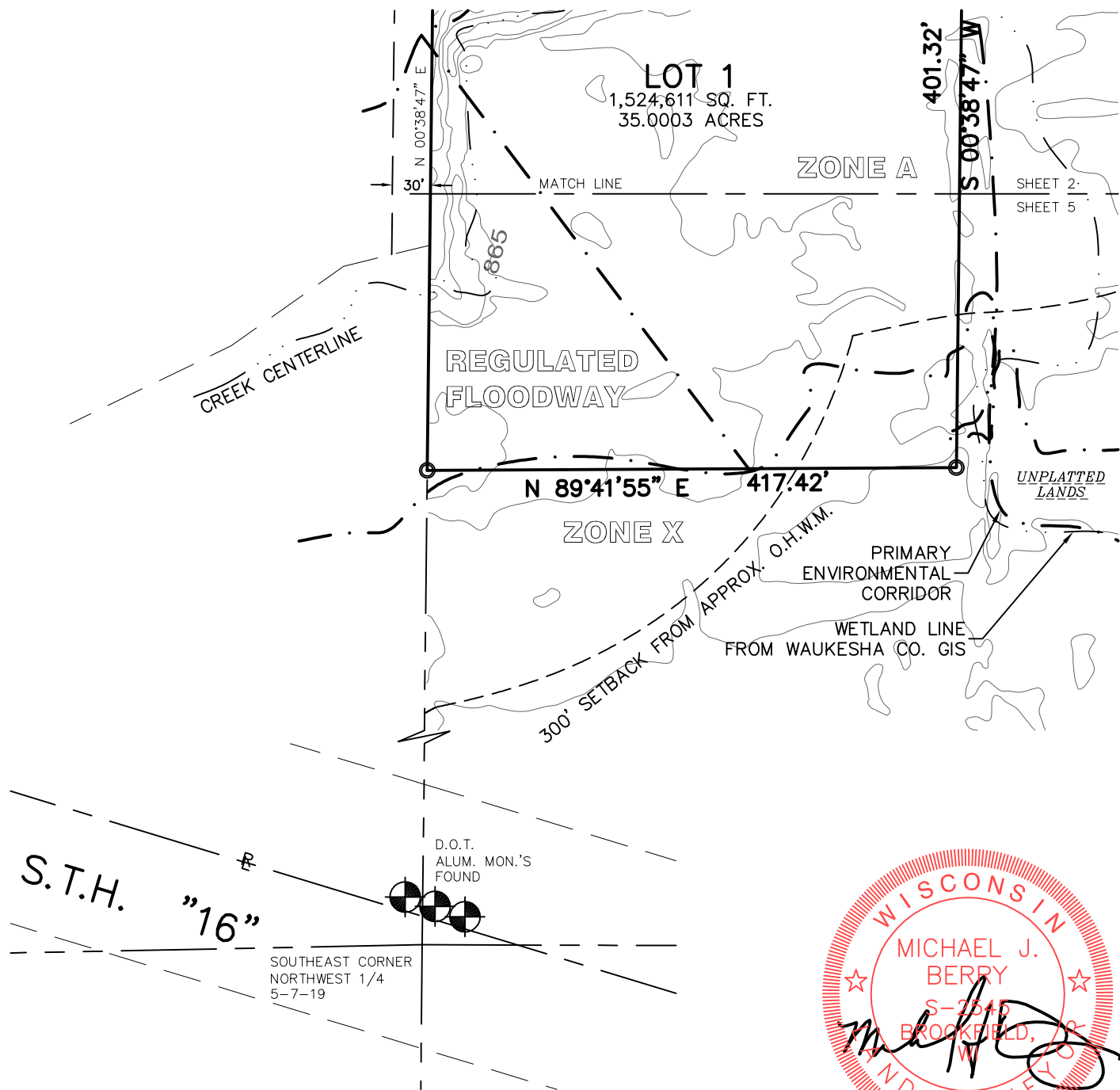
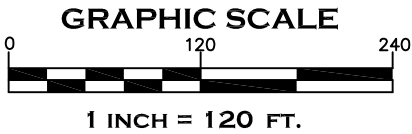
BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



JUNE 3, 2025

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.



JUNE 3, 2025

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, MICHAEL J BERRY, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY:
THAT I HAVE SURVEYED, DIVIDED AND MAPPED A PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4, OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID 1/4 SECTION; THENCE N 89°41'55" E ALONG THE NORTH LINE OF SAID SECTION 174.60 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED; THENCE CONTINUING N 89°41'55" E ALONG SAID NORTH LINE 1551.76 FEET; THENCE S 00°18'05" E AS MEASURED NORMAL TO SAID NORTH LINE 155.00 FEET; THENCE S 24°37'10" W 409.75 FEET; THENCE S 04°36'58" E 380.34 FEET; THENCE S 89°41'55" W AND PARALLEL WITH THE NORTH LINE OF SAID 1/4 SECTION 1179.89 FEET; THENCE S 00°38'47" W AND PARALLEL WITH THE WEST LINE OF SAID 1/4 SECTION 401.32 FEET; THENCE S 89°41'55" W AND PARALLEL WITH THE SAID NORTH LINE 417.42 FEET TO A POINT ON THE SAID WEST LINE; THENCE N 00°38'47" E ALONG SAID WEST LINE 1056.58 FEET TO THE SOUTHWEST CORNER OF CERTIFIED SURVEY MAP (CSM) NO. 288; THENCE N 89°41'55" E ALONG THE SOUTH LINE OF SAID CSM AND PARALLEL WITH SAID NORTH LINE 174.60 FEET TO THE SOUTHEAST CORNER OF SAID CSM; THENCE N 00°38'47" E ALONG THE EAST LINE OF SAID CSM AND PARALLEL WITH THE WEST LINE OF SAID 1/4 SECTION 250.72 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1,602,214 SQUARE FEET OR 36.7818 ACRES.

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF BRIAN AND KEVIN KAZMIERCZAK, OWNERS OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN, CHAPTER 18 OF THE CITY OF PEWAUKEE MUNICIPAL CODE, AND THE ORDINANCES OF WAUKESHA COUNTY IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 3RD DAY OF JUNE, 2025.

[Signature]
PROFESSIONAL LAND SURVEYOR,
S-2545
STATE OF WISCONSIN



CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

BRIAN AND KEVIN KAZMIERCZAK, AS OWNERS, CERTIFY THAT THEY HAVE CAUSED THE LAND DESCRIBED ABOVE TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE REQUIREMENTS OF S.236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCES OF THE CITY OF PEWAUKEE AND WAUKESHA COUNTY.
IN WITNESS WHEREOF, BRIAN AND KEVIN KAZMIERCZAK HAS CAUSED THESE PRESENTS TO BE SIGNED BY BRIAN AND KEVIN KAZMIERCZAK, AT _____, WISCONSIN, THIS _____ DAY OF _____, 2025.

BRIAN KAZMIERCZAK

KEVIN KAZMIERCZAK

STATE OF WISCONSIN) SS
WASHINGTON COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2025, BRIAN KAZMIERCZAK, TO ME KNOW AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____

STATE OF WISCONSIN) SS
WASHINGTON COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2025, KEVIN KAZMIERCZAK, TO ME KNOW AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____



APRIL 22, 2025

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

CONSENT OF MORTGAGE

_____ DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF _____, AS MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE ABOVE CERTIFICATION OF HOUSE 7, LLC, AS OWNER OF SAID LAND.

IN WITNESS WHEREOF, _____, HAS CAUSED THESE PRESENTS TO BE SIGNED BY _____ AND ITS CORPORATE SEAL HEREUNTO AFFIXED, THIS _____ DAY OF _____, 2025.

(NAME)
(TITLE)

STATE OF _____)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2025, THE ABOVE NAME _____, TO ME KNOWN AS THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
STATE OF WISCONSIN
MY COMMISSION EXPIRES: _____



JUNE 3, 2025

BEING PART OF THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN.

THIS CERTIFIED SURVEY MAP, AND ITS DEDICATION, IS HEREBY APPROVED BY THE PLAN
COMMISSION OF THE CITY OF PEWAUKEE ON THIS DAY _____ OF _____, 2025.

DATE _____

DATE _____

THIS CERTIFIED SURVEY MAP, BEING PART OF THE OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 7 NORTH, RANGE 19 EAST, IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, HAVING BEEN APPROVED BY THE CITY OF PEWAUKEE PLANNING COMMISSION, IS HEREBY APPROVED AND ACCEPTED BY THE CITY OF PEWAUKEE COMMON COUNCIL ON THIS DAY _____ OF _____, 2025.

DATE _____

DATE _____



JUNE 3, 2025



BRIOHN BUILDING
CORPORATION

Certified Survey Map

Project Narrative

Winklemann Farm – N47 W26699 Lynndale Road

**DESIGN / BUILD
CONSTRUCTION**

Briohn Land Development has partnered with the owners of the above-mentioned property to assist in the creation of a Certified Survey Map (CSM) and facilitate the municipal approvals of the same.

The owners have directed us to create a +/- 5-acre lot consisting of the farmhouse, barns, and outbuildings located at the north end of the parent parcel in anticipation of a sale to a residential property owner. The remaining 160-acres would be retained by the current ownership and for the near term continue to be an agricultural use.

**ARCHITECTURAL
DESIGN**

The request would be to approve the CSM and have the parcel remain zoned as A-1 under the consolidation of farms ordinance.

The surveyor has referred to Chapter 18 of the City's Municipal Code while drafting the CSM and we look forward to receiving the initial review comments from the City once those are available. Given the 45-day review period, we would ask to be placed on the June 19th, 2025 Plan Commission meeting for the approval of the same.

DEVELOPMENT

**PROPERTY
MANAGEMENT**



BRIOHN BUILDING CORPORATION

DESIGN / BUILD
CONSTRUCTION

ARCHITECTURAL
DESIGN

DEVELOPMENT

PROPERTY
MANAGEMENT

June 4, 2025

Nick Fuchs
Planner & Community Development Director
City of Pewaukee
W240 N3065 Pewaukee Road
Pewaukee, Wisconsin 53072

Re: Response to Staff Comments for the Kazmierczak Certified Survey Map

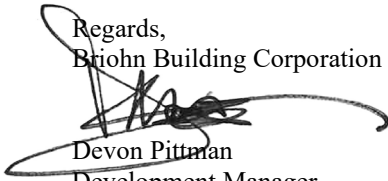
Mr. Fuchs,

We have reviewed the comments from staff regarding the above-mentioned CSM. Please let this letter serve as our formal response to address those comments in advance of the June 12th Plan Commission meeting on which we request that this item remain for consideration of the Plan Commission.

1. We will concede that the provision in the city code relating to farm consolidation does not apply to this particular land division. In relation to the comment regarding the Rezoning Application, we have directed our surveyor to change the configuration of the lot to adhere to the requirements of the A-1 district so that a rezoning of the property will not be required.
2. We acknowledge the commentary on Section 18.0206 as it relates to Variances, but given the adherence to the A-1 district standards, this is no longer a concern of the property owner.
3. The lot lines have been revised to be configured in the most standard way possible. Given the topography and the environmental considerations of this area of the property, the configuration of such divisions are logical.
4. Acknowledged. The property owner anticipates that any development of the remnant lands shall adhere to the City of Pewaukee, County of Waukesha, and FEMA requirements surrounding the treatment of floodplain.
5. Acknowledged. The property owner will advise any subsequent owner of such a requirement should it be recommended by staff.

Thank you for your continued help with this project and we look forward to working with you on the approval process.

Regards,
Briohn Building Corporation


Devon Pittman
Development Manager

Cc: Brian Kazmierczak, Kazmierczak Farms
Joe Jursenas, Briohn Building Corporation

City of Pewaukee - New Agenda Item

Agenda Language:

Discussion and possible action to approve an Intergovernmental Agreement and cost share with the City of Brookfield for the shared Quiet Zone Improvements for Springdale Road (CTH SR).

Sub Item Agenda Language:

Background Provided By:

Magdelene Wagner

Background:

At the February 6, 2023 Common Council meeting, it was discussed and approved to partner with the City of Brookfield on a Quiet Zone crossing at the Springdale Road (CTH SR) railroad crossing. Brookfield finally has received approval from the Federal Railroad Administration which approved the quiet zone crossing improvements. With the approval, Brookfield is looking to bid out the improvements required for the quiet zone crossing and again is confirming the City of Pewaukee will share in its cost due to the shared jurisdiction of the roadway. Waukesha County is the owner of the intersection and will not pay for any crossing improvements but will permit the communities to build the required improvements at their expense. The estimated City of Pewaukee share is estimated to be \$40,000 to \$50,000. Final cost to be determined upon bidding.

Attached is an Intergovernmental Agreement which outlines Pewaukee's responsibilities in this shared crossing. The City Attorney has reviewed and approved the agreement.

Fiscal Impact:

The 2025 budget has \$50,000 included for the City's share of the improvements.

Recommended Motion:

Council approve the Intergovernmental Agreement for the Quiet Zone Improvements at Springdale Road with the City of Brookfield.

**AGREEMENT BETWEEN
THE CITY OF PEWAUKEE AND THE CITY OF BROOKFIELD TO PARTICIPATE IN
LOCAL COST SHARE FOR THE INSTALLATION OF A MEDIAN BARRIER AT THE
RAILROAD TRACKS ON CTH SR (SPRINGDALE ROAD)**

THIS AGREEMENT is made and entered into and effective upon full execution by and between the City of Brookfield (hereinafter “Brookfield”), a Wisconsin municipal corporation, and the City of Pewaukee (hereinafter “Pewaukee”), a Wisconsin municipal corporation, both located in Waukesha County, to provide for payment of the installation of a median barrier at the railroad tracks on Springdale Road.

WHEREAS, Springdale Road is a County trunk highway (SR) located within the boundaries of Brookfield and adjacent to Pewaukee, and;

WHEREAS, Waukesha County is resurfacing Springdale Road north and south of the railroad tracks south of Capitol Drive (“Project”) in 2025; the Project area is within Brookfield and Pewaukee, and;

WHEREAS, Brookfield and Pewaukee are interested in establishing a railroad quiet zone within each city, and constructing a median barrier at the railroad tracks on Springdale is an approved method for meeting the railroad’s safety prerequisite to establishing the quiet zone; and

WHEREAS, Waukesha County has indicated a willingness to allow installation of a median barrier at the railroad tracks on Springdale Road if both municipalities agree to pay for the cost of said median barrier and maintain it subsequent to construction, and an agreement memorializing terms associated with installation and maintenance of the barrier is entered into by the County and Brookfield, and;

WHEREAS, Brookfield and Pewaukee agree that the median barrier at the railroad tracks should be installed in conjunction with this Project and are willing to equally share the costs associated with the median barrier.

NOW, THEREFORE, in consideration of the mutual covenants by and between the parties hereto and in accordance with the authority granted by §66.0301 of the Wisconsin Statutes, Brookfield and Pewaukee agree as follows:

- 1) Brookfield will make reasonable efforts to enter into an agreement with Waukesha County to allow Brookfield to install a median barrier at the railroad tracks in the Project area. If Brookfield and Waukesha County are unable to reach an agreement, then this Agreement between Brookfield and Pewaukee is terminated without penalty to either party and will be of no further force or effect.
- 2) Brookfield and Pewaukee will split equally the costs to install the median barrier at the railroad tracks and railroad coordination costs incurred due to the installation (collectively the “Installation Costs”).

- 3) Brookfield will pay the Installation Costs in full and then invoice Pewaukee for Pewaukee's portion of the Installation Costs (Pewaukee's share estimated at \$40,000) upon completion of the installation. Regardless of the estimated amount, Pewaukee's portion of the Installation Costs will be calculated on, and Pewaukee must pay for, the actual costs incurred.
- 4) Brookfield shall provide Pewaukee with copies of all invoices from its contractor and the railroad for said Installation Costs work upon request.
- 5) If rehabilitative maintenance (e.g. replacement of median barrier, etc.) is deemed necessary by both Brookfield and Pewaukee, Brookfield will perform the maintenance upon the execution of a written agreement by Brookfield and Pewaukee on the sharing of the costs thereof.
- 6) Pewaukee shall pay all invoices from Brookfield within forty-five (45) days of receipt of such invoice. Pewaukee shall be deemed to have received the invoice upon actual receipt or within three (3) days of sending the invoice via first-class mail, postage prepaid, to City of Pewaukee, c/o Director of Public Works, W240 N3065 Pewaukee Road, Pewaukee, WI 53072. Payments shall be directed to the City of Brookfield, c/o Director of Public Works, 2000 North Calhoun Road, Brookfield, WI 53005.
- 7) If Pewaukee fails to pay an invoice within forty-five (45) days of receipt, the invoice shall be subject to a late payment penalty of 1.5 percent per month of the unpaid amount due until paid. Additionally, failure to pay an invoice with forty-five (45) days of receipt shall constitute a default of this Agreement.
- 8) In the event of a default, each Party shall have the right to bring an action for money damages and shall be entitled to its costs, including statutory attorney's fees, and any interest or penalties.
- 9) If any clause, provision, or section of this Agreement be declared invalid by any court of competent jurisdiction, the invalidity of such clause, provision or section shall not affect any of the remaining provisions.
- 10) This Agreement shall be governed in all respects, whether as to validity, construction, capacity, performance, or otherwise, by the laws of the State of Wisconsin. Any suit, proceeding, or other action arising out of or related to this Agreement shall be commenced and maintained only in the circuit court located in Waukesha County, Wisconsin. Each party irrevocably consents to submit to the exclusive jurisdiction of such court.
- 11) This document contains the entire agreement between the parties. Any previous communications or agreements pertaining to the subject matter of this Agreement are hereby superseded. The Agreement may not be modified except by a written agreement signed by the duly authorized agents of Brookfield and Pewaukee. This Agreement is binding upon the parties hereto and their respective successors and assigns.

CITY OF BROOKFIELD

Approved by the Common Council of the City of Brookfield this ____ day of _____, 2025

By: _____ Date: _____
Steven Ponto, Mayor

By: _____ Date: _____
Julie Aquavia, Deputy City Clerk

Approved as to form this ____ day of _____, 2025.

By: _____
City Attorney

CITY OF PEWAUKEE

Approved by the City of Pewaukee this ____ day of _____, 2025

By: _____ Date: _____
Mayor

By: _____ Date: _____
Pewaukee City Clerk

Approved as to form this ____ day of _____, 2025

By: _____
Pewaukee Attorney